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TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS

PROJECT:	**TARSIO FAMILY SUBDIVISION**
PROJECT NO.:	**2015-08**
PROJECT LOCATION:	**SECTION 39, BLOCK 1, LOT 21.1**
PROJECT REPRESENTATIVE:	**ZEN DESIGN CONSULTANTS, INC.**
REVIEW DATE:	**10 APRIL 2015**
MEETING DATE:	**16 APRIL 2015**

1. Existing barn within front yard along Fostertown Road may require a zoning variance.

2. A proposed sewer extension is identified to service lots 1, 2 and 3. NYSDEC approval for sewer main extension is required. Easements in favor of the lots and the Town may be required.

3. Sewer flow acceptance letter is required.

4. Lot 1 is served by an existing septic system. Providing sewer on the site will require connection of lot 1 to the sewer line, per Orange County Health Department requirements.

5. Highway Superintendent's comments regarding location of driveways should be received.

6. Common driveway access and maintenance agreements for shared driveways on lots 1, 2 and 3 are required. Design of sanitary sewer including rim and inverts, as well as profile should be provided.

7. Sheet 4 of 4 should contain Engineers seal & stamp, rather than Surveyor.

8. 2015 Town of Newburgh Water and Sewer Notes will be required.

9. Staked hay bale detail should be removed from plans, not an acceptable practice.

10. Limits of disturbance should be identified on the plans including acreage of disturbance to determine if SPDES permit is required.

11. Notes should be added to the plans identifying if parcel is within water and sewer district or if water and sewer district extension is required.

Respectfully submitted,

McGoey, Hauser & Edsall
Consulting Engineers, D.P.C.

Patrick J. Hines
Principal

ZEN Design Consultants, Inc.
6 OLD NORTH PLANK ROAD, SUITE 103
NEWBURGH, NEW YORK 12550
(845) 569-1567 (phone)
14-004-TAR

PROJECT NARRATIVE

PROJECT:
Tarsio Family Subdivision

PROPERTY LOCATION:
283 Fostertown Road, Town of Newburgh, Orange County

SBL:
39-1-21.1

ZONE:
R2

ACRES:
8.60 +/- Acres

DESCRIPTION:
This project is for the subdivision of an 8.60+/- acre parcel of land with an existing house and create (4) new single family residential building lots. The parcel is located between Fostertown Road and Wells Road. After meeting with Todd from the Town of Newburgh Highway Department we kept a 50' wide strip of land for possible future access into the remaining lands. Town water is available on both roads while sewer is only available on Wells Road. We have submitted a preliminary plan to the Town Engineer, Jim Osborne. He is allowing us to utilize individual septic systems on the parcels not on Wells Road because of the cost involved with the distance to the services. The parcel is a gentle sloping lot with manicured lawn and landscaping around the entire parcel.

TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. **Title of Subdivision/Site Plan (Project name):**
TARSIO FAMILY SUBDIVISION

2. **Owner of Lands to be reviewed:**
Name TARSIO FAMILY LIMITED
Address 283 FOSTERTOWN ROAD
NEWBURGH, N.Y. 12550
Phone 845-542-6639

3. **Applicant Information (if different than owner):**
Name SAME
Address _____
Representative ZEN DESIGN CONSULTANTS, INC. C/O KEN LYTLE
Phone 845-629-1567
Fax _____
Email KLYTLE@ZENDCI.COM

4. **Subdivision/Site Plan prepared by:**
Name ZEN DESIGN CONSULTANTS, INC.
Address 6 OLD NORTH PLANK ROAD
NEWBURGH, N.Y. 12550
Phone/Fax 845-629-1567

5. **Location of lands to be reviewed:**
SBL# 39-1-21.1 / 283 FOSTERTOWN ROAD

6. Zone R2 Fire District CRONOMER VALLEY
Acreage 8.6 School District NEWBURGH

7. **Tax Map: Section** 39 **Block** 1 **Lot** 21.1

TOWN OF NEWBURGH PLANNING BOARD

X TARSIO FAMILY SUB.
PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. X Environmental Assessment Form As Required
2. X Proxy Statement
3. X Application Fees
4. X Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. X Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

11. X Surveyor,s Certification

12. X Surveyor's seal and signature

13. X Name of adjoining owners

14. X Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements

15. X Flood plain boundaries

16. X Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989

17. X Metes and bounds of all lots

18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street

19. X Show existing or proposed easements (note restrictions)

20. X Right-of-way width and Rights of Access and Utility Placement

21. X Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)

22. X Lot area (in sq. ft. for each lot less than 2 acres)

23. X Number of lots including residual lot

24. X Show any existing waterways

25. X A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable

26. X Applicable note pertaining to owners review and concurrence with plat together with owner's signature

27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.

28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided

29. X Show topographical data with 2 or 5 ft. contours on initial submission

30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number

31. X If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed

32. X Number of acres to be cleared or timber harvested

33. X Estimated or known cubic yards of material to be excavated and removed from the site

34. X Estimated or known cubic yards of fill required

35. X The amount of grading expected or known to be required to bring the site to readiness

36. X Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.

37. X Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: [signature] P.E.
Licensed Professional

Date: 4-8-15

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared 8/11/05
STATEMENT TO APPLICANTS

PROXY

(OWNER) TARSO FAMILY LIMITED, DEPOSES AND SAYS THAT HE/SHE

RESIDES AT 283 FOSTERTOWN ROAD

IN THE COUNTY OF ORANGE

AND STATE OF NEW YORK

AND THAT HE/SHE IS THE OWNER IN FEE OF

SBL# 39-1-21.1

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

PLANNING BOARD AND ZEN DESIGN CONSULTANTS IS AUTHORIZED

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 4/6/15

OWNERS SIGNATURE

ANTHONY TARSIO
OWNERS NAME (printed)

WITNESS' SIGNATURE

THELMA VAN HOUSEN
WITNESS' NAME (printed)

NAMES OF ADDITIONAL
REPRESENTATIVES

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

X ANTHONY TARSIO
APPLICANT'S NAME (printed)

X
APPLICANTS SIGNATURE

4/6/15
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PLANNING BOARD DISCLAIMER STATEMENT TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

4/6/15
DATED

Anthony Tasio
APPLICANT'S NAME (printed)

Anthony Tasio
APPLICANT'S SIGNATURE

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Tarsio Family Subdivision		
Project Location (describe, and attach a general location map): 283 Fostertown Road		
Brief Description of Proposed Action (include purpose or need): (5) lot residential subdivision, one existing home to remain and create four new single family lots. The property consists of gentle rolling hills with good draining soils. The property has frontage on Fostertown Road and Wells Road. Sewer and water are available to the proposed lots along Wells Road. While individual septic systems and town water are proposed for the new lots along Fostertown Road.		
Name of Applicant/Sponsor: Tarsio Family Limited	Telephone: 845-542-6639 E-Mail:	
Address: 283 Fostertown Road		
City/PO: Newburgh	State: New York	Zip Code: 12550
Project Contact (if not same as sponsor; give name and title/role): Ken Lytle c/o ZEN Design Consultants, Inc.	Telephone: 845-629-1567 E-Mail: klytle@zendci.com	
Address: 6 Old North Plank Road, Suite 103		
City/PO: Newburgh	State: New York	Zip Code: 12550
Property Owner (if not same as sponsor): same	Telephone: E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees ☐Yes ☑No		
b. City, Town or Village Planning Board or Commission ☑Yes ☐No	Subdivision Approval	
c. City Council, Town or Village Zoning Board of Appeals ☐Yes ☑No		
d. Other local agencies ☐Yes ☑No		
e. County agencies ☑Yes ☐No	Orange County Highway Department	
f. Regional agencies ☐Yes ☑No		
g. State agencies ☐Yes ☑No		
h. Federal agencies ☐Yes ☑No		

i. Coastal Resources.
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? ☐Yes ☑No

ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? ☐Yes ☑No
iii. Is the project site within a Coastal Erosion Hazard Area? ☐Yes ☑No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐Yes ☑No

- **If Yes,** complete sections C, F and G.
- **If No,** proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐Yes ☑No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐Yes ☑No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐Yes ☑No
If Yes, identify the plan(s):

_____
_____
_____

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐Yes ☑No
If Yes, identify the plan(s):

_____
_____
_____

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☑ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?
R-2 Residential

b. Is the use permitted or allowed by a special or conditional use permit? ☐ Yes ☑ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☑ No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Newburgh Enlarged City School District

b. What police or other public protection forces serve the project site?
Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?
Cronomer Valley Fire Department

d. What parks serve the project site?
Chadwick Lake Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.0 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☑ No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☑ Yes ☐ No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
ii. Is a cluster/conservation layout proposed? ☐ Yes ☑ No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum 0.38 acres Maximum 6.43 acres

e. Will proposed action be constructed in multiple phases? ☐ Yes ☑ No
i. If No, anticipated period of construction: 24 months
ii. If Yes:
- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? ☑ Yes ☐ No
If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	4			
At completion of all phases	4			

g. Does the proposed action include new non-residential construction (including expansions)? ☐ Yes ☑ No
If Yes,
i. Total number of structures _____
ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? ☐ Yes ☑ No
If Yes,
i. Purpose of the impoundment: _____
ii. If a water impoundment, the principal source of the water: ☐ Ground water ☐ Surface water streams ☐ Other specify: _____
iii. If other than water, identify the type of impounded/contained liquids and their source. _____
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) ☐ Yes ☑ No
If Yes:
i. What is the purpose of the excavation or dredging? _____
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____
iv. Will there be onsite dewatering or processing of excavated materials? ☐ Yes ☐ No
If yes, describe. _____
v. What is the total area to be dredged or excavated? _____ acres
vi. What is the maximum area to be worked at any one time? _____ acres
vii. What would be the maximum depth of excavation or dredging? _____ feet
viii. Will the excavation require blasting? ☐ Yes ☐ No
ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? ☐ Yes ☑ No
If Yes:
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? ☐Yes☐No
If Yes, describe:

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? ☐Yes☐No
If Yes:

- acres of aquatic vegetation proposed to be removed:
- expected acreage of aquatic vegetation remaining after project completion:
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access):
- proposed method of plant removal:
- if chemical/herbicide treatment will be used, specify product(s):

v. Describe any proposed reclamation/mitigation following disturbance:

c. Will the proposed action use, or create a new demand for water? ☑Yes☐No
If Yes:

i. Total anticipated water usage/demand per day: 1760 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☑Yes☐No
If Yes:

- Name of district or service area: Town of Newburgh Water Department
- Does the existing public water supply have capacity to serve the proposal? ☑Yes☐No
- Is the project site in the existing district? ☑Yes☐No
- Is expansion of the district needed? ☐Yes☑No
- Do existing lines serve the project site? ☑Yes☐No

iii. Will line extension within an existing district be necessary to supply the project? ☐Yes☑No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project:
- Source(s) of supply for the district:

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐Yes☑No
If, Yes:

- Applicant/sponsor for new district:
- Date application submitted or anticipated:
- Proposed source(s) of supply for new district:

v. If a public water supply will not be used, describe plans to provide water supply for the project:

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☑Yes☐No
If Yes:

i. Total anticipated liquid waste generation per day: 880 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):
Sanitary Waterwater

iii. Will the proposed action use any existing public wastewater treatment facilities? ☑Yes☐No
If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh
- Name of district:
- Does the existing wastewater treatment plant have capacity to serve the project? ☑Yes☐No
- Is the project site in the existing district? ☑Yes☐No
- Is expansion of the district needed? ☐Yes☑No

- Do existing sewer lines serve the project site? ☑Yes ☐No
- Will line extension within an existing district be necessary to serve the project? ☑Yes ☐No

  If Yes:
  - Describe extensions or capacity expansions proposed to serve this project: Need to install an 8" sewer gravity main and new manhole into the project to service (2) of the homes.

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? ☐Yes ☑No

If Yes:
- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):
(3) of the homes will have individual septic systems.

vi. Describe any plans or designs to capture, recycle or reuse liquid waste:
none

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? ☐Yes ☑No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?
_____ Square feet or _____ acres (impervious surface)
_____ Square feet or _____ acres (parcel size)

ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

- If to surface waters, identify receiving water bodies or wetlands: _____
- Will stormwater runoff flow to adjacent properties? ☐Yes ☐No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? ☐Yes ☐No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? ☐Yes ☑No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? ☐Yes ☑No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ☐Yes ☐No

ii. In addition to emissions as calculated in the application, the project will generate:
- _____Tons/year (short tons) of Carbon Dioxide (CO_2)
- _____Tons/year (short tons) of Nitrous Oxide (N_2O)
- _____Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____Tons/year (short tons) of Sulfur Hexafluoride (SF_6)
- _____Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflourocarbons (HFCs)
- _____Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐Yes ☑No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

_____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐Yes ☑No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):

_____

_____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐Yes ☑No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐Weekend
☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? ☐Yes ☐No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:

_____

_____

_____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐Yes ☐No

vii Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐Yes ☐No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐Yes ☐No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☐Yes ☐No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

_____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):

_____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? ☐Yes ☐No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? ☐ Yes ☑ No

If yes:

i. Provide details including sources, time of day and duration:

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? ☐ Yes ☑ No
Describe:

n.. Will the proposed action have outdoor lighting? ☐ Yes ☑ No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? ☐ Yes ☑ No
Describe:

o. Does the proposed action have the potential to produce odors for more than one hour per day? ☐ Yes ☑ No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? ☐ Yes ☑ No

If Yes:

i. Product(s) to be stored

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities:

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? ☐ Yes ☑ No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? ☐ Yes ☑ No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? ☐ Yes ☑ No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction:
- Operation:

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction:
- Operation:

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☑ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☑ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☑ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☐ Commercial ☑ Residential (suburban) ☐ Rural (non-farm)
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.42	0.68	+0.26
• Forested	0.0	0.0	0.0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	8.18	7.92	-0.26
• Agricultural (includes active orchards, field, greenhouse etc.)	0.0	0.0	0.0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.0	0.0	0.0
• Wetlands (freshwater or tidal)	0.0	0.0	0.0
• Non-vegetated (bare rock, earth or fill)	0.0	0.0	0.0
• Other Describe: _____	0.0	0.0	0.0

c. Is the project site presently used by members of the community for public recreation? ☐Yes ☑No

i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☑Yes ☐No

If Yes,

i. Identify Facilities:

Orange Community Housing

e. Does the project site contain an existing dam? ☐Yes ☑No

If Yes:

i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____

iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐Yes ☑No

If Yes:

i. Has the facility been formally closed? ☐Yes ☐ No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐Yes ☑No

If Yes:

i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐Yes ☑ No

If Yes:

i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐Yes ☐No

☐ Yes – Spills Incidents database — Provide DEC ID number(s): _____

☐ Yes – Environmental Site Remediation database — Provide DEC ID number(s): _____

☐ Neither database

ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐Yes ☑No

If yes, provide DEC ID number(s): _____

iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☑ No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? ☐ Yes ☑ No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? TBD feet

b. Are there bedrock outcroppings on the project site? ☐ Yes ☑ No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Gravelly Loam and Topsoil 100 %
_____ %
_____ %

d. What is the average depth to the water table on the project site? Average: TBD feet

e. Drainage status of project site soils: ☑ Well Drained: 100 % of site
☐ Moderately Well Drained: _____ % of site
☐ Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: ☑ 0-10%: 80 % of site
☑ 10-15%: 20 % of site
☐ 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? ☐ Yes ☑ No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☐ Yes ☑ No

ii. Do any wetlands or other waterbodies adjoin the project site? ☐ Yes ☑ No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☐ Yes ☐ No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☑ No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? ☐ Yes ☑ No

j. Is the project site in the 100 year Floodplain? ☐ Yes ☑ No

k. Is the project site in the 500 year Floodplain? ☐ Yes ☑ No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☐ Yes ☑ No
If Yes:

i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____

_____ _____ _____

_____ _____ _____

n. Does the project site contain a designated significant natural community? ☐Yes ☑No

If Yes:

i. Describe the habitat/community (composition, function, and basis for designation): _____

ii. Source(s) of description or evaluation: _____

iii. Extent of community/habitat:

- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ☐Yes ☑No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? ☐Yes ☑No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ☐Yes ☑No

If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐Yes ☑No

If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? ☐Yes ☑No

i. If Yes: acreage(s) on project site? _____

ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? ☐Yes ☑No

If Yes:

i. Nature of the natural landmark: ☐ Biological Community ☐ Geological Feature

ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? ☐Yes ☑No

If Yes:

i. CEA name: _____

ii. Basis for designation: _____

iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? ☐ Yes ☑ No

If Yes:

i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based:

_____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☐ Yes ☑ No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☑ No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☐ Yes ☑ No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☑ No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

F. Additional Information

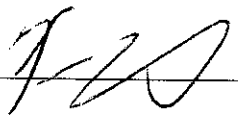
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Ken Lytle c/o ZEN Design Consultants, Inc. Date 04/07/2015

Signature  Title C.E.O.

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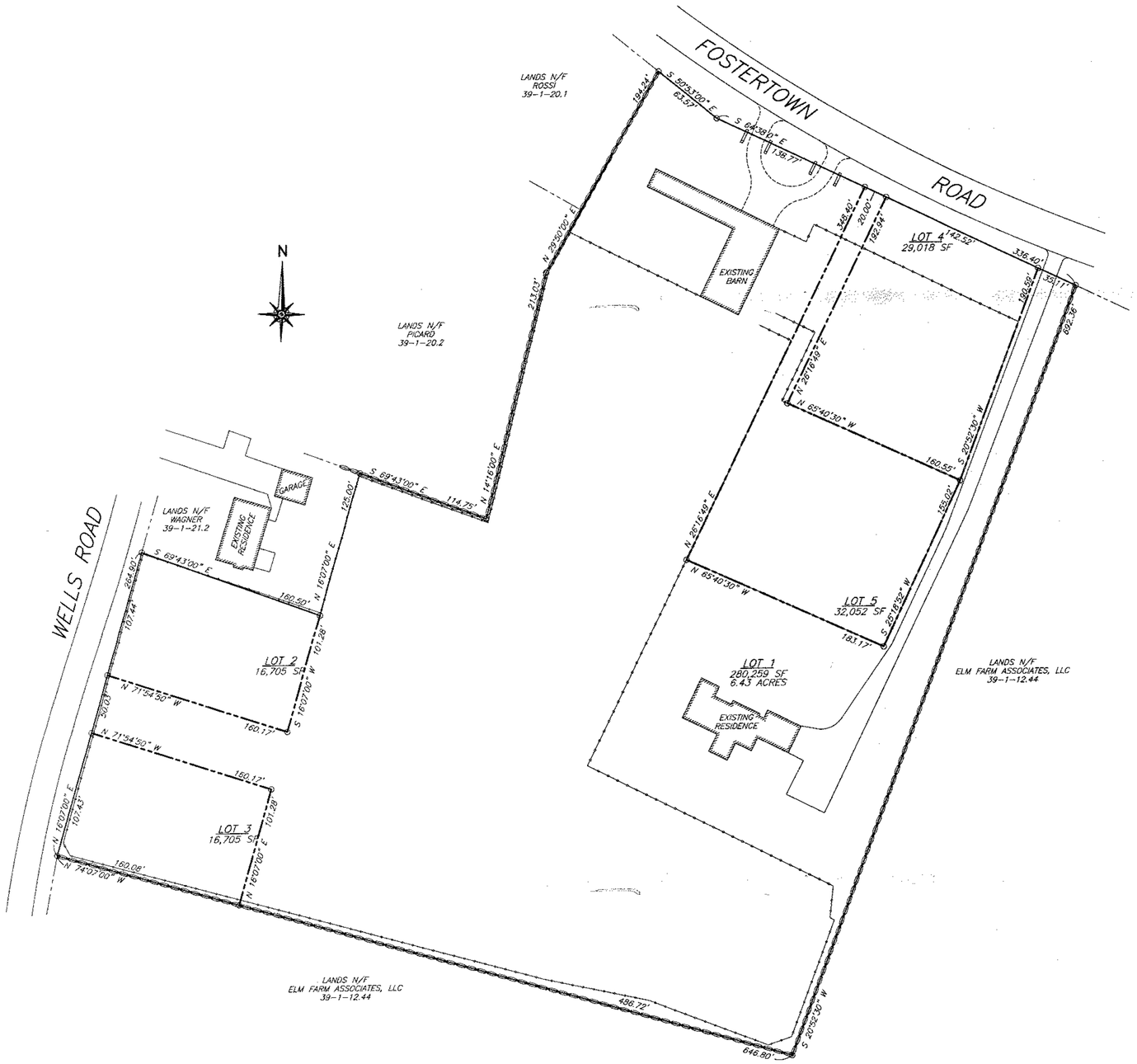


OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

THE TARSIO FAMILY LIMITED

APPLICANT/OWNER

THE TARSIO FAMILY LIMITED
283 FOSTERTOWN ROAD
NEWBURGH, NY 12550

CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED IN THE FIELD ON MAY 14, 2014 BY ANTHONY D. VALDINA, L.S.

TOWN CERTIFICATION:

"I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE SEWAGE DISPOSAL SYSTEMS DEPICTED ON THIS PLAT HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."

TOPOGRAPHY NOTE

TOPOGRAPHY PROVIDED BY ANTHONY D. VALDINA, L.S. AND ZEN DESIGN CONSULTANTS, INC.

WELL NOTE:

TOWN WATER SUPPLY

SEWER NOTE:

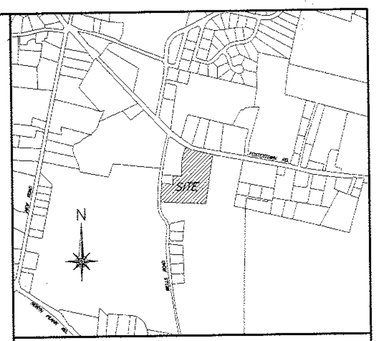
TOWN SEWER & PRIVATE SEPTIC SYSTEM

SURVEY NOTES:

1. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE N.Y. STATE EDUCATION LAW.
2. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL SHALL BE CONSIDERED TO BE VALID COPIES.
3. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
4. SURVEYED IN ACCORDANCE WITH FILED MAPS, DEEDS, AND PHYSICAL MONUMENTATION FOUND AT THE TIME OF SURVEY.
5. SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN UP TO DATE TITLE ABSTRACT REPORT.

SPECIAL NOTE:

1. SEWER FOR LOT 2 & 3 SHALL BE SERVICED THROUGH A COMMON 8"ø SEWER MAIN AND SHALL BE LOCATED IN THE 50' SPACE ALONG WELLS ROAD.
2. FUTURE DEVELOPMENT OF THE RESIDENTIAL LOT WILL REQUIRE THE EXTENSION OF MUNICIPAL WATER AND SEWER SERVICE PER TOWN OF NEWBURGH PUBLIC IMPROVEMENT REQUIREMENTS.



ZEN DESIGN CONSULTANTS, INC.
6 OLD NORTH PLANK ROAD
NEWBURGH, NEW YORK 12550
(845)-569-1567 (phone), (845)-569-1567 (fax)

LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACKS
- EW — EW — EXISTING WATER SERVICE
- PW — PW — PROPOSED WATER SERVICE
- EW EXISTING WELL
- PROPOSED HOUSE
- PROPOSED D-BOX
- PROPOSED SEPTIC TANK
- (R) PROP. ROOF DRAIN OUTLET
- (F) PROP. FOOTING DRAIN OUTLET
- (C) PROP. CURB BOX LOCATION

TOWN: NEWBURGH
ZONE: R2 W/ TOWN WATER ONLY
TOTAL ACREAGE: 8.60±

LOTS 1, 4 & 5

	REQUIRED	LOT #1	LOT #4	LOT #5
MINIMUM LOT AREA	17,500sf	280,259sf	29,018sf	32,052sf
MINIMUM YARDS				
FRONT	40'	40'+	40'+	40'+
REAR	40'	40'+	40'+	40'+
SIDE 1	15'	15'+	15'+	15'+
SIDE BOTH	30'	30'+	30'+	30'+
MINIMUM LOT				
WIDTH	100'	200'+	142'+	180'+
DEPTH	125'	690'+	190'+	384'+

TOWN: NEWBURGH
ZONE: R2 W/ TOWN WATER & SEWER
TOTAL ACREAGE: 8.60±

LOTS 2 & 3

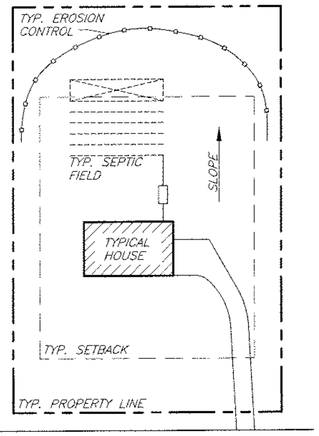
	REQUIRED	LOT #2	LOT #3
MINIMUM LOT AREA	15,000sf	16,705sf	16,705sf
MINIMUM YARDS			
FRONT	40'	40'	40'
REAR	40'	40'	40'
SIDE 1	15'	15'	15'
SIDE BOTH	30'	30'	30'
MINIMUM LOT			
WIDTH	100'	107'+	107'+
DEPTH	125'	160'+	160'+

1. REVISED 01/05/2015, PER TOWN ENGINEER COMMENTS

SURVEYOR	ENGINEER	TARSIO FAMILY SUBDIVISION
ANTHONY VALDINA, L.S.	WILLIAM MOREAU, P.E.	5 LOT SUBDIVISION SURVEY PLAT SBL: 39-1-21.1 TOWN OF NEWBURGH, ORANGE COUNTY, NY

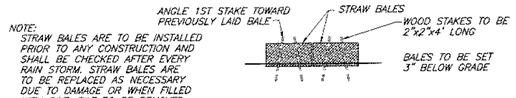
STATE OF NEW YORK · WILLIAM J. MOREAU · No. 060867 · LICENSED PROFESSIONAL ENGINEER

DATE	SCALE	JOB NUMBER	SHEET NUMBER
10/14/2014	1" = 50'	14-004-TAR	1 OF 4



TYPICAL EROSION CONTROL DETAIL
N.T.S.

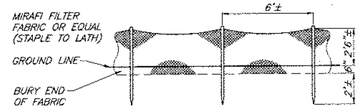
NOTE:
1. STRAW BALES OR SILT FENCING ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION. EROSION CONTROL TO BE LOCATED ON THE DOWNHILL SIDE OF DISTURBED LAND. EROSION CONTROL LOCATIONS WILL VARY DEPENDING ON THE DIRECTION OF SLOPE FOR THE INDIVIDUAL LOTS. SEE DETAILS FOR INSTALLATION INSTRUCTIONS.



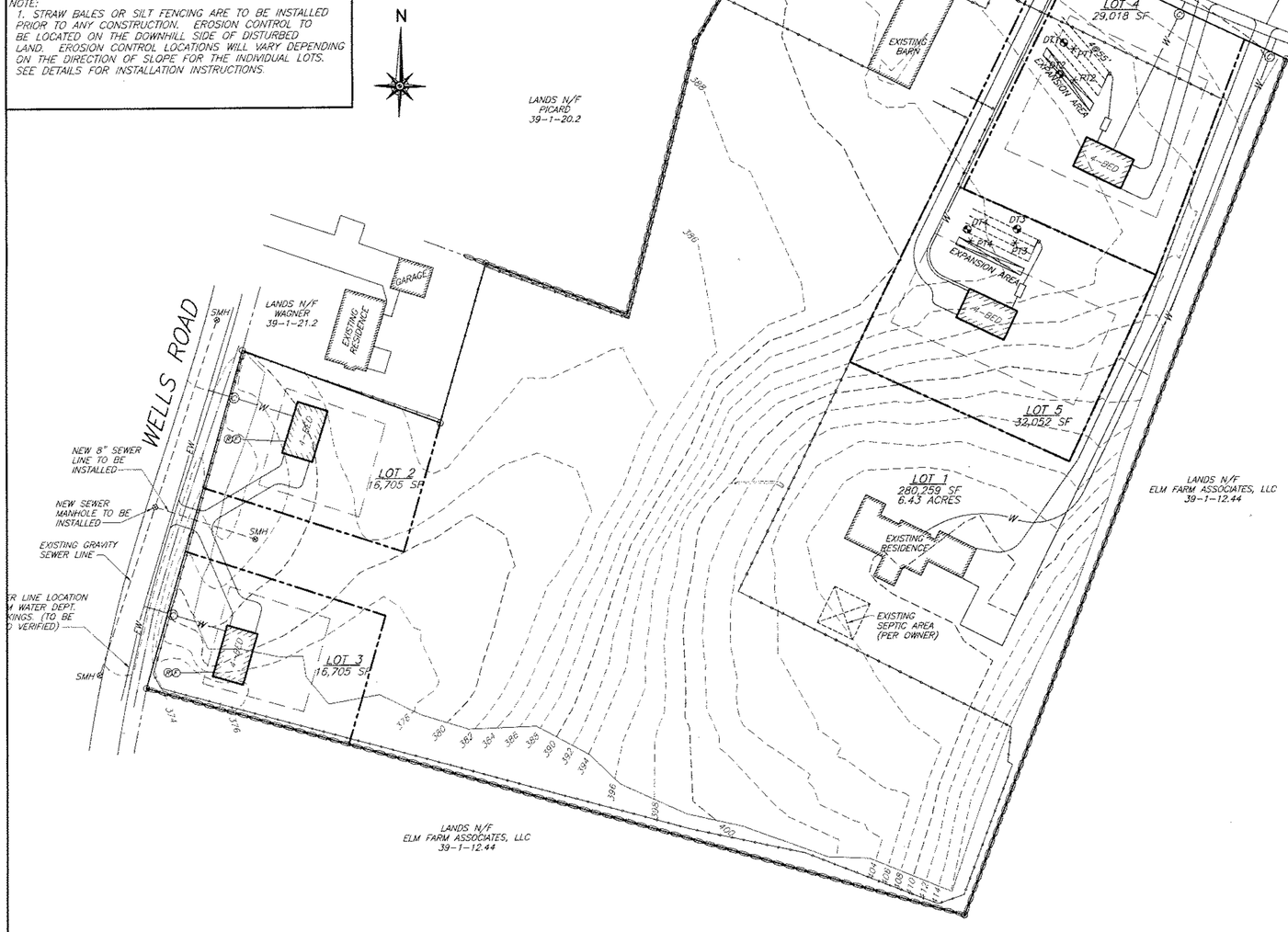
NOTE:
STRAW BALES ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND SHALL BE CHECKED AFTER EVERY RAIN STORM. STRAW BALES ARE TO BE REPLACED AS NECESSARY DUE TO DAMAGE OR WHEN FILLED WITH SILT. SILT TO BE REMOVED IN FRONT OF BALES REGULARLY TO PREVENT EXCESSIVE SOIL BEARING WEIGHT ON THE BALES.

STAKED STRAW BALE PLAN
N.T.S.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. STRAW BALES ARE TO BE USED FOR SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION. STRAW BALES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS REESTABLISHED.



SILT FENCE DETAIL
N.T.S.



LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED PROPERTY LINE
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- (R) PROP. ROOF DRAIN OUTLET
- (F) PROP. FOOTING DRAIN OUTLET
- (C) PROP. CURB BOX LOCATION

EROSION CONTROL STANDARD NOTES

1. EXCAVATION, FILLING, GRADING AND STRIPPING SHALL BE PERMITTED TO BE UNDERTAKEN ONLY IN SUCH LOCATIONS AND IN SUCH A MATTER AS TO MINIMIZE THE POTENTIAL OF EROSION AND SEDIMENT AND THE THREAT TO THE HEALTH, SAFETY AND WELFARE OF NEIGHBORING PROPERTY OWNERS AND THE GENERAL PUBLIC.
2. SITE PREPARATION AND CONSTRUCTION SHALL BE FITTED TO THE VEGETATION, TOPOGRAPHY AND OTHER NATURAL FEATURES OF THE SITE AND SHALL PRESERVE AS MANY OF THESE FEATURES AS FEASIBLE.
3. THE CONTROL OF EROSION AND SEDIMENT SHALL BE A CONTINUOUS PROCESS UNDERTAKEN AS NECESSARY PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION.
4. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED BY SITE PREPARATION AT ANY GIVEN TIME.
5. THE EXPOSURE OF AREAS BY SITE PREPARATION SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME PRIOR TO THE CONSTRUCTION OF STRUCTURES OR IMPROVEMENTS OR THE RESTORATION OF THE EXPOSED AREAS TO AN ATTRACTIVE NATURAL CONDITION.
6. MULCHING OR TEMPORARY VEGETATION SUITABLE TO THE SITE SHALL BE USED WHERE NECESSARY TO PROTECT AREAS EXPOSED BY SITE PREPARATION, AND PERMANENT VEGETATION WHICH IS WELL ADAPTED TO THE SITE SHALL BE INSTALLED AS SOON AS PRACTICAL.
7. WHERE SLOPES ARE TO BE REVEGETATED IN AREAS EXPOSED BY SITE PREPARATION, THE SLOPES SHALL NOT BE OF SUCH STEEPNESS THAT VEGETATION CANNOT BE READILY ESTABLISHED OR THAT PROBLEMS OF EROSION OR SEDIMENT MAY RESULT.
8. SITE PREPARATION AND CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE FREE FLOW OF WATER BY ENCROACHING ON, BLOCKING OR RESTRICTING WATERCOURSES.
9. ALL FILL MATERIAL SHALL BE COMPOSITION SUITABLE FOR THE ULTIMATE USE OF THE FILL, FREE OF RUBBISH AND CAREFULLY RESTRICTED IN ITS CONTENT OF BRUSH, STUMPS, TREE DEBRIS, ROCKS, FROZEN MATERIAL AND SOFT OR EASILY COMPRESSIBLE MATERIAL
10. FILL MATERIAL SHALL BE COMPACTED SUFFICIENTLY TO PREVENT PROBLEMS OF EROSION, AND WHERE THE MATERIAL IS TO SUPPORT STRUCTURES, IT SHALL BE COMPACTED TO A MINIMUM OF ONE HUNDRED PERCENT (100%) OF STANDARD PROCTOR TEST METHOD OR 95% MODIFIED PROCTOR TEST METHOD WITH PROPER MOISURE CONTROL.
11. ALL TOPSOIL WHICH IS EXCAVATED FROM A SITE SHALL BE STOCKPILED AND USED FOR THE RESTORATION OF THE SITE, AND SUCH STOCKPILES, WHERE NECESSARY, SHALL BE SEEDED OR OTHERWISE TREATED TO MINIMIZE THE EFFECTS OF EROSION.
12. PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION, AN INTEGRATED DRAINAGE SYSTEM SHALL BE PROVIDED WHICH AT ALL TIMES MINIMIZES EROSION, SEDIMENT, HAZARDS OF SLOPE INSTABILITY AND ADVERSE EFFECT ON NEIGHBORING PROPERTY OWNERS.
13. THE NATURAL DRAINAGE SYSTEM SHALL GENERALLY BE PRESERVED IN PREFERENCE TO MODIFICATIONS OF THIS SYSTEM, EXCEPTING WHERE SUCH MODIFICATIONS ARE NECESSARY TO REDUCE LEVELS OF EROSION AND SEDIMENT AND ADVERSE EFFECTS ON NEIGHBORING PROPERTY OWNERS.
14. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO HANDLE ADEQUATELY ANTICIPATED FLOWS, BOTH WITHIN THE SITE AND FROM THE ENTIRE UPSTREAM DRAINAGE BASIN.
15. SUFFICIENT GRADES AND DRAINAGE FACILITIES SHALL BE PROVIDED TO PREVENT THE PONDING OF WATER, UNLESS SUCH PONDING IS PROPOSED WITHIN SITE PLANS, IN WHICH EVENT THERE SHALL BE SUFFICIENT WATER FLOW TO MAINTAIN PROPOSED WATER LEVELS AND TO AVOID STAGNATION.
16. THERE SHALL BE PROVIDED WHERE NECESSARY TO MINIMIZE EROSION AND SEDIMENT SUCH MEASURES AS BENCHES, BERMS, TERRACES, DIVERSIONS AND SEDIMENT, DEBRIS AND RETENTION BASINS.
17. DRAINAGE SYSTEMS, PLANTINGS AND OTHER EROSION OR SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AS FREQUIENTLY AS NECESSARY TO PROVIDE ADEQUATE PROTECTION AGAINST EROSION AND SEDIMENT AND TO ENSURE THAT THE FREE FLOW OF WATER IS NOT OBSTRUCTED BY THE ACCUMULATION OF SILT, DEBRIS OR OTHER MATERIAL OR BY STRUCTURAL DAMAGE.

ZEN
DESIGN CONSULTANTS, INC.
6 OLD NORTH PLANK ROAD
NEWBURGH, NEW YORK 12250
(845)-569-1567 (phone), (845)-569-1567 (fax)

1. REVISED 01/05/2015, PER TOWN ENGINEER COMMENTS

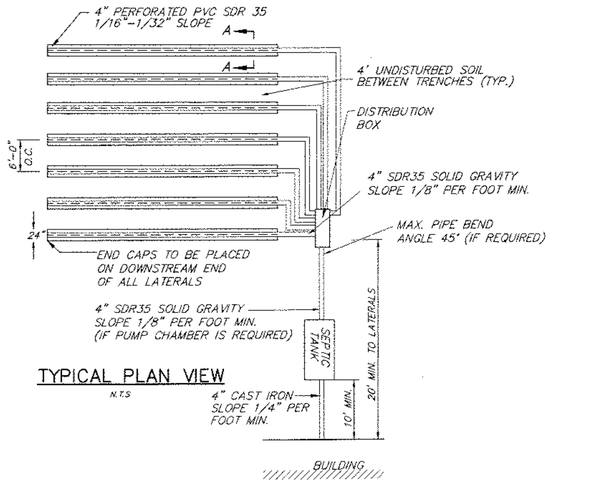
ENGINEER
WILLIAM MOREAU, P.E.

STATE OF NEW YORK — WILLIAM J. MOREAU — No. 060687 — LICENSED PROFESSIONAL ENGINEER

TARSIO FAMILY SUBDIVISION
5 LOT SUBDIVISION
LOT LAYOUT
SBL: 39-1-21.1
TOWN OF NEWBURGH, ORANGE COUNTY, NY

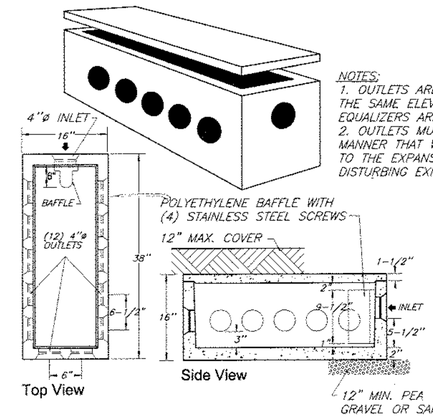
DATE	SCALE	JOB NUMBER	SHEET NUMBER
10/14/2014	1" = 50'	14-004-TAR	2 OF 4

ZEN DESIGN CONSULTANTS, INC.
6 OLD NORTH PLANK ROAD
NEWBURGH, NEW YORK 12550
(845)-569-1367 (phone), (845)-569-1567 (fax)



TYPICAL PLAN VIEW

N.T.S.



NOTES:
1. OUTLETS ARE TO BE SET AT THE SAME ELEVATION AND FLOW EQUALIZERS ARE REQUIRED.
2. OUTLETS MUST BE USED IN A MANNER THAT WILL ALLOW ACCESS TO THE EXPANSION AREA WITHOUT DISTURBING EXISTING PIPING

WOODARDS PRECAST DISTRIBUTION BOX MODEL DB-12 / 12 OUTLETS W/BAFFLE	
Concrete Min. Strength: 4,000 psi at 28 days	Pipe Connection: Polylok Seal (patented)
Reinforcement: Fiber, 10ga. wire mesh	Load Rating: 300 psf
Air Entrainment: 5%	Weight = 325 lbs

12-HOLE DISTRIBUTION BOX

N.T.S.

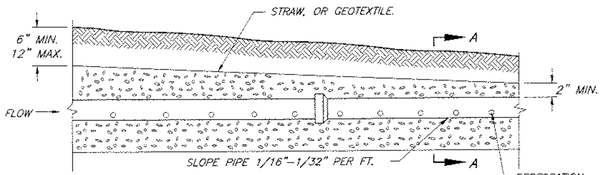
PRE-CAST STRUCTURE NOTE

A MAXIMUM OF 15° OF DEFLECTION SHALL BE USED WHEN ENTERING AND EXITING THE PRE-CAST STRUCTURES

	LOT #4	LOT #5
PERCOLATION DATA ✳	PT1 24" DEEP 4/4/15 STABILIZED RATE- 6 MIN/INCH PT2 24" DEEP 4/4/15 STABILIZED RATE- 2 MIN/INCH	PT3 24" DEEP 4/4/15 STABILIZED RATE- 4 MIN/INCH PT4 24" DEEP 4/4/15 STABILIZED RATE- 2 MIN/INCH
DEEP PIT DATA ◔	DT1 60" DEEP 4/3/15 0"-10" TOPSOIL 10"-22" GRAVELY LOAM 22"-60" R.O.B. NO ROCK OR WATER DT2 60" DEEP 4/3/15 0"-8" TOPSOIL 8"-20" LIGHT BROWN LOAM 20"-60" GRAVELY LOAM NO ROCK OR WATER	DT3 60" DEEP 4/3/15 0"-9" TOPSOIL 9"-60" GRAVELY LOAM NO ROCK OR WATER DT4 60" DEEP 4/3/15 0"-6" TOPSOIL 8"-60" GRAVELY LOAM NO ROCK OR WATER
DESIGN DATA	1.) NO OF BEDROOMS - 4(MAX) 2.) DAILY FLOW - 440 G.P.D. 3.) SEPTIC TANK CAPACITY - 1,250 GAL. 4.) STABILIZED PERCOLATION RATE- 6 MIN/INCH 5.) ABSORPTION FIELD LENGTH- REQ'D (4BDRM)- 220 L.F. PROV'D-4 @ 55'= 220 L.F. 6) FILL REQUIRED- NONE	1.) NO OF BEDROOMS - 4(MAX) 2.) DAILY FLOW - 440 G.P.D. 3.) SEPTIC TANK CAPACITY - 1,250 GAL. 4.) STABILIZED PERCOLATION RATE- 4 MIN/INCH 5.) ABSORPTION FIELD LENGTH- REQ'D (4BDRM)- 220 L.F. PROV'D-4 @ 55'= 220 L.F. 6) FILL REQUIRED- NONE

SEPTIC SYSTEM GENERAL NOTES:

1. ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL.
2. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE.
3. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF ABSORPTION FIELD.
4. NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL NOT BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD.
5. NO TRENCHES TO BE INSTALLED IN WET SOIL.
6. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
7. GROUT ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX.
8. DISTRIBUTION LINE ARE TO BE CAPPED.
9. THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER.
10. ALL NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH.
11. NO SEWAGE SYSTEM SHALL BE PLACED WITH IN 100' OF ANY WATER COURSE OR 50' OF DRAINAGE DITCH. THIS DISTANCE IS TO BE MEASURED FROM THE TOE OF ANY FILL PLACED.
12. ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM.
13. BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED.
14. THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION FOR APPROVAL.
15. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
16. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND REAPPROVED BY THE ORANGE COUNTY HEALTH DEPARTMENT.
17. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
18. THE PURCHASER OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. THE PURCHASER SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENENCE PROCEDURES THAT MAY BE NECESSARY (REFER TO PAGES 58-61 OF THE NYSDOH DESIGN HANDBOOK FOR RECOMMENDED ROUTINE OPERATION AND MAINTENENCE ITEMS).
19. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPT.) SHALL INSPECT THE SANITARY FACILITIES (WATER, ANY TREATMENT AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE DWELLING, THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
20. ORANGE COUNTY DEPARTMENT OF HEALTH ACCEPTANCE IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH, BASED UPON DEVELOPMENTS, FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.

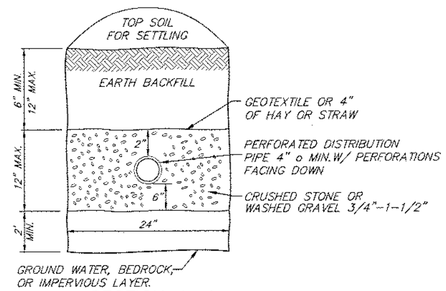


TRENCH PROFILE

ABSORPTION TRENCH DETAIL

N.T.S.

NOTE:
1. DO NOT INSTALL TRENCHES IN WET SOIL
2. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL.
3. ENDS OF ALL DISTRIBUTION PIPES MUST BE PLUGGED.
4. TRENCHES TO BE 6' MINIMUM ON CENTER.
5. 4' MINIMUM OF UNDISTURBED SOIL TO BE MAINTAIN BETWEEN TRENCHES.
6. THE BOTTOM OF THE TRENCH TO BE SET LEVEL.
7. LATERALS FOR DOSED SYSTEMS ARE TO BE SET NEARLY LEVEL.



SECTION A-A

STANDARD NOTES:

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

"APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
"WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH."
"RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH."
"PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH."

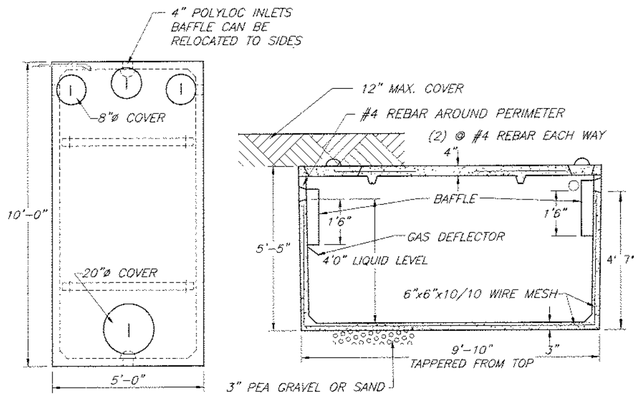
"THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES.

ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE.

ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

TRENCH BOTTOMS TO BE SET LEVEL AND PARALLEL TO EXISTING CONTOURS.

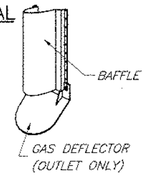
REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS (AS SHOWN IN NYS DEPARTMENT OF HEALTH DESIGN HANDBOOK FOR INDIVIDUAL RESIDENTIAL WASTEWATER TREATMENT SYSTEMS, ed. 1996)					
SYSTEM COMPONENTS	WELL OR SUCTION LINE	STREAM, LAKE WATERCOURSE OR WETLAND	DWELLING	PROPERTY LINE	DRAINAGE DITCH
HOUSE SEWER	50' (25' FOR CAST OR PVC W/ O-RING)	25'	3'	10'	----
(WATERTIGHT JOINTS) SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'	20'
ABSORPTION FIELD	100'	100'	20'	10'	50'
SEEPAGE PIT	150'	100'	20'	10'	50'
DRY WELL (ROOF AND FOOTING)	50'	25'	20'	10'	10'
RAISED OR MOUND SYSTEM	100'	100'	20'	10'	50'
INTERMITTENT SAND FILTER	100'	100'	20'	10'	50'
EVAPOTRANSPIRATION-ABSORPTION SYSTEM	100'	50'	20'	10'	50'
COMPOSTER	50'	50'	20'	10'	10'
SANITARY PRIVY PIT	100'	50'	20'	10'	20'
PRIVY, WATERTIGHT VAULT	50'	50'	20'	10'	10'



WOODARD'S 1250gal. SEPTIC TANK OR EQUAL

N.T.S.

SPECIFICATIONS
CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
REINFORCEMENT- 6"x6"10GA. WWF, #4 REBAR
AIR ENTRAPMENT- 5%
CONSTRUCTION JOINT- BUTYL RUBBER - BASE CEMENT
PIPE CONNECTION- POLYLOC SEAL (PATENTED)
LOAD RATING- 300PSF WEIGHT = 9,500LBS

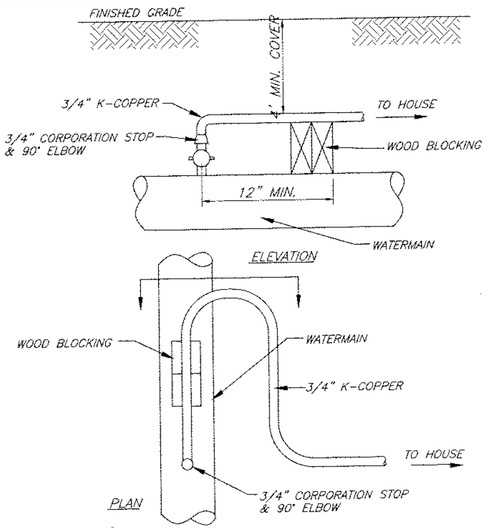


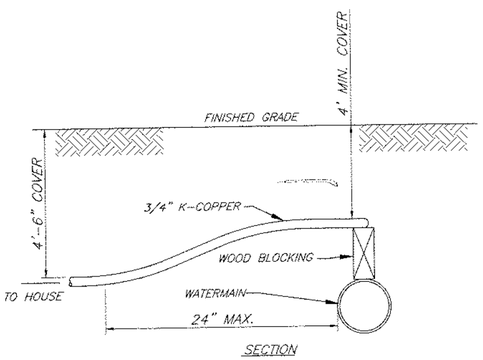
ENGINEER
WILLIAM MOREAU, P.E.

STATE OF NEW YORK WILLIAM J. MOREAU No. 060887 LICENSED PROFESSIONAL ENGINEER

TARSIO FAMILY SUBDIVISION
5 LOT SUBDIVISION
SEPTIC SYSTEM DESIGN DATA
SBL: 39-1-21.1
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE	SCALE	JOB NUMBER	SHEET NUMBER
10/14/2014	1" = 50'	14-004-TAR	3 OF 4

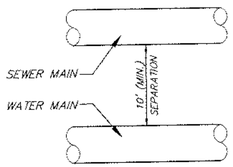




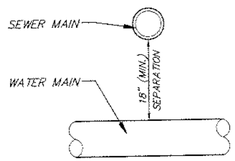
WATER SERVICE CONNECTION DETAIL
N.T.S.

SEWER - WATER SEPARATION NOTES

1. WHEN IT IS IMPOSSIBLE TO MAINTAIN PROPER HORIZONTAL OR VERTICAL SEPARATION AS SHOWN, THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER MAIN, AND SHALL BE PRESSURE TESTED TO ASSURE WATERTIGHTNESS PRIOR TO BACKFILLING.



WATER - SEWER HORIZONTAL SEPARATION DETAIL
N.T.S.



SEWER OVER WATER VERTICAL SEPARATION DETAIL
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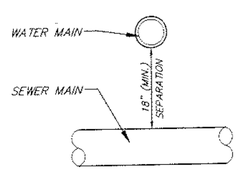
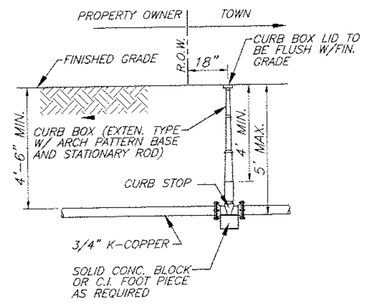


WATER OVER SEWER VERTICAL SEPARATION DETAIL
N.T.S.

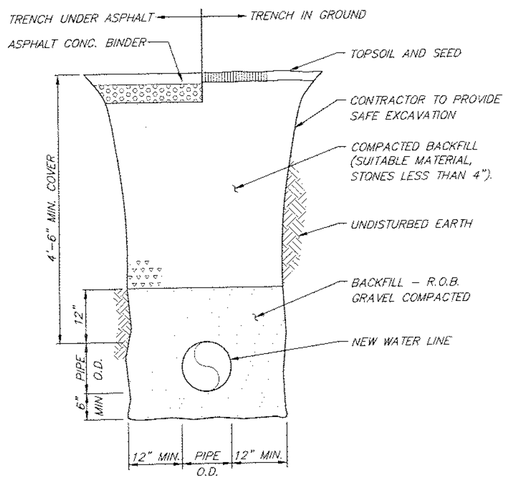
WATER OVER SEWER SEPARATION NOTES

1. ONE FULL LENGTH OF SEWER PIPE SHALL BE INSTALLED SO THAT BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE (10' MIN.).
2. CONTRACTOR SHALL PROVIDE STRUCTURAL SUPPORT FOR EXISTING WATER MAIN OVER THE ENTIRE TRENCH WIDTH TO PREVENT DAMAGE TO THE WATER MAIN.
3. WATER TIGHT JOINTS WHERE WATERLINES ARE CROSSED ABOVE OR BELOW.
4. FULL LENGTH OF PIPE MUST BE CENTERED ON CROSSING



NOTE: PROPOSED LOCATIONS OF CURB BOXES TO BE FIELD LOCATED (STAKED) AND APPROVED BY WATER SUPERINTENDENT PRIOR TO INSTALLATION.

WATER SERVICE CURB BOX
N.T.S.



TYPICAL WATER TRENCH
N.T.S.

TOWN OF NEWBURGH
WATER SYSTEM NOTES:

1. "CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH."
2. ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI\AWWA C104\A21.4 & A21.15, LATEST VERSION, FOR DUCTILE IRON PIPE. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
3. THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MOGALUG SERIES 1100 OR APPROVAL EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
4. ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 52 AND CONFORM TO ANSI\AWWA C110\A21.10, LATEST EDITION, FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI\AWWA C153\A21.53, LATEST EDITION, FOR DUCTILE IRON COMPACT FITTINGS.
5. ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI\AWWA C509 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
6. TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI\AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM; TESTING OF THE TAPPING SLEEVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
7. ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020 FOR 3/4 AND 1 INCH, MUELLER H-15000 OR B-25000 FOR 1-1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2 FOR 3/4 AND 1 INCH AND MUELLER B-25204 FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314 FOR 3/4 AND 1 INCH AND MUELLER H-10310 FOR 1-1/2 AND 2 INCH SIZES.
8. ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
9. THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH & AWWA, LATEST VERSION, REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.

ZEN DESIGN CONSULTANTS, INC.
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NEWBURGH, NEW YORK 12550
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SURVEYOR
ANTHONY VALDINA, L.S.

STATE OF NEW YORK — WILLIAM J. McGINLEY — No. 050681 — LICENSED PROFESSIONAL ENGINEER

TARSIO FAMILY SUBDIVISION
5 LOT SUBDIVISION
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