

ABBREVIATIONS

@	AT	ID.	INSIDE DIAMETER	W/	WITH
&	AND	INCL.	INCLUDED	WC.	WATER CLOSET
ABV.	ABOVE	INFO.	INFORMATION	WD.	WOOD
A.C.	ASPHALTIC CONCRETE	INT.	INTERIOR	WH.	WASHER
AC.	AIR CONDITIONING	INT.	INTERIOR	W/O	WATER HEATER
ACT.	ABOVE COUNTERTOP	INF.	INFRARED	WP.	WATER PROOF
ACoust.	ACOUSTICAL	LAM.	LAMINATE	YD.	YARD
ADDNL.	ADDITIONAL	LB.	POUND		
ADJ.	ADJACENT	LF.	LINEAL FOOT		
AF.	ABOVE FINISH FLOOR	LVL.	LAMINATED VENEER LUMBER		
AGG.	AGGREGATE	MAX.	MAXIMUM		
ALUM.	ALUMINUM	MECH.	MECHANICAL		
ALT.	ALTERNATE	MFR.	MANUFACTURER		
ARCH.	ARCHITECTURAL	MH.	MAN HOLE		
AVG.	AVERAGE	MIN.	MINIMUM		
BD.	BOARD	MIR.	MIRROR		
BF.	BOTH FACES	MISC.	MISCELLANEOUS		
BF.	BOTH FACES	MW.	MICROWAVE		
BIC.	BUILT-IN CABINET	MOD.	MODULE		
BLDG.	BUILDING	MTL.	METAL		
BLK.	BLOCKING	(N)	NEW		
BLV.	BLOW	NEC	NATIONAL ELECTRIC CODE		
BRZ.	BRONZE	NIC	NOT IN CONTRACT		
BTM.	BOTTOM	N/A	NOT APPLICABLE		
BTR.	BETTER	NTS.	NOT TO SCALE		
BTWN.	BETWEEN	O/	OVER		
BVL.	BEVELED	O.C.	ON CENTER		
BW.	BOTH WAYS	O.D.	OUTSIDE DIAMETER		
CAB.	CABINET	OFD.	OVERFLOW DRAIN		
CBC.	CALIFORNIA BUILDING CODE	OH.	OVERHEAD		
CCR.	CALIFORNIA CODE OF REGULATIONS	OPP.	OPPOSITE		
CEC.	CALIFORNIA ELECTRIC CODE	PERF.	PERFORATED		
CF.	CUBIC FEET	PLAM.	PLASTIC LAMINATED		
CFC.	CALIFORNIA FIRE CODE	PLYWD.	PLYWOOD		
CLG.	CEILING	PNT.	PAINT		
CL.	CONTROL JOINT	PP.	POWER POLE		
CLR.	CLEAR	PSF.	POUNDS PER SQUARE FOOT		
CMC.	CALIFORNIA MECHANICAL CODE	PT.	PRESSURE TREATED		
CMU.	CONCRETE MASONRY UNIT	PVC.	POLY VINYL CHLORIDE		
CNTR.	COUNTER	PVM.	PAVEMENT		
C.O.	CLEAN OUT	PUE.	PUBLIC UTILITY EASEMENT		
COL.	COLUMN	QT.	QUARRY TILE		
COMP.	COMPOSITION	QT.	QUARRY TILE		
CONC.	CONCRETE	R.	RISER		
CONN.	CONNECTION	RAD.	RADIUS		
CONT.	CONTINUOUS	RD.	ROOF DRAIN		
CONTR.	CONTRACTOR	RDWD.	REDWOOD		
CPC.	CALIFORNIA PLUMBING CODE	REF.	REFRIGERATOR		
CT.	CERAMIC TILE	REQ'D	REQUIRED		
DBL.	DOUBLE	RET.	RETAINING		
DET.	DETAIL	REV.	REVISION		
DEPT.	DEPARTMENT	RM.	ROOM		
D.F.	DOUGLAS FIR	RO.	ROUGH OPENING		
DIA.	DIAMETER	SC.	SOLID CORE		
DIM.	DIMENSION	SCHED.	SCHEDULE		
DIV.	DIVISION	SD.	SOAP DISPENSER		
DN.	DOWN	SDR.	STORM DRAIN		
DW.	DISHWASHER	SECT.	SECTION		
DWG.	DRAWING	SEZ.	STREAM EASEMENT ZONE		
(E)	EXISTING	SF.	SQUARE FOOT/FEET		
EA.	EACH	SHT.	SHEET		
EJ.	EXPANSION JOINT	SHLVS.	SHELVES		
ELCT.	ELECTRIC/ELECTRICAL	SHWR.	SHOWER		
ELEV.	ELEVATION	SIM.	SIMILAR		
EMER.	EMERGENCY	SLR.	SEALER		
EN.	EDGE NAIL	SPEC.	SPECIFICATIONS		
EOP.	EDGE OF PAVEMENT	SQ.	SQUARE		
EOS.	EDGE OF SLAB	S&P.	SHLFT & POLE		
EQ.	EQUAL	SS.	SANITARY SEWER		
EQUIP.	EQUIPMENT	S.S.D.	SEE STRUCTURAL DRAWINGS		
EXT.	EXTERIOR	S.S.T.	STAINLESS STEEL		
FA.	FIRE ALARM	STD.	STANDARD		
FACP.	FIRE ALARM CONTROL PANEL	STL.	STEEL		
FAU.	FORCED AIR UNIT	STRUC.	STRUCTURAL		
FFE.	FINISHED FLOOR ELEVATION	SUSP.	SUSPENDED		
FG.	FIXED GLASS	S.W.	SHEARWALL		
FH.	FIRE HYDRANT	T.	TREAD		
FIN.	FINISH	TC.	TRASH COMPACTOR		
FLR.	FLOOR	TEL.	TELEPHONE		
GA.	GALVE	TEMP.	TEMPERED		
GALV.	GALVANIZED	T&G.	TONGUE & GROOVED		
GC.	GENERAL CONTRACTOR	TV.	TELEVISION		
GFI.	GROUND FAULT INTERRUPTER	TYP.	TYPICAL		
GI.	GALVANIZED IRON	UBC.	UNIFORM BUILDING CODE		
GLB.	GLUED LAMINATED BEAM	UFC.	UNIFORM FIRE CODE		
GND.	GROUND	UMC.	UNIFORM MECHANICAL CODE		
GSM.	GALVANIZED SHEET METAL	UON.	UNLESS OTHERWISE NOTED		
GYP.	BD. GYPSUM WALL BOARD	UPN.	UNIFORM PLUMBING CODE		
HB.	HOSE BIBB	VCT.	VINYL COMPOSITION TILE		
HC.	HOLLOW CORE / HANDICAP	VENT.	VENTILATION		
HDWR.	HARDWARE	VERT.	VERTICAL		
HORIZ.	HORIZONTAL	VIF.	VERIFY IN FIELD		
HP.	HIGH POINT	VNR.	VENER		
HT.	HEIGHT				
HTG.	HEATING				
HVAC.	HEATING/VENTILATION/AIR CONDITIONING				
HW.	HOT WATER				

TABLE OF USE AND BULK REQUIREMENTS
R-1 DISTRICT - SCHEDULE 3

PERMITTED USE	MINIMUM REQUIRED						MAXIMUM PERMITTED				
	LOT AREA (SQ. FEET)	LOT WIDTH (FEET)	LOT DEPTH (FEET)	FRONT YARD (FEET)	REAR YARD (FEET)	ONE SIDE YARD (FEET)	BOTH SIDE YARDS (FEET)	HABITABLE FLOOR AREA PER DWELLING UNIT SF	LOT BUILDING COVERAGE (PERCENT)	BUILDING HEIGHT (FEET)	LOT SURFACE AREA (PERCENT)
SINGLE FAMILY (1 DWELLING PER LOT)	40,000	150	150	50	40	30	80	1,500	10%	35	20%
ACTUAL SINGLE FAMILY 1 DWELLING	49,580	149	331	218	81	36	87	1,360	3%	27	10%
PROPOSED SINGLE FAMILY 1 DWELLING	49,580	149	331	218	81X	11	114' left	1,862	5%	27	10%

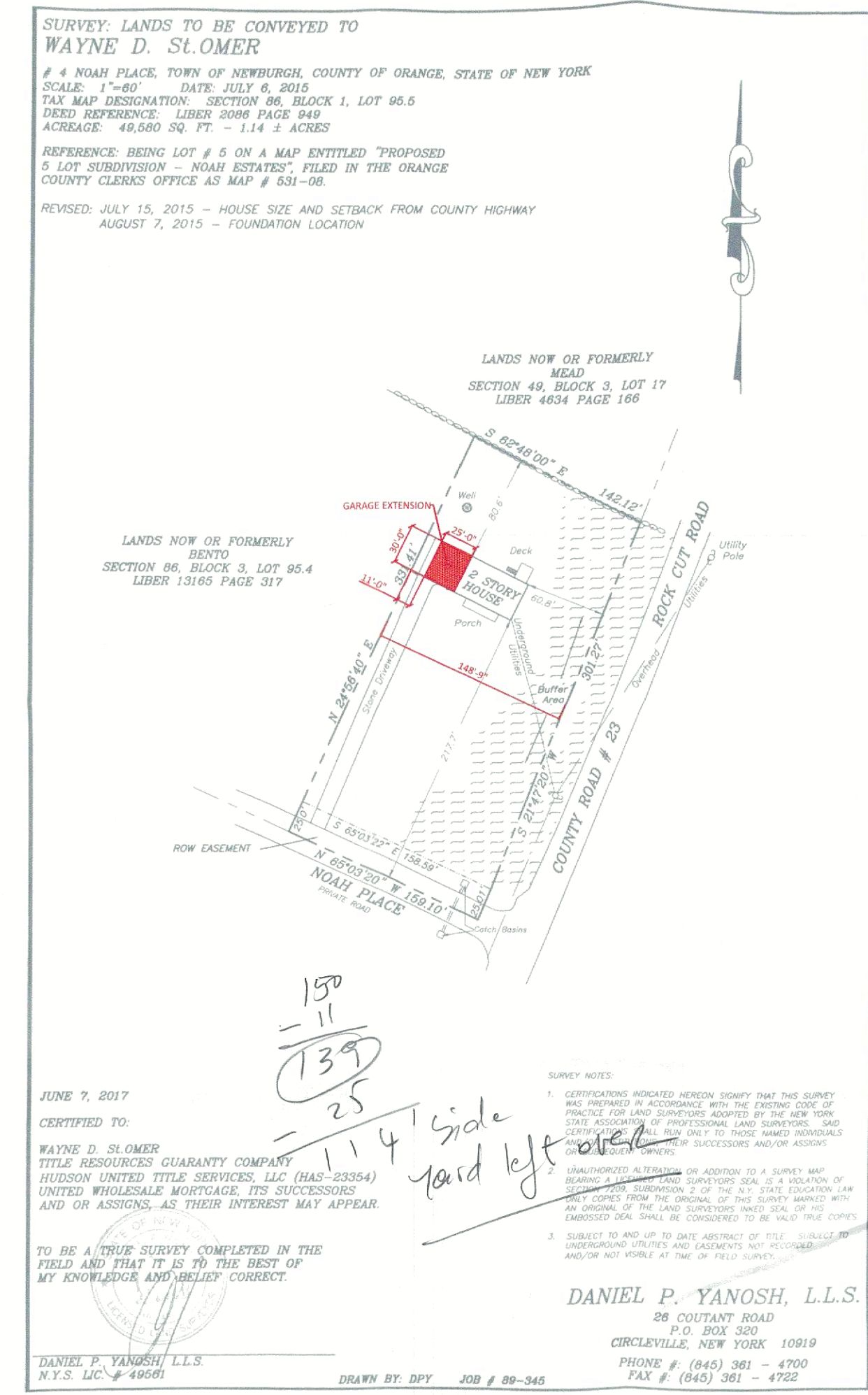
- Governing building codes:**
- All work described by these documents shall be performed in full accordance with all applicable codes, including but not limited to the following codes: Uniform Building Code, Uniform Mechanical Code; Uniform Fire Code, NFPA standards, National Electrical Code, Uniform Plumbing Code, all as adopted by the City of Newburgh, NY.

- General Notes**
- Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the architect for resolution prior to the delivery of any bid. Failure to do so shall cause the Contractor to be ineligible for extras relating to such matters.
 - Contractor shall submit reproducible shop drawings to Architect for Owner's, Architect's, and Engineer's approval.
 - Contractor shall co-ordinate with all trades to provide complete working systems.
 - Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the Architect or Engineer.
 - Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
 - Dimension to face of framing

- Lighting notes**
- Lighting layouts shown are intended to indicate desired fixture locations and switching and are based on existing facilities drawings for circuiting. Lighting installer shall make a thorough confirmation of all existing conditions before bidding work. Lighting shall be installed and circuiting in full accordance with the NEC by a licensed electrician.
 - All existing lighting is to remain unless noted otherwise.
 - Shower/Tub Overhead Lighting shall be waterproof WP fixtures

- Electric Notes**
- All conduit shall be 1/2" minimum with copper conductors installed. Aluminum conductors will not be allowed.
 - Electrical contractor shall provide as part of this contract legible labeling of all breakers on panel board with typewritten or plastic embossed label.
 - Provide no more than 8 duplex convenience outlets and no more than 3 computer outlets on any one circuit.
 - All bussing and wiring shall be copper.
 - For each equipment connection, determine and provide the device, outlet or junction box required to connect the equipment. Verify exact locations with architect/owner prior to installations.
 - Verify electrical requirements if any for any equipment or appliances shown on plans prior to commencement of work. Provide isolated ground wires as required by equipment manufacturers.
 - Electrical and power panels are located in public areas of building-verify exact location. Contractor shall verify that existing panels and feeders serving tenant spaces appear to be adequate for new lighting and power loads shown.
 - Seal all penetrations through corridor and other rated partitions as required to maintain required partition U.L. fire rating. Coordinate with architectural as needed.
 - All power devices, light switches, outlets, power poles, and communication cover plates as applicable shall be white.
 - Center all receptacles 18" a.f.f. and switches 48" a.f.f. unless noted otherwise on plan.
 - Existing electrical shown on plan is to remain unless located in demolished walls. Consolidate circuiting of existing outlets to maximize circuit availability for new electrical devices shown on plans.
 - The scope of the electrical work includes furnishing and installing all electrical work for a complete installation.
 - Provide motor starters not otherwise provided with mechanical equipment. Provide conduit for mechanical control wiring as may be required by code. Electrical contractor shall co-ordinate with mechanical contractor as to location of RTUs, AHUs, ACCUs, HPs, EFs water heaters, pumps, etc. (as applicable).
 - Contractor shall provide temporary power and lighting if and as needed for the use of all trades.

- Existing conditions**
- Match front facade existing windows on garage extension



SITE PLAN
Scale: 1" = 100'-0"

LOADS - NYS Residential Building Codes

	Live Load	Dead Load	Total Load
Non Sleeping Rooms	40 PSF	10 PSF	50 PSF
Sleeping Rooms	30 PSF	10 PSF	40 PSF
Porch/Decks	40 PSF	10 PSF	50 PSF
Roof	40 PSF	10 PSF	50 PSF

*Ground snow load of 40 psf
All framing lumber to be Doug Fir/Larch #2 or better or engineered lumber were noted

R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTS

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
DUTCHESS Co. 5A	0.32	0.55 NR		49/20 or 13+5	13/17		30/17/17	10, 2ft	15/19	
ULSTER Co. 6A	0.32	0.55 NR		49/20+5 or 13+10	15/20		30/15/19	10, 4ft	15/19	

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE SHIELD UNDER-LAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
GROUND SNOW LOAD	SPEED (MPH)	TOPOGRAPHIC EFFECT	SPECIAL WIND REGION		WEATHERING	FROST LINE DEPTH	TERMITES					
40	90	N	Y	N	B	SEVERE	48"	MODERATE TO HEAVY	2	YES	LOCAL LAW 1986	1500

EXPOSURE CATEGORY - EXPOSURE B: URBAN AND SUBURBAN AREA

OWNERS CERTIFICATION

- OWNERS DRAWING REVIEW:

Mr/Mrs _____
Have reviewed this set of drawings and agree that they represent to the best of their knowledge, their needs as described to the Architect. Existing conditions and planned construction as described are accurate and these can be used for building permit application.

Date: _____

Owners Signature: _____

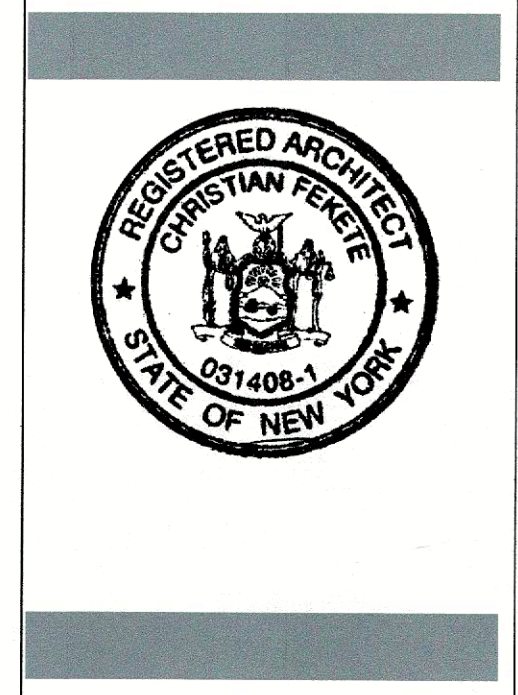
DRAWINGS LIST

- 0.0 COVER PAGE
- A1.0 FIRST FLOOR PLANS
- A1.1 SECOND FLOOR PLANS
- A3.0 LEFT ELEVATIONS & BUILDING SECTION
- A3.1 REAR & FRONT ELEVATIONS
- A4.0 WALL SECTIONS & DETAILS
- S1.0 ROOF TRUSSES

FOR BUILDING PERMIT ONLY



St. OMER RESIDENCE - GARAGE ADDITION
4 NOAH PLACE
NEWBURGH, NY 12550



REV.	DATE	REVISION
1	12/16/21	FOR BUILDING PERMIT

NO.	DATE	ISSUE NOTE
211025-1	DD	12/17/21

Project # _____ Phase Plot date _____
Sheet Title _____

COVER PAGE

Sheet No.

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