



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: 217 S. PLANK ROAD-CANNABIS DISPENSARY
PROJECT NO.: 24-13
PROJECT LOCATION: SECTION 61, BLOCK 1, LOT 18 &19
REVIEW DATE: 12 JULY 2024
MEETING DATE: 18 JULY 2024
PROJECT REPRESENTATIVE: MINUTA ARCHITECTURE

1. The use is a Special Use under Section 185-48.9 Cannabis Related Uses. Special Uses require Public Hearings in accordance with NYS Town Law.
2. The project now proposes a lot consolidation. A survey map depicting a lot consolidation has been provided.
3. Updated Survey Map identifies areas to the rear of the parcel utilized for landscaping under the previously approved Site Plan.
4. Jim Campbell's comments regarding the architectural features identifying the five leaf arrangement in the sign should be reviewed with regard to Section 185-49C(4) Sales Product and Paraphenallia items related to the preparation or consumption of products shall not be visible off-site or from a public right-of-way.
5. The application materials identify that the entire site will be seal coated and re-stripped for parking in compliance with Town of Newburgh Code.
6. Submission was made to County Planning on 25 June 2024.
7. The project is a Type II Action under SEQRA with no action required from the Planning Board. Planning Board could be in a position to schedule the Public Hearing. No determination, could be made until County 239 Referral response is received or timed out.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines
Principal
PJH/kbw

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

PLANNING BOARD NARRATIVE

ARCHITECTS PROJECT # 24117

To: Hon. John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

CC: File, Owner

Via: Hand

Pages: 2

Date: July 9, 2024

Re: PB #24-13, 217 S. Plank Road, S-B-L: 61-1-19.2

Dear Chairman Ewasutyn:

The project submission consists of the following:

The project before you represents work performed since this project was last seen by the planning board. The two lots have been consolidated to lot 19.2 and it has been filed with the Town and the County.

Site Improvements:

Plan S-1 depicts the areas at the rear of the property that comports with the original site plan approval of 2004.

A rendering of the front façade has been provided to illustrate before and after image. The intent is to repaint the building in the same colors. The parking lot will be seal coated black and new striping applied in accordance with Town specifications.

Three new parking signs will be placed on the wall at the accessible spaces.

Accessible space, no parking and accessible space directly in front of these parking spaces.

Signage:**Building:**

Signage has been proposed for the front facade, which is less than the maximum permitted.
120 lf x 0.70= 84 sf Total Allowed

Freestanding:

Updated signage for the freestanding sign proposes removing the lowest sign for a total sign area of less than 60 ft. per side to meet the current code.

23 sf +/- : Beer World

37.5 sf +/- : Cannabliss

Respectfully Submitted,
Joseph J. Minuta, RA, AIA, NCARB, CACB
NYS Codes Certified



**PROPOSED LOT CONSOLIDATION
TAX LOT 61-1-19.2**

All that certain plot, piece or parcel of land lying in the Town of Newburgh, County of Orange, State of New York; bounded and described as follows:

BEGINNING at the intersection of the westerly bounds of N.Y.S. Route 52 (South Plank Road) and the southeasterly corner of lands of Scotto (Tax lot 61-1-17); thence,

South 19 degrees 28 minutes 14 seconds East 210.00 feet along the westerly bounds of N.Y.S. Route 52; thence,

South 53 degrees 02 minutes 29 seconds West 234.88 feet along the northerly bounds of lands of Hudson Heritage Federal Credit Union (Tax lot 60-3-50); thence,

North 19 degrees 28 minutes 14 seconds West 259.10 feet along the easterly bounds of lands of JEMF Properties, LLC (Tax lot 60-3-1); thence,

North 65 degrees 03 minutes 05 seconds East 225.05 feet along the southerly bounds of lands of JEMF Properties, LLC (Tax lot 60-3-1) and lands of Scotto (Tax lot 61-1-17) to the point or place of BEGINNING.

Containing 52,545 square feet or 1.21 acres of land.



Navigation	GIS Map	Tax Maps	DTF Links	Help	Contact Us	Log In
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Commercial

- Property Info
- Owner/Sales
- Inventory
- Improvements
- Tax Info
- Report
- Comparables

Municipality of Newburgh			
SWIS:	334600	Tax ID:	61-1-19.2

Tax Map ID / Property Data			
Status:	Active	Roll Section:	Taxable
Address:	217 S Plank Rd		
Property Class:	450 - Retail srvc	Site Property Class:	450 - Retail srvc
Ownership Code:			
Site:	Com 1	In Ag. District:	No
Zoning Code:	-	Bldg. Style:	Not Applicable
Neighborhood:	40826 -	School District:	Newburg
Property Description:	Legal description not given for property		
Total Acreage/Size:	1.20	Equalization Rate:	----
Land Assessment:	2025 - \$72,900	Total Assessment:	2025 - \$274,700
Full Market Value:	2025 - \$1,333,495		
Deed Book:	14690	Deed Page:	1375
Grid East:	609164	Grid North:	981778
Bank Code:	0100075		

Special Districts for 2025				
Description	Units	Percent	Type	Value
AM010-Newburgh Ambulance	0	0%		0
FD030-Orange lk fire	0	0%		0
LT004-Consol lt	0	0%		0
WD001-Consol wtr 1	0	0%		0
WD002-Consol wtr 2	0	0%		0

Land Types	
Type	Size
Primary	1.20 acres

Photographs

No Photo Available

Documents

No documents found for this parcel

Maps

- View Tax Map
- Pin Property on GIS Map
- View in Google Maps
- View in Bing Maps
- View in Near Map

Map Disclaimer



Proposed elevation 07/08/2024

For illustration purposes only. Actual results may vary

PB# 24-13

217 S. Plank Road



Existing elevation

EXISTING PYLON SIGN



PROPOSED PYLON SIGN WITH NEW SIGN FACES AND SHORTENED LIGHT BOX




Quality Signs
 48 Mill St.
 Middletown, NY 10940

845.343.3025
 qualitydean@gmail.com
 www.qualitysigns.net

06/26/2024 11:05

BEER WORLD
217 South Plank Rd.
Town of Newburgh, NY
12550

BWA HOLDINGS
SECTION 61, BLOCK 1, LOT 19.2

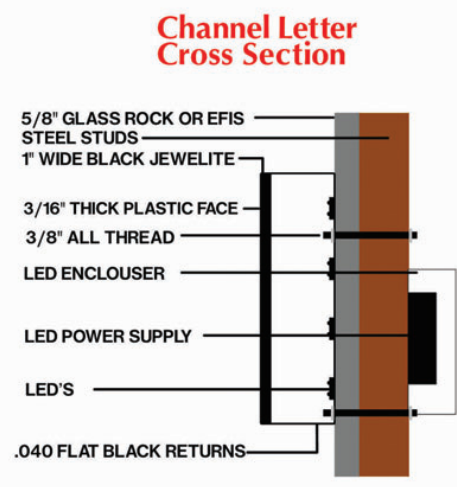


CHANNEL LETTER SYSTEM: INDIVIDUALLY INSTALLED LETTERS. FLAT BLACK RETURNS 5" DEEP, 3/16" THICK ACRYLIC FACES. LED ILLUMINATION WITH LED POWER SUPPLIES. REMOTE MOUNTED BEHIND WALL. ON/OFF SWITCH WITH PHOTO CELL. INSTALLED USING 1/4" TOGGLE SCREWS. POWER SUPPLIES ARE 2 AMPS, 60 WATTS, 120 VOLTS.

06/26/2024 11:06

Quality Signs
48 Mill St.
Middletown, NY 10940
845.343.3025
qualitydean@gmail.com
www.qualitysigns.net

DESIGN SPECIFICATIONS			
		NYS Building Code 2020	
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures	
ACI	318-14	Building Code Requirements for Structural Concrete	
ANSI/AISC	360-16	Specification for Structural Steel Buildings	
DESIGN LOADS			
Wind	V =	130 mph	
Exposure	C		
Risk Cat.	II		
Grnd. Snow	Pg =	30 psf	



FASTENER SCHEDULE (DM Letters)			WALL CONSTRUCTION			
	DIAM.	QTY.	MASONRY (CMU-Block)	EFIS/DRYVIT OVER min. 1/2" PLYWOOD	EFIS/DRYVIT OVER GYPSUM/DENSGLASS	METAL PANEL OVER METAL STUD
THRU-BOLT	3/8"	2	YES	YES	ONLY WITH BACKER (MIN. 3/4" PLYWOOD)	YES
DeWALT DBL. EXPANSION or SCREW-BOLT- ANCHOR	3/8"	2	YES ²	NO	NO	NO
LAG BOLT	3/8"	2	NO	1" SOLID WOOD PENETRATION REQ'D	NO	NO
SNAP TOGGLE BOLT TYPE BC	3/8"	3	IF THROUGH BLOCK FACE	YES	ONLY WITH MIN. 3/4" PLYWOOD BACKER	YES with plywood backer
Tek-Screw	1/4"	2	NO	NO	NO	YES into 1/8" Alum or 1/16" Steel

1.) Fasteners shall be evenly spaced. Thru-sign Backs with washer into .09" Back. w/Fenderwasher into .08" letter Back or less.
2.) Expansion anchors require a minimum 5" solid masonry embedment installed per/tec-guide for wall construction type.
3.) Engineering liability is limited to building connections.
4.) Tek-Screw into Alum. Require SS Screw - Full Thread Embedment Required.
5.) Thru-Bolts (All-Threaded Rods) into L2x2x3/16" Stl. Angle, P1000 Uni-Strut or 2x6 lumber spanning two(2) wall studs per/Bolt- Rod

Engineers Connection Note:
Provide Fasteners through letter backs with washer top and bottom, using the fastener schedule for existing wall construction type to determine the fastener type and quantity per/Letter to install.

CANNABLISS
 217 South Plank Rd.
 Town of Newburgh, NY
 12550

BWA HOLDINGS
 SECTION 61, BLOCK 1, LOT 19.2



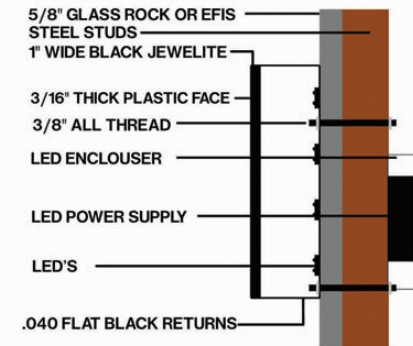
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DESIGN LOADS			
Wind	V =	130 mph	
Exposure	C		
Risk Cat.	II		
Grnd. Snow	Pg =	30 psf	

Channel Letter Cross Section



FASTENER SCHEDULE (DM Letters)			WALL CONSTRUCTION			
	DIAM.	QTY.	MASONRY (CMU-Block)	EFIS/DRYVIT OVER min. 1/2" PLYWOOD	EFIS/DRYVIT OVER GYPSUM/DENSGLASS	METAL PANEL OVER METAL STUD
THRU-BOLT	3/8"	2	YES	YES	ONLY WITH BACKER (MIN. 3/4" PLYWOOD)	YES
DeWALT DBL. EXPANSION or SCREW-BOLT- ANCHOR	3/8"	2	YES ²	NO	NO	NO
LAG BOLT	3/8"	2	NO	1" SOLID WOOD PENETRATION REQ'D	NO	NO
SNAP TOGGLE BOLT TYPE BC	3/8"	3	IF THROUGH BLOCK FACE	YES	ONLY WITH MIN. 3/4" PLYWOOD BACKER	YES with plywood backer
Tek-Screw	1/4"	2	NO	NO	NO	YES into 1/8" Alum or 1/16" Steel

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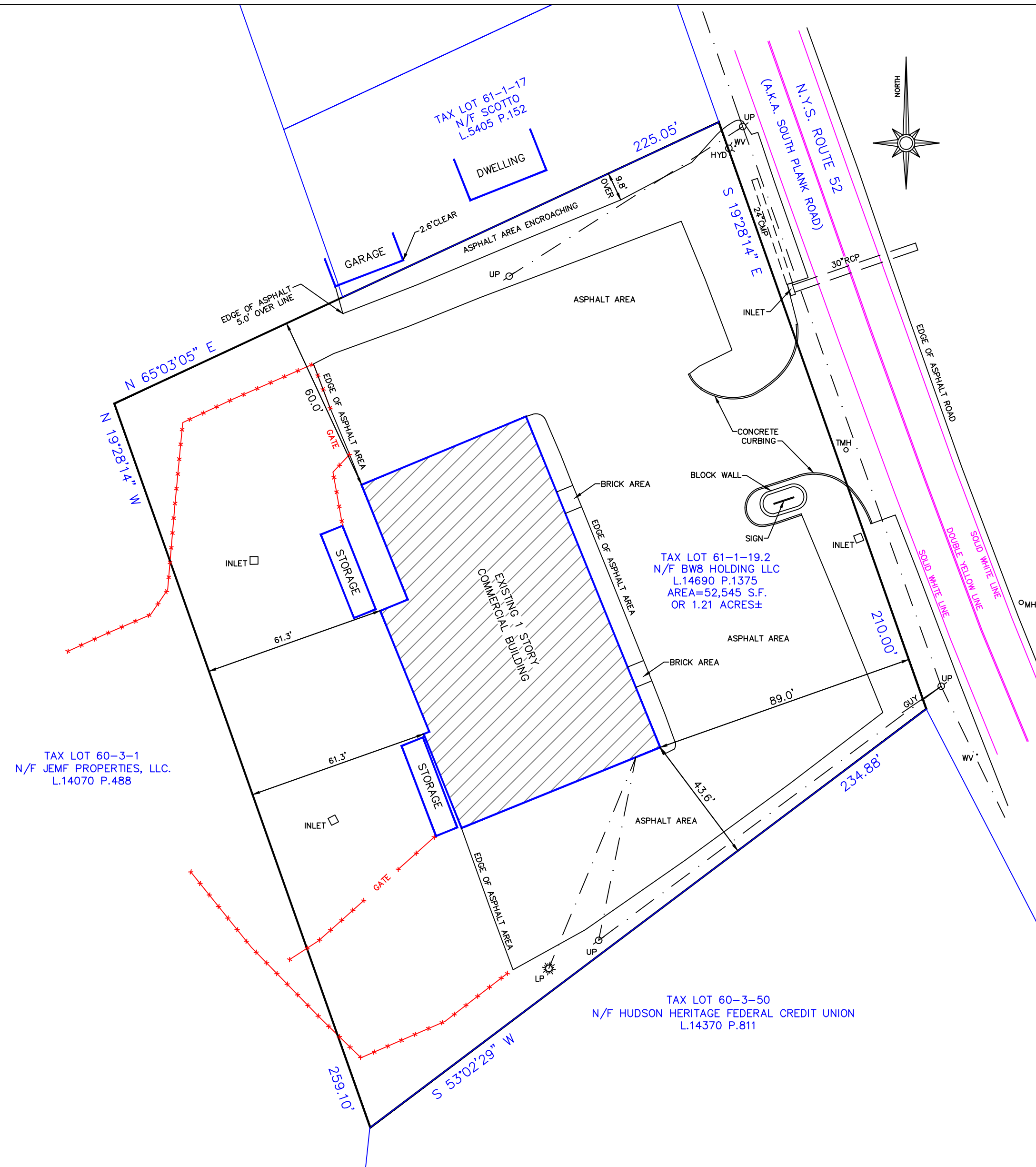
Engineers Connection Note:

Provide Fasteners through letter backs with washer top and bottom, using the fastener schedule for existing wall construction type to determine the fastener type and quantity per/Letter to install and Two(2) each logo section.

MURDOCH ENGINEERING
 SIGN STRUCTURE PROFESSIONALS
 2399 A-2 NJ-34
 MANASQUAN, NJ 08736
 (973) 570-8254
Jere Murdoch
Jere Murdoch, PE
 Professional Engineer
 NY PE Lic. #089862
 Exp. 1/31/2026

REFERENCES:

- TOWN OF NEWBURGH TAX MAP SECTION 60 & 61.
- DEEDS FILED IN THE ORANGE COUNTY CLERK'S OFFICE AS:
 L.14690 P.1375 L.11580 P.28
 L.5405 P.152 L.14070 P.488
 L.6202 P.53 L.14370 P.811



LEGEND	
	DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING OVERHEAD WIRES
	DENOTES EXISTING CHAIN LINK FENCE
WV	DENOTES EXISTING WATER VALVE
TMH	DENOTES EXISTING TELEPHONE MANHOLE
MH	DENOTES EXISTING MANHOLE
LP	DENOTES EXISTING LIGHT POLE
HYD	DENOTES EXISTING FIRE HYDRANT

NOTES:
 SUBJECT TO STATE TAKINGS THAT MAY OR NOT BE FILED IN THE ORANGE COUNTY CLERK'S OFFICE.

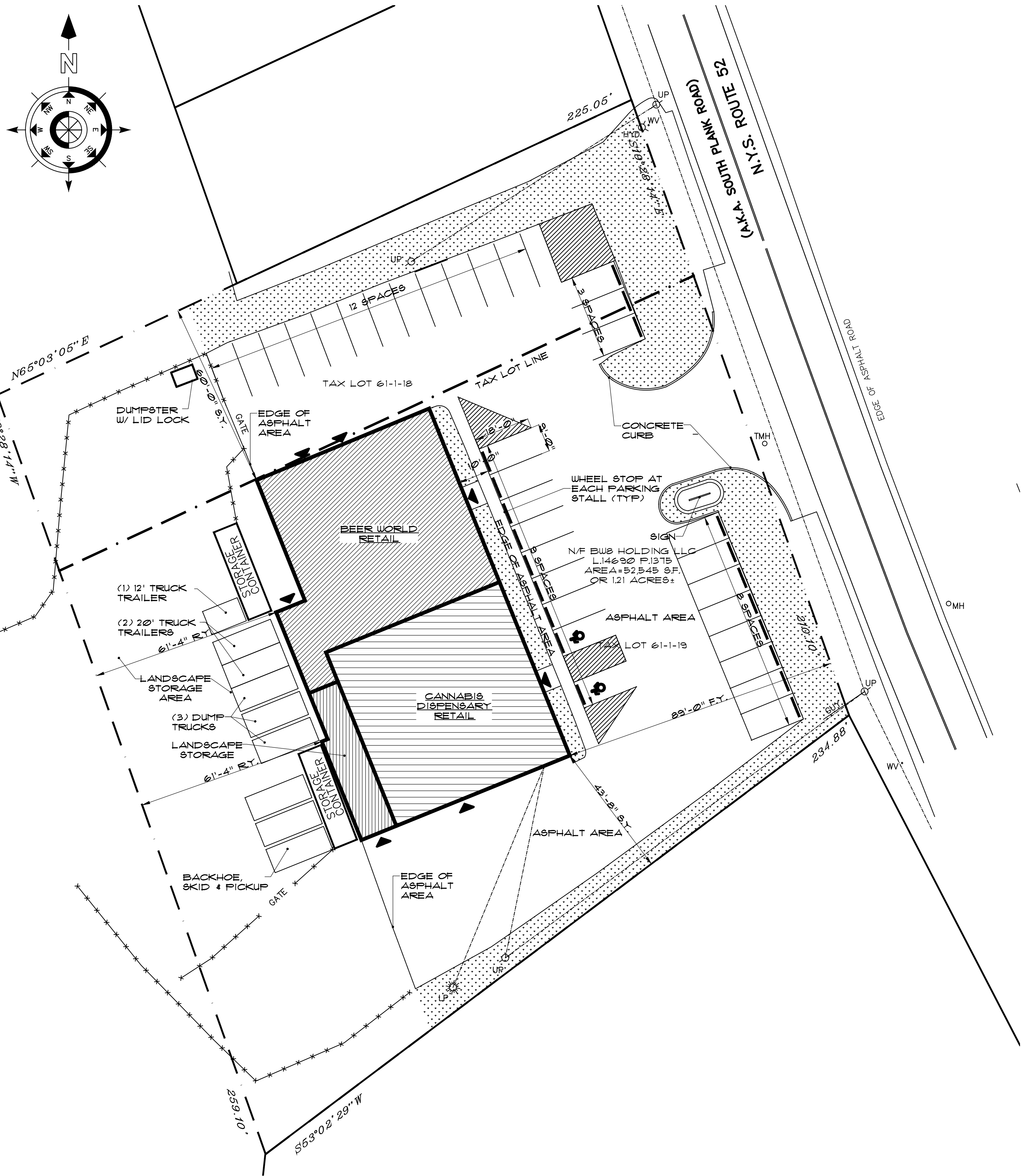


I HEREBY CERTIFY THAT:
 THIS MAP OR PLAT IS BASED UPON THE FIELD NOTES OF THE SURVEY AND OTHER REFERENCES SHOWN.
 ALL RECORDED EASEMENTS OR RIGHTS-OF-WAY AS SHOWN IN THE TITLE REPORT AND OTHER REFERENCES ARE SHOWN.
 ALL OBSERVABLE EVIDENCE OF EASEMENTS ON THE GROUND ARE SHOWN.
 ALL OBSERVABLE, ABOVE GROUND EVIDENCE OF BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS ARE SHOWN.
 UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
 THIS CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE.
 CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 PLAN PREPARED PURSUANT TO SECTION 7208m OF THE NEW YORK STATE EDUCATION LAW.
 SUBJECT TO THE FINDINGS OF AN UP-TO-DATE TITLE SEARCH.

Darren Stridiron
 DARREN J. STRIDIRON, P.L.S.
 NEW YORK STATE LICENSE No. 050487

BOUNDARY SURVEY
 LOCATED AT
217 SOUTH PLANK ROAD
 TOWN OF NEWBURGH
 ORANGE COUNTY NEW YORK
 CV ASSOCIATES NY, P.E., L.S., P.C.
 148 ROUTE 17M SUITE 2, HARRIMAN, NY 10926

TAX LOT:	61-1-19.2
AREA:	AS SHOWN
DATE:	5/20/24
SCALE:	1" = 30'
JOB NO.	1436-53



LEGEND

	EXISTING LANDSCAPE	UP	EXISTING UTILITY POLE		PROPERTY LINE
	MAIN BUILDING - CANNABIS DISPENSARY	LP	EXISTING LIGHT POLE		EXISTING CHAIN LINK FENCE
	ENTRANCE/ EXIT FOR PROPOSED BUSINESS	WV	EXISTING WATER VALVE		HYD
		MH	EXISTING MANHOLE		TMH
					EXISTING TELEPHONE MANHOLE

1
S-1 Architectural Site Plan
Scale: 1" = 20'-0"



NOTE: INFORMATION ON THIS PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY PREPARED BY DARREN J. STRIDIRON PLS, NYS LIC. # 050461 DATED: MAY 20, 2024

BULK TABLE REQUIREMENTS

ZONING INFORMATION	TOWN OF NEWBURGH				
	ZONE : B (BUSINESS DISTRICT)				
	Proposed Use : Cannabis Retail Dispensaries				
Permitted with: Approval by Planning Board					
MINIMUM REQUIREMENTS					
	Required	Existing	Proposed	Change	Variance
Lot Area	15,000 SF.	52,544 SF	NONE	NONE	NONE
Lot Width	100 FT	228'-2" FT +/-	NONE	NONE	NONE
LOT DEPTH	125 FT	224'-8" FT +/-	NONE	NONE	NONE
Min. Livable SF	N/A	N/A	NONE	NONE	NONE
Habitable Floor Area Per Dwelling Unit	N/A	N/A	NONE	NONE	NONE
YARD SETBACKS					
	Required	Existing	Proposed	Change	Variance
Front	40 FT	89'-0" +/-	NONE	NONE	NONE
Rear	30 FT	61'-2" +/-	NONE	NONE	NONE
Side	15 FT	43'-5" +/-	NONE	NONE	NONE
Both	30 FT	(43'-5" + 60'-0") = 103'-5" +/-	NONE	NONE	NONE
MAXIMUM PERMITTED					
	Required/ Maximum	Existing	Proposed	Change	Variance
Dwelling Units Per Acre	N/A	N/A	NONE	NONE	NONE
Lot Building Coverage	60% x 52,545 SF = 31,527 SF	8,015 / 52,545 x100 = 15.253%	NONE	NONE	NONE
Building Height	35 FT	15'-5" +/-	NONE	NONE	NONE
Lot Surface Coverage	85% x 52,545 SF = 44,663 SF	27,415 / 52,545 x100 = 52.175%	NONE	NONE	NONE

PARKING REQUIREMENTS

	Required *	EXISTING
Standard Stalls	26	30
Handicapped Stalls	1	2
Total Stalls Required	27	32

PER § 185-13 (C) (5) OFF-STREET PARKING AND LOADING FACILITIES.
 PER § 185-13 (C) (5) OFF-STREET PARKING FOR NONRESIDENTIAL USES. (AMENDED 9-23-1998 BY L.L. No. 12-023)
 RETAIL STORES: 1 PER 50 SQUARE FEET OF GROSS LEASABLE FLOOR AREA OR AS REQUIRED BY PLANNING BOARD
 3-600 SF (EXISTING LEASABLE SPACE) / 150 SF = TOTAL 24 PARKING SPACES
 STORAGE AREAS AND INSTALLATION BAY: 1 PER 50 SQUARE FEET OF GROSS LEASABLE FLOOR AREA OR AS REQUIRED BY PLANNING BOARD
 4,415 SF, 20' SPACE / 1000 SF = TOTAL 13 PARKING SPACES REQUIRED

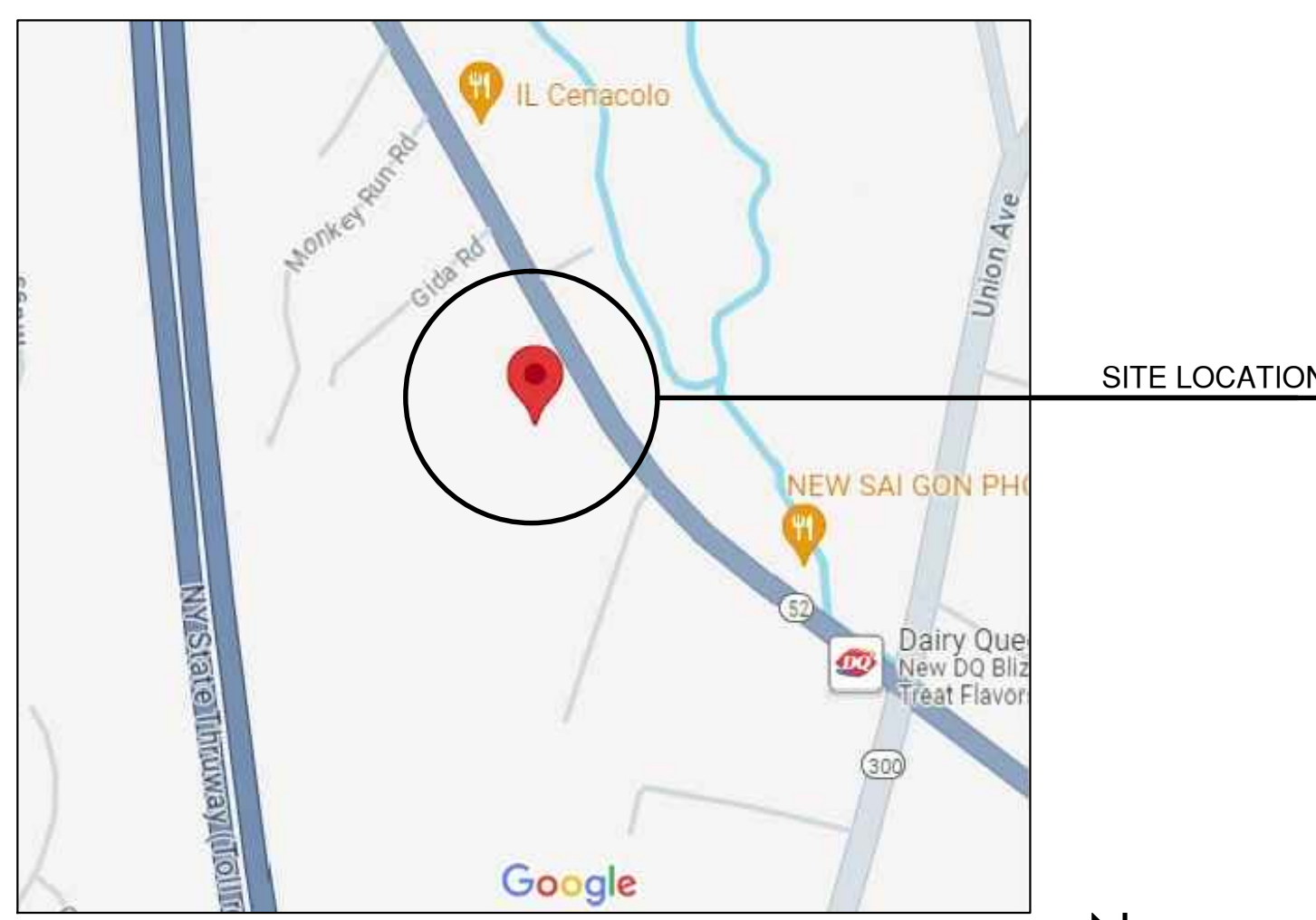
NOTE: 17 ADA PARKING REQUIRED = 1 SPACE PER 1 TO 25 PARKING SPACES

NOTES:
 1. ALL EXISTING PARKING TO REMAIN, SEE APPROVED SITE PLAN DATED 5-10-99, LAST REVISED 6-20-04 AND APPROVED BY THE TOWN OF NEWBURGH PLANNING BOARD CHAIRMAN JOHN EWASUTYN 10-26-04.

NOTES:
 PROJECT IS IN COMPLIANCE WITH THE ZONING CANNABIS-RELATED USE CODE PER § 185-48.9C

(4) SALES PRODUCT AND PARAPHERNALIA ITEMS RELATED TO THE PREPARATION OR CONSUMPTION OF PRODUCT SHALL NOT BE VISIBLE OFF-SITE OR FROM A PUBLIC RIGHT-OF-WAY.

(5) OUTSIDE USE OF SOUND REPRODUCTION DEVICES, INCLUDING, BUT NOT LIMITED TO, LOUDSPEAKERS AND AMPLIFIERS ON THE PREMISES SHALL BE PROHIBITED.



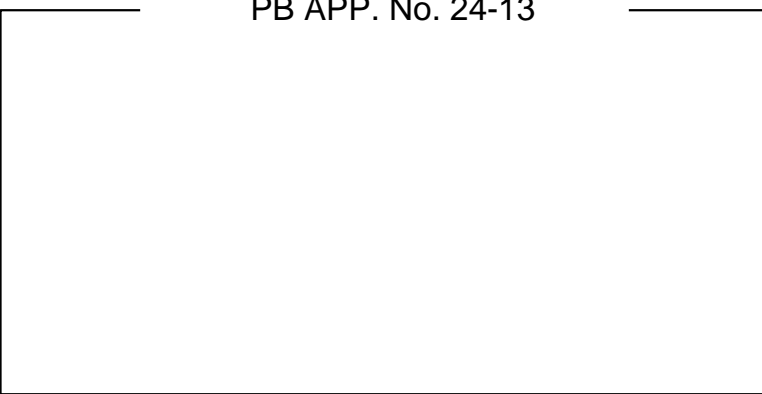
2
S-1 Site Location Map
Scale: N.T.S.

Dig Safely. New York
 Call Before You Dig
 Wait The Required Time
 Confirm Utility Response
 Respect The Marks
 Dig With Care
800-962-7962
 www.digsafelynewyork.com

THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT:

SIGNATURE _____
 DATE _____

PLANNING BOARD APPROVAL
 SECT: 61; BLK: 1; LOT: 19.2
 PB APP. No. 24-13



MINUTA ARCHITECTURE
 554 TEMPLE HILL ROAD
 NEW WINDSOR, NY 12553
 P: 845.565.0055 F: 845.565.6622
 info@minutaarchitecture.com

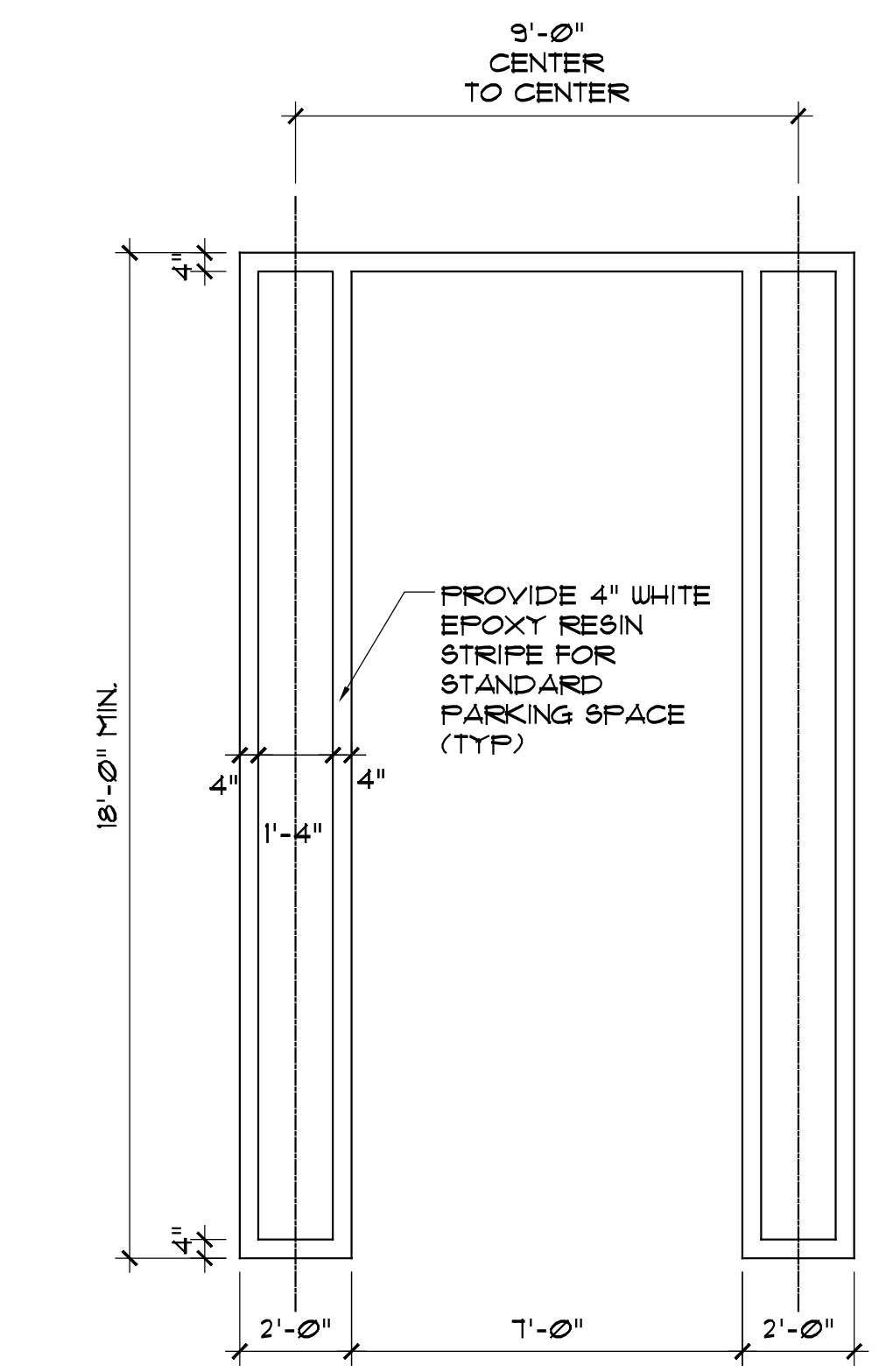
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A REGISTERED ARCHITECT OR ENGINEER, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ARCHITECT OR ENGINEER IS ALTERED. THE ALTERING ARCHITECT OR ENGINEER SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. NOTE: DO NOT SCALE.



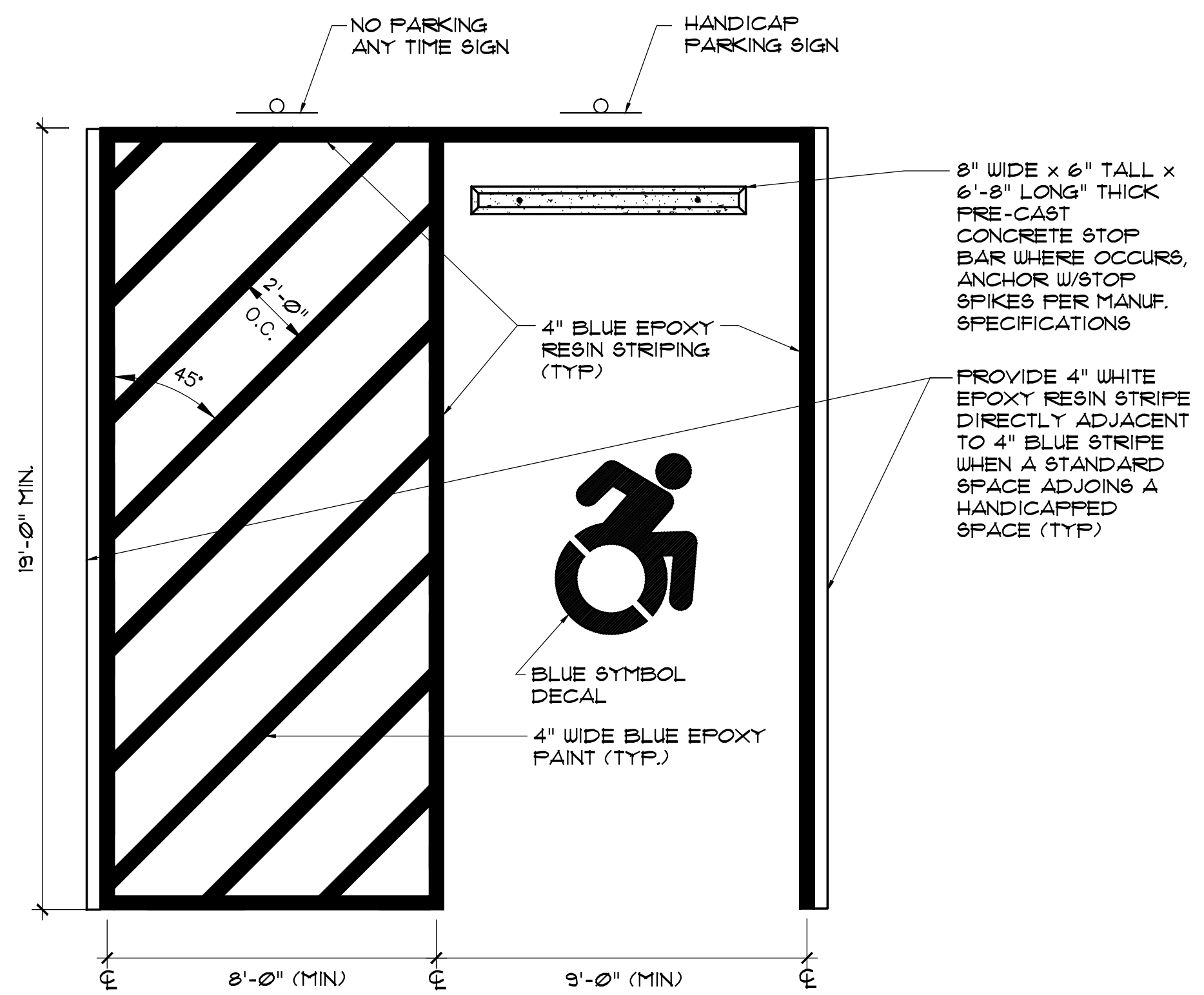
Cannabiss Dispensary
 For Special Use Permit Review & Approval

Date: 05.22.24
 Revisions: Update per PB 06.20.24

Drawn By: JR & DM

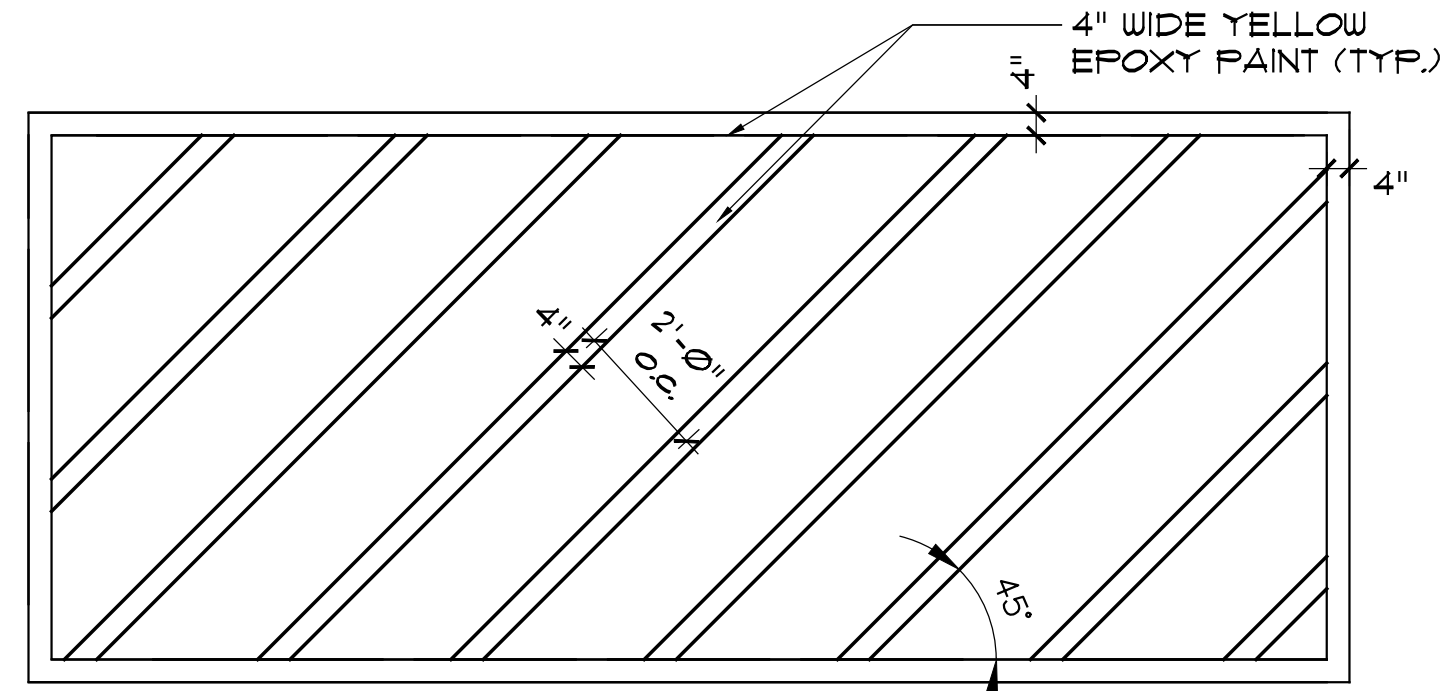


1 Typical Parking Striping Diagram
 S-2 Scale: N.T.S.

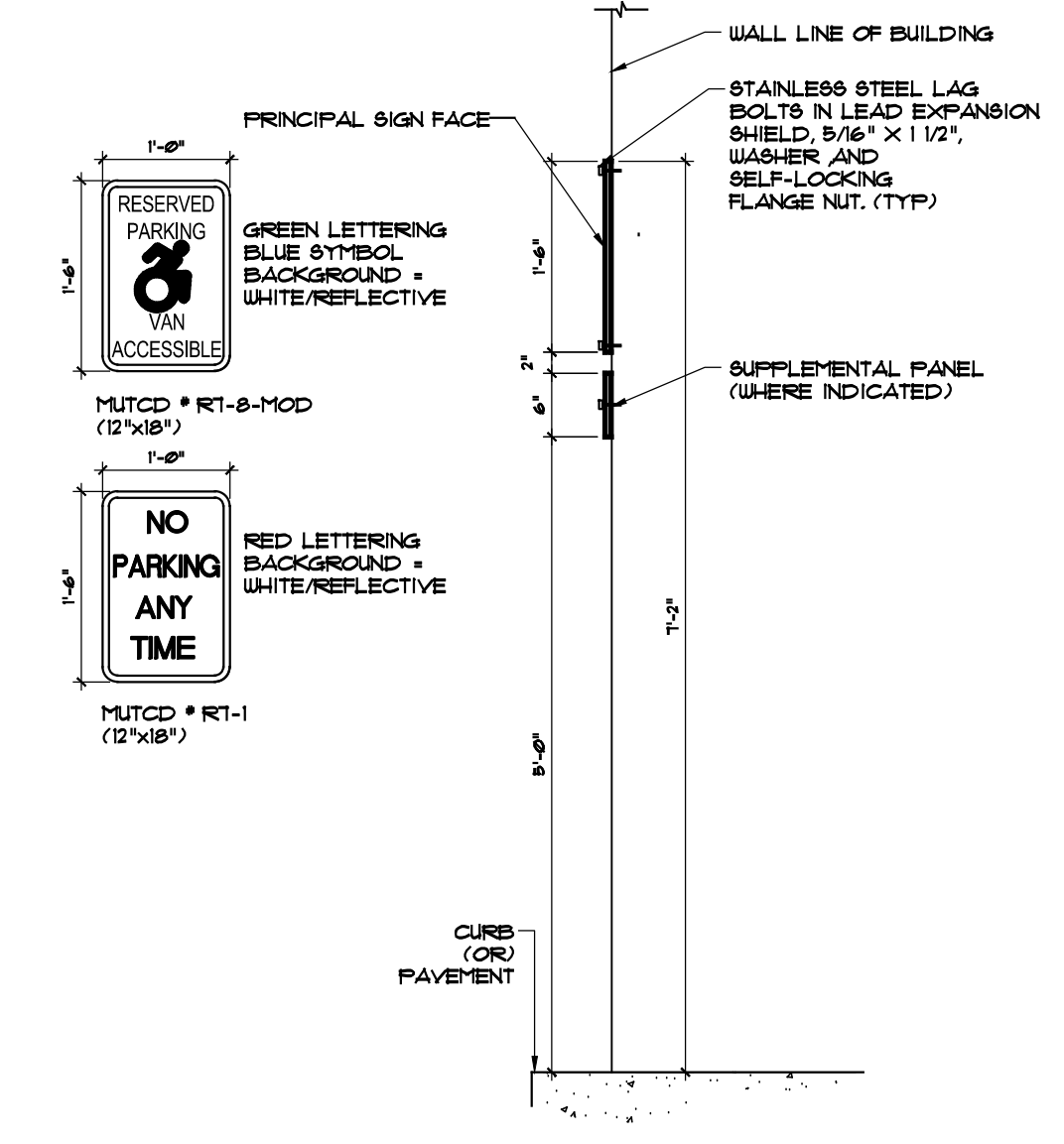


2 Typical Accessible Parking Space
 S-2 Scale: N.T.S.

SIGNAGE TABLE	
BUILDING: 120 LF X 0.10 = 84 SF TOTAL ALLOWED (NOTE 1)	
FREESTANDING: BEER WORLD = 23 SF +/- (NOTE 2) CANNABLISS = 37.5 SF +/- (NOTE 2)	
NOTES: 1. SIGNAGE HAS BEEN PROPOSED FOR THE FRONT FACADE WHICH IS LESS THAN THE MAXIMUM PERMITTED. 2. UPDATED SIGNAGE FOR THE FREESTANDING SIGN PROPOSES REMOVING THE LOWEST SIGN FOR A TOTAL SIGN AREA OF LESS THAN 60 FT PER SIDE TO MEET THE THE CURRENT CODE.	



3 Typical Stripped Asphalt Diagram
 S-2 Scale: N.T.S.



4 Typical Sign Detail
 S-2 Scale: 1/4" = 1'-0"

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Cannabliss Dispensary
 For Special Use Permit Review & Approval
 Mr. Paul S. Blum, P.E.
 279 West Park Blvd.
 Town of Newburgh, New York, 12550

Date: 05.22.24
 Revisions: Update per PB 06.20.24

Drawn By: JR & RM

S-2

Dig Safely. New York

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

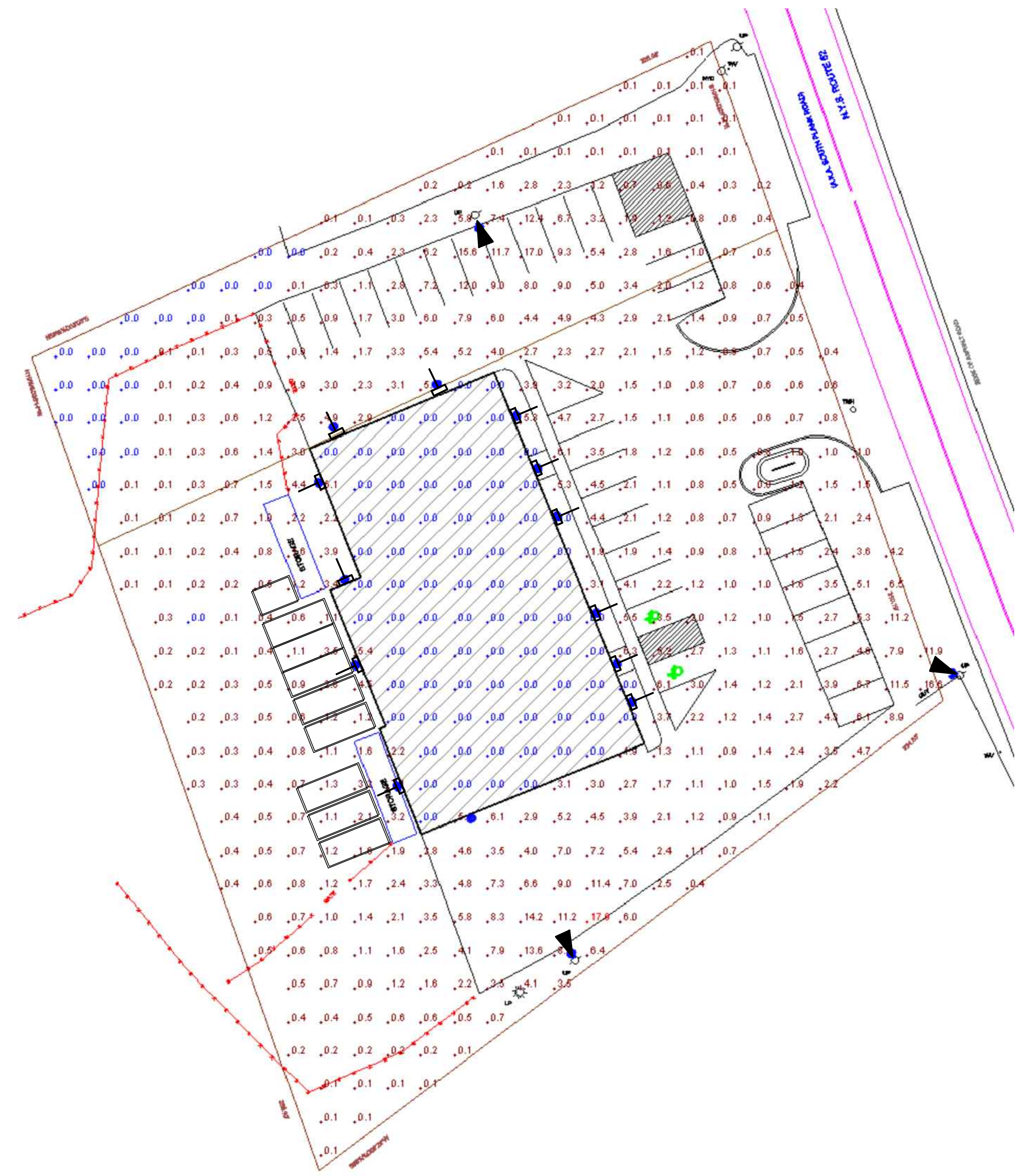
800-962-7962
 www.digsafelynewyork.com

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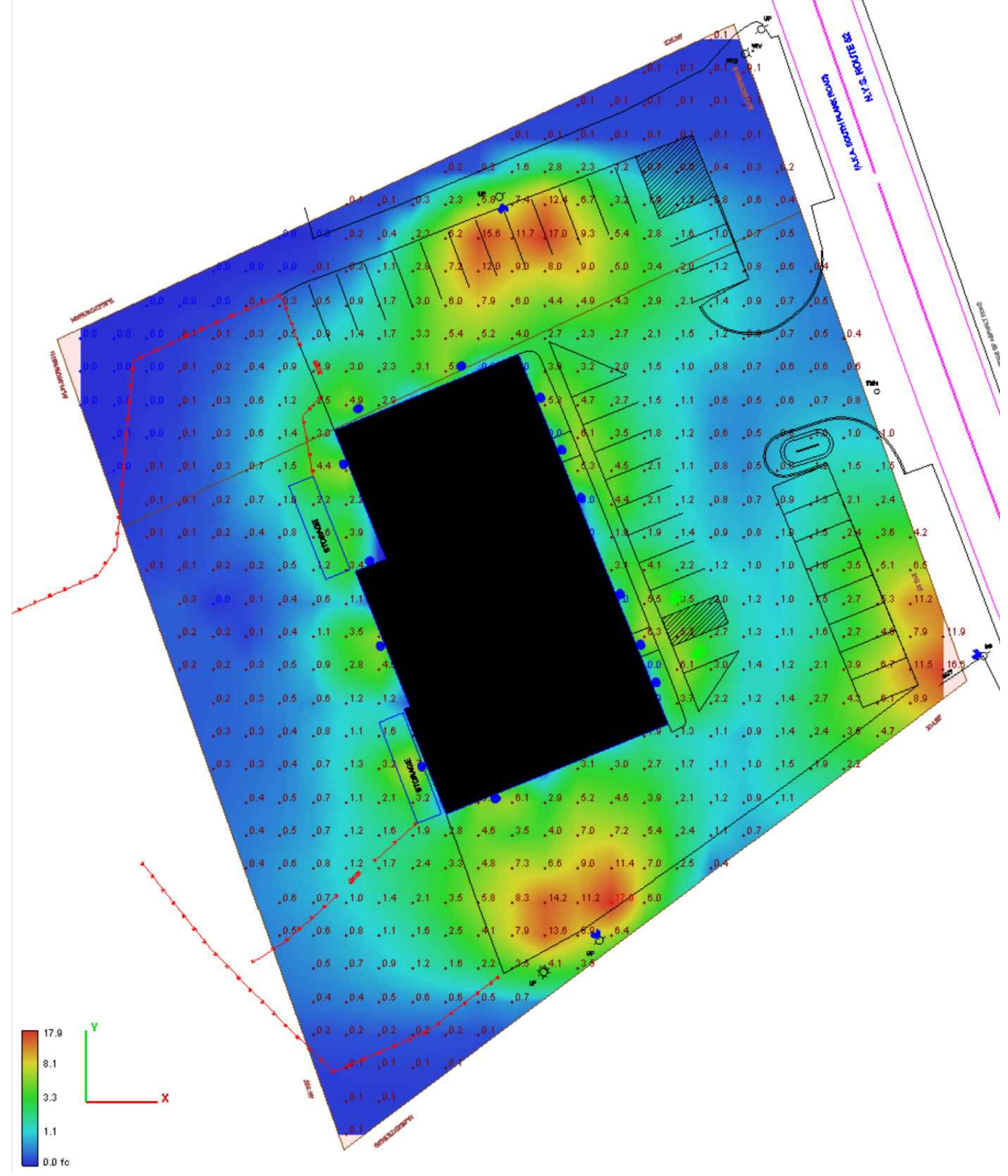
SIGNATURE _____
 DATE _____

PLANNING BOARD APPROVAL
 SECT: 61; BLK: 1; LOT: 19.2
 PB APP. No. 24-13

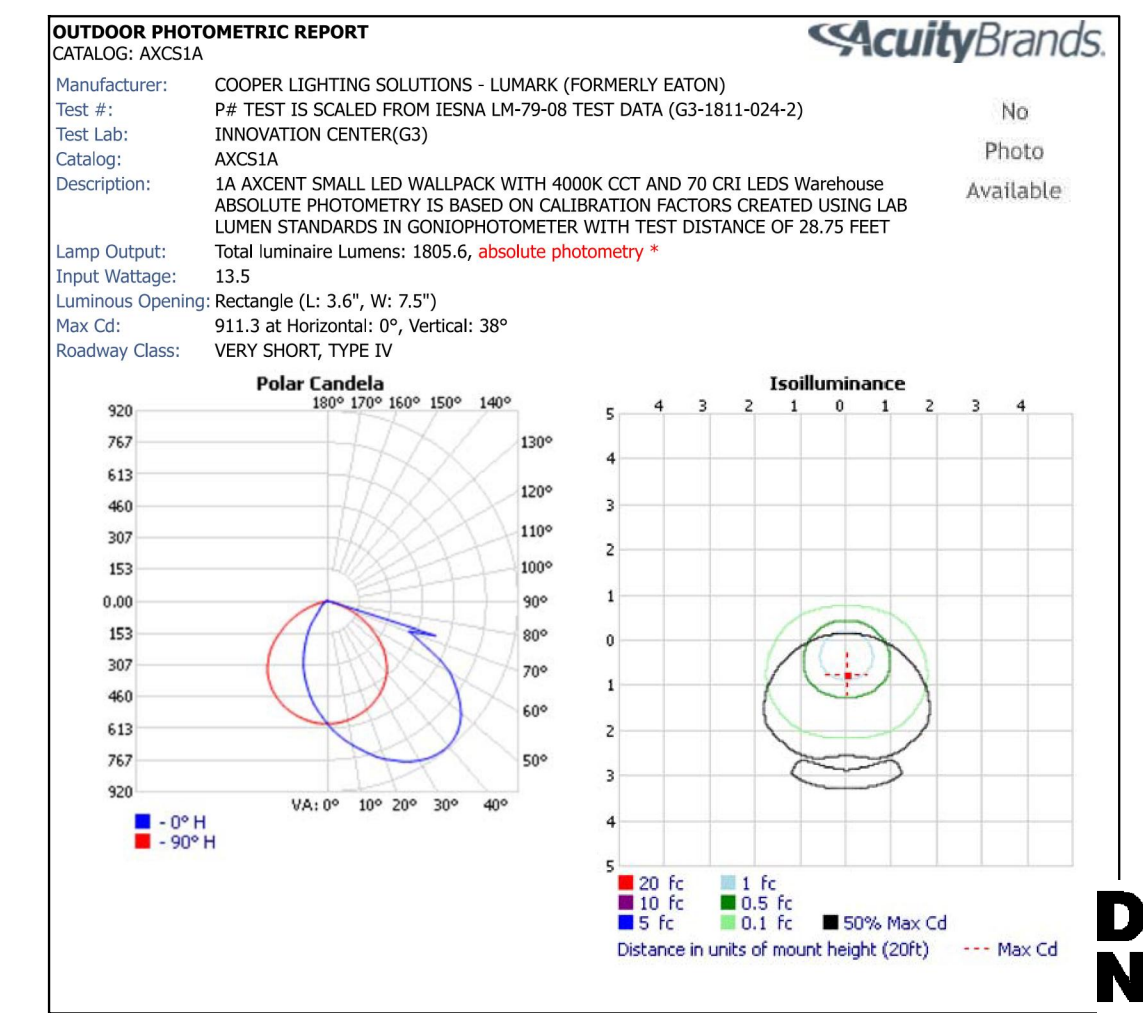
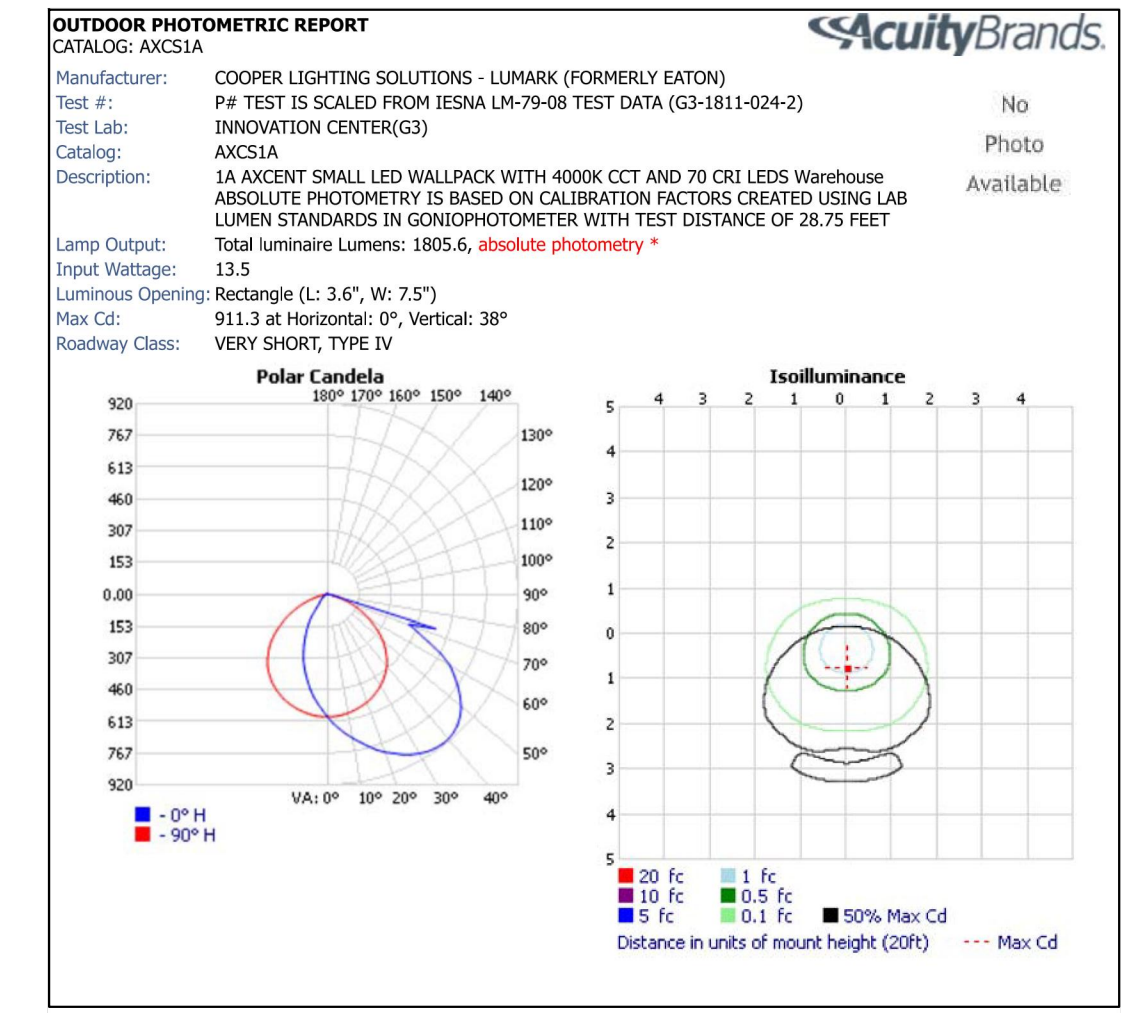
Z:\2024 Projects\24117 Final NBS\CAD\24117 Final NBS - 1 072624.dwg 7/29/2024 3:15:59 PM DWG To PDF.pc5
 COPYRIGHT 2024 Minuta Architecture, PLLC - ALL RIGHTS RESERVED - FOR USE ONLY BY THE OWNER AND SITE LISTED



1 Site Lighting Plan
L-1 Scale: 1" = 20'-0"



2 Footcandle Luminaire Diagram
L-1 Scale: N.T.S.



4 Photometric Reports
L-1 Scale: N.T.S.

Project	Catalog #	Type
Prepared by	Notes	Date



Lumark

Axcent

Wall Mount Luminaire

Product Features

- Energy Efficient
- Dimmable
- Long Life
- LightBulbFree

Product Certifications

- ETL
- UL
- DLC
- FC
- IP66
- 3G VIB
- 5 YEAR

Connected Systems

- WaveLinx Lite
- Enlighted

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 4

Quick Facts

- Available in 14W - 116W (1,800 - 16,000 lumens) models
- Full cutoff and refractive lens models available
- Energy and maintenance savings up to 95% compared to HID
- Energy efficient illumination results in up to 144 LPW
- Replaces 70W up to 450W HID equivalents

Dimensional Details

Dimensional Data	AXCS Luminaire	AXCS Luminaire
A	8" (203mm)	11-1/2" (292mm)
B	7-1/2" (190mm)	10-3/4" (273mm)
C	3-5/8" (91mm)	4-5/8" (117mm)
D	6-1/8" (156mm)	7-5/8" (195mm)

Options

- Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
- Silicone-sealed optical LED chamber
- Acrylic refractive or full cutoff lens options for Type IV distributions

3 Proposed Lumark Wall Pack Spec
L-1 Scale: N.T.S.



PRODUCTS RESOURCES

HOME // PRODUCTS // FLOODLIGHTS(HPS-MH)



COMPARE

5 Existing Flood Light Spec - On Utility Pole
L-1 Scale: N.T.S.

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- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

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THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT:

SIGNATURE
DATE

PLANNING BOARD APPROVAL
 SECT: 61; BLK: 1; LOT: 19.2
 PB APP. No. 24-13



Cannabliss Dispensary
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Drawn By: JR & RM