



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)  
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)  
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)  
MATTHEW J. SICKLER, P.E. (NY & PA)  
PATRICK J. HINES

Main Office  
33 Airport Center Drive  
Suite 202  
New Windsor, New York 12553

(845) 567-3100  
fax: (845) 567-3232  
e-mail: mheny@mhepc.com

Principal Emeritus:  
RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** HUDSON VALLEY CHRYSLER DODGE  
**PROJECT NO.:** 15-01  
**PROJECT LOCATION:** SECTION 97, BLOCK 2, LOT 11.2  
**REVIEW DATE:** 26 JANUARY 2015  
**MEETING DATE:** 5 FEBRUARY 2015  
**REPRESENTATIVE:** JMC

1. Zoning boundaries should be depicted on each side of parcel. Applicants are requested to address required buffers between uses in the IB zone and the adjoining residential zone.
2. Existing encroachment of a fence appears on the southwest most corner of the property. This should be addressed during site re-development.
3. An evaluation of any increased sewage flow based on the building expansion should be calculated. A sewer flow acceptance letter from the City of Newburgh may be required.
4. Inventory parking on a gravel area on the southern portion of the site continues to be proposed. It is noted that this inventory will be restricted via a gate and fence. If inventory is to be parked on non-paved surfaces, public access to these areas should be restricted and properly noted on the security fencing.
5. Section 185-21 Buffers, strips and screening would apply between the IB and residential zones.
6. Confirm Town Board's removal of 35 foot landscape buffer along Route 17K.
7. Orange County Planning referral is required as project is located on state highway.

Respectfully submitted,

**McGoey, Hauser & Edsall  
Consulting Engineers, D.P.C.**

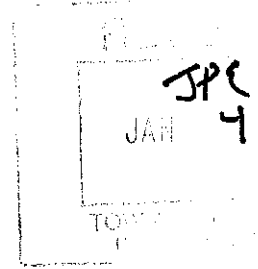
\_\_\_\_\_  
Patrick J. Hines  
Principal



- Site Planning
- Civil Engineering
- Landscape Architecture
- Land Surveying
- Transportation Engineering
- Environmental Studies
- Permitting
- Construction Services

January 14, 2015

Chairman John P Ewasutyn and Members of the Planning Board  
Town Hall  
308 Gardner Town Road  
Newburgh, NY 12550



RE: JMC Project 14122  
Hudson Valley Chrysler Dodge Jeep Ram  
200 Auto Park Place  
Town of Newburgh, NY

**Site Plan Approval Submission (Town Project #2015-01)**

Dear Chairman Ewasutyn and Members of the Planning Board:

We are pleased to submit thirteen (15) sets of the following plans and documents on behalf of The Hudson Valley Chrysler Dodge Jeep Ram Application for Site Plan Approval for the expansion of their facility at 200 Auto Park Place.

1. JMC Drawings (15 sets of prints and two CD's):

<u>Dwg. No.</u>	<u>Title</u>	<u>Revision No./Date</u>
SP-1	“Cover Sheet”	12/22/2014
SP-2	“Site Existing Conditions and Demolition Plan”	12/22/2014
SP-3	“Site Layout Plan”	12/22/2014
SP-4	“Site Grading & Utilities Plan”	12/22/2014
SP-5	“Site Erosion and Sediment Control Plan”	12/22/2014
SP-6	“Site Landscape Plan”	12/22/2014
SP-7	“Construction Details”	12/22/2014
SP-8	“Construction Details”	12/22/2014
SP-9	“Construction Details”	12/22/2014

2. Claris Construction Inc. Architectural Drawings (15 sets):

<u>Dwg. No.</u>	<u>Title</u>	<u>Revision No./Date</u>
D-1	“Demo Floor Plan”	12/22/2014
A1	“Main Floor Plan”	12/22/2014
A2	“Proposed Elevations”	12/22/2014

3. Short Form Environmental Assessment Form, dated 12/22/2014.
4. Town of Newburgh Application for Subdivision/Site Plan Review, dated 12/16/2014.
5. Town of Newburgh Application for Clearing and Grading, dated 12/10/2014.
6. Disclosure Amendment Statement to Application, Petition and Request, dated 12/16/2014.
7. Fee Acknowledgement, dated 12/16/2014.
8. Planning Board Disclaimer Statement to Applicants, dated 12/16/2014.
9. Proxy, dated 12/16/2014.
10. Hudson Valley CDJR Dealership, Newburgh, NY, List of Neighbors, dated 12/10/2014 (provided by the Town of Newburgh Accessor’s Office).
11. Application Fees:
  - a. Site Plan Application Fee: \$3,457.75 (check #1033)
  - b. Public Hearing Fee: \$150.00(check #1034)
  - c. Escrow Fee/Short Form Fee: \$3,566.20(check #1035)

The project includes expanding the existing 14,092 square foot existing showroom service building by 7,831 square feet. The total building area upon completion will be 21,923 square feet. The showroom expansion will include a new façade along the building front and modifications to the building, as shown on the attached architectural drawings. Since the main entrance to the building will be relocated to the front façade, modifications to the front parking lot are required. Accordingly, the handicap parking spaces are proposed to be located to a point adjacent to the new front building entrance and the grade of the parking lot raised to meet the elevation of the showroom. We are also proposing to relocate the access drive off of Auto Park Place to align with the customer parking isle, relocate the pylon sign and the restriping portions of the parking lot as noted on the Site Layout Plan. The building expansion areas are within existing

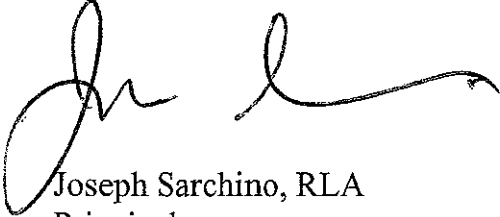
paved/impervious surfaces. Upon the completion of the project there will be an overall decrease in impervious surfaces, since new landscaped islands being proposed.

The proposed improvements are proposed to better support the existing customers of the dealership, to improve the overall car buying and service experience. The driveway modification to Auto Park Place will provide additional existing stacking area from the driveway to the Route 17K intersection and will line up with the customer parking area.

We look forward to processing the Site Plan Approval Application with the Planning Board. Please place this item on your next available agenda for review. In the interim, should you have any questions regarding the application please do not hesitate to contact our office at (914) 273-5225.

Sincerely,

JMC

A handwritten signature in black ink, appearing to read 'Joseph Sarchino', with a long horizontal flourish extending to the right.

Joseph Sarchino, RLA  
Principal

Cc: Mr. Ken Wersted, PE, w/enc. (1 copy via overnight mail from JMC)  
Michael H. Donnelley, Esq., w/enc. (1 copy via overnight mail from JMC)  
Mr. Frank Valdina, Good-Will Fire Dept., w/enc. (1 copy via overnight mail from JMC)  
Mr. Michael Ostrow, Hudson Valley Chrysler Dodge Jeep Ram, w/enc.  
Mr. Phil Clark, Claris Construction, Inc., w/enc.  
Mr. Michael Kozlowaski, Claris Construction, Inc.

**617.20**  
**Appendix B**  
**Short Environmental Assessment Form**

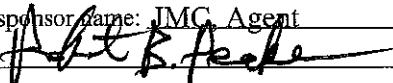
**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Hudson Valley Chrysler Dodge Jeep Ram			
Project Location (describe, and attach a location map): 200 Auto Park Place, Newburgh			
Brief Description of Proposed Action: Expansion of the existing ±14,092 square foot auto showroom and service center by approximately 7,831 square feet, along with reconfiguring the parking and access from Auto Park Place, and landscaping.			
Name of Applicant or Sponsor: Hudson Valley Automotive Enterprises LLC		Telephone: (845) 229-4157 E-Mail: mikeomb@aol.com	
Address: 4312 Albany Post Road			
City/PO: Hyde Park		State: NY	Zip Code: 12538
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:  <b>Town of Newburgh Building Permit</b>			NO YES
3.a. Total acreage of the site of the proposed action?		4.62	acres
b. Total acreage to be physically disturbed?		0.98	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.62	acres
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X	
b. Consistent with the adopted comprehensive plan?		X	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
		X	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?	X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		X	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		X	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
		X	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
		X	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
b. Is the proposed action located in an archeological sensitive area?	X		
	X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	X		
	X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? <b>On edge of potential area for rare plants and rare animals per NYCDEC online Environmental Resource Mapper</b>	NO	YES	
		X	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	X		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <b>Existing Condition</b> b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <b>To site's existing stormwater management system.</b> _____	NO	YES	
		X	
			X

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	X	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: JMC Agent	Date: 12/22/2014	
Signature:  Robert B. Peake, AICP		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (if different from Responsible Officer)



**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED: \_\_\_\_\_ TOWN FILE NO: \_\_\_\_\_**  
**(Application fee returnable with this application)**

**1. Title of Subdivision/Site Plan (Project name):**

Hudson Valley Chrysler Dodge Jeep Ram

**2. Owner of Lands to be reviewed:**

**Name** Michael Ostorw, Hudson Valley Automotive Enterprises, LLC  
**Address** 4312 Albany Post Road  
Hyde Park, NY 12538  
**Phone** (845) 229-4157

**3. Applicant Information (If different than owner):**

**Name** \_\_\_\_\_  
**Address** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
**Representative** \_\_\_\_\_  
**Phone** \_\_\_\_\_  
**Fax** \_\_\_\_\_  
**Email** \_\_\_\_\_

**4. Subdivision/Site Plan prepared by:**

**Name** JMC  
**Address** 120 Bedford Road  
Armonk, NY 10504  
**Phone/Fax** (914) 273-5225

**5. Location of lands to be reviewed:**

200 Auto Park Place

**6. Zone** IB **Fire District** Goodwill  
**Acres** 4.262 **School District** Newburgh

**7. Tax Map: Section** 97 **Block** 2 **Lot** 11.2

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 1  
Lot line change \_\_\_\_\_  
Site plan review Yes  
Clearing and grading Yes  
Other \_\_\_\_\_

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) 50' ROW, Leary Lane

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature [Signature] Title member

Date: 12-16-14

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

Town of Newburgh  
308 Gardnertown Road  
Newburgh, New York 12550

Examined \_\_\_\_\_ 20 \_\_\_\_\_

Approved \_\_\_\_\_ 20 \_\_\_\_\_

Disapproved \_\_\_\_\_ 20 \_\_\_\_\_

APPLICATION FOR CLEARING AND GRADING

Fee: \$ 500

Date: 12/10/2014

Michael Ostrow

NAME OF OWNER OF PREMISES: Hudson Valley Automotive Enterprises, LLC

ADDRESS OF OWNER: 4312 Albany Post Road, Hyde Park, NY 12538

TELEPHONE NUMBER OF OWNER (845) 229-4157

State whether applicant is owner, lessee, agent, architect  
engineer or contractor:

Engineer

Location of land on which proposed work will be done:

200 Auto Park Place

Section: 97 Block: 2 Lot: 11.2 Sub. Div: \_\_\_\_\_

Zoning District of Property IB Size of Lot: 4.262 acres

Proposed Completion Date: 2015

Name of Contractor/Agent, if other than owner: JMC

Address 120 Bedford Road, Armonk, NY 10504

Tel: (914) 523-5225

Date of Planning Board Approval: \_\_\_\_\_

(if required)

I hereby agree to hold the Town of Newburgh harmless from  
any claims arising from the proposed activity

Signature of Owner [Signature] Date: 12-10-14

State nature and purpose of the proposed activity:

- (1)        **Drawings showing the boundaries of the parcel will be conducted:**
- (2)        **A plan showing areas proposed to be cleared, filled or graded or subjected to timber harvesting and nature of the vegetation affected.**
- (3)        **An erosion control plan:**
- (4)        **Documentation regarding permit status with the New York State Department of Environmental Conservation permit required must be in effect prior to the Town's issuing a permit**  
N/A
- (5)        **Plans must show the type of vegetation to be destroyed by the proposed activities along with the planned disposition of the des-**  
N/A **material:**
- (6)        **Drainage computations prior to site preparation and after site preparation may be required.**  
N/A
- (7)        **Nature of proposed activity:**
  - Clearing**              N/A              **Acerage**
  - Excavation**              ±15              **Cubic Yards**
  - Filling**              ±400              **Cubic Yards**
  - Grading**              0.98              **Acerage**



**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Michael Ostrow

\_\_\_\_\_  
**APPLICANT'S NAME (printed)**

  
\_\_\_\_\_  
**APPLICANTS SIGNATURE**

12-16-14  
**DATE**

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

12-10-14  
DATED

Michael Ostrow  
\_\_\_\_\_  
APPLICANT'S NAME (printed)

  
\_\_\_\_\_  
APPLICANT'S SIGNATURE

**PROXY**

Hudson Valley Automotive  
**(OWNER)** Enterprises, LLC, **DEPOSES AND SAYS THAT HE/SHE**  
Michael Ostrow

**RESIDES AT** c/o 4312 Albany Post Road, Hyde Park

**IN THE COUNTY OF** Dutchess

**AND STATE OF** NY

**AND THAT HE/SHE IS THE OWNER IN FEE OF** Hudson Valley Chrysler  
Dodge Jeep Ram

**WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING**

**APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH**

**PLANNING BOARD AND** JMC **IS AUTHORIZED**

**TO REPRESENT THEM AT MEETINGS OF SAID BOARD.**

**DATED:** 12-10-14

  
**OWNERS SIGNATURE**

Michael Ostrow  
**OWNERS NAME (printed)**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**NAMES OF ADDITIONAL  
REPRESENTATIVES**

  
**WITNESS' SIGNATURE**

Melissa B. Karchmer  
**WITNESS' NAME (printed)**





SCANNED

Nancy Elgueta <assessorclerk1@townofnewburgh.org>

---

**Hudson Valley CDJR Dealership, Newburgh, NY [JMC 14122] - List of Neighbors**

1 message

---

Andrei Lukianoff <ALukianoff@jmcpllc.com>

Wed, Dec 10, 2014 at 9:44 AM

To: "assessorclerk1@townofnewburgh.org" <assessorclerk1@townofnewburgh.org>

Cc: Joseph Sarchino <JSarchino@jmcpllc.com>, Bob Peake <RPeake@jmcpllc.com>

December 10, 2014

Mrs. Nancy Elgueta

Town of Newburgh Assessors Office

RE: JMC Project 14122

Hudson Valley Chrysler Dodge Jeep Ram Dealership

200 Auto Park Place

Town of Newburgh, New York

Dear Nancy:

We are inquiring about the list of property owners (abutters) within 500 feet of 200 Auto Park Place (Section 97, Block 2, Lot 11.2), for a proposed building expansion, and would appreciate any effort to expedite this information to us.

Thank you for your time & effort.

If you have questions or require additional information please contact our office at (914) 273-5225.

334600 100-5-2 Route 17K Real Estate, LLC P.O. Box 10804 Newburgh NY 12552	334600 100-5-1 Boyle Boyle & DePuy LLC P.O. Box 363 New Hampton NY 10958	334600 100-1-1 Time Plaza Llc East 42Nd St 20Th Fl New York NY 10017
334600 97-2-11.2 Birks Realty Inc 800 Auto Park Pl Newburgh NY 12550	334600 97-2-4 Bigg, Michael L Jr Route 32 Vails Gate NY 12584	334600 97-2-7.21 Target Corporation P.O. Box 9456 Minneapolis MN 554409456
334600 100-5-16.32 Cortes, Cesar 13 Leary Ln Newburgh NY 12550	334600 100-5-17 Salomon, Doron A 11 Herrmann Ave Newburgh NY 12550	334600 100-5-25 Dick, Rosemarie Dick, Kevin 16 Herrmann Ave Newburgh NY 12550
334600 97-2-3 Bigg, Michael L Jr Route 32 Vails Gate NY 12584	334600 100-5-23.1 Colandrea, Cosimo P.O. Box 3257 Newburgh NY 12550	334600 100-1-3 U. S. Bank National , Association, as 165 Eileen Way Ln Ste 101 Syosset NY 11791
334600 100-5-20 Dukas, Evan Forrest 5 Herrmann Ave Newburgh NY 12550	334600 97-2-10.1 First National Bank Of Hudson Valley One M & T Plz Buffalo NY 142030273	334600 100-5-18 Prinzi, Anthony C 9 Herrmann Ave Newburgh NY 12550
334600 100-5-16.1 Boyle Boyle & Depuy LLC Rte 17M New Hampton NY 10958	334600 100-5-22.1 Colandrea, Cosimo J P.O. Box 3257 Newburgh NY 12550	334600 100-5-16.2 Foti, Dominick Foti, Rosemarie 184 Hurley Rd Gardiner NY 12525
334600 100-5-28 Parrino, Stella Palladino, Angela 4 Leonard Ave Newburgh NY 12550	334600 100-5-6 Masten, Frederick S Jr Masten, Mary L 34 Lakeview Dr Newburgh NY 12550	334600 100-3-5 Ascione, James V 29 Lakeview Dr Newburgh NY 12550
334600 100-5-12 Rosales, Ricardo Sarabia, Julia 21 Herrmann Ave Newburgh NY 12550	334600 100-5-64 Galage, Kevin M Galage, Heather L 50 Williams Ave Newburgh NY 12550	334600 97-2-13.22 Webb Properties Inc 800 Auto Park Pl Newburgh NY 12550
334600 100-5-63 Rodriguez, Jose Rodriguez, April 25 Herrmann Ave Newburgh NY 12550	334600 100-3-3 Fong, George H Angell-Fong, Jean 19 Lakeview Dr Newburgh NY 12550	334600 100-5-62 Gomes, Maria Odete DeBarros 21 Leary Ln Newburgh NY 12550
334600 100-5-22.2 Colandrea, Cosimo J P.O. Box 3257 Newburgh NY 12550	334600 100-5-29 Servidone Revocable Trust, Joseph A Servidone, Joseph A 203 Michael St East Greenbush NY 12061	334600 100-5-8 Favata, Alfred P Favata, Patricia 30 Lakeview Dr Newburgh NY 12550

Town of Newburgh  
 Office of the Assessor  
 1496 Route 300  
 Newburgh, NY 12550

SEC 97 BLK 2 LOT 11.2

334600 100-5-11  
Zambito, John J  
Zambito, Frances  
23 Herrmann Ave  
Newburgh NY 12550

334600 100-5-13  
Decker, Herbert J Jr.  
Burke, Megan M  
19 Herrmann Ave  
Newburgh NY 12550

334600 100-2-1  
Shustock, Daniel E  
44 Lakeview Dr  
Newburgh NY 12550

334600 100-5-24  
Corrado, Charles J  
14 Herrmann Ave  
Newburgh NY 12550

334600 100-3-4  
Nenni Irrevocable Trust, Joyce A  
Nenni, James A Jr  
31 Lakeview Dr  
Newburgh NY 12550

334600 100-5-19  
Foti, Rosemarie  
Foti, Dominick  
184 New Hurley Rd  
Gardiner NY 12525

334600 100-3-1  
Digilio, Robert  
Digilio, Mary  
27 Lakeview Dr  
Newburgh NY 12550

334600 100-5-15  
Baranski, Stefan  
Baranski, Janet  
13 Herrmann Ave  
Newburgh NY 12550

334600 100-5-67.2  
Colandrea, Cosimo J  
P.O. Box 3257  
Newburgh NY 12550

334600 100-5-61  
Onwuka, Ugwuogo  
Onwuka, Uchechi  
36 Lakeview Dr  
Newburgh NY 12550

334600 100-5-60  
Onwuka, Ugwuogo  
Onwuka, Uchechi  
36 Lakeview Dr  
Newburgh NY 12550

334600 100-5-4  
Garrison, Cindy M  
19 Leary Ln  
Newburgh NY 12550

334600 100-5-7  
Barton, Jason R  
32 Lakeview Dr  
Newburgh NY 12550

334600 100-5-21  
Fracasse, Carol  
385 Lakeside Rd  
Newburgh NY 12550

334600 100-5-9  
Magistro, Anthony J  
Magistro, Lucille  
28 Lakeview Dr  
Newburgh NY 12550

334600 97-2-32  
Webb Properties Inc  
P.O. Box 810490  
Dallas TX 75381

334600 100-5-23.2  
Benton, Ronnie M  
Hirsch, Lisa A  
12 Herrmann Ave  
Newburgh NY 12550

334600 100-5-37.212  
Colandrea, Cosimo J  
P.O. Box 3257  
Newburgh NY 12550

334600 100-3-2  
Otlowski, Jean F L.E.  
Otlowski, Steven T  
4 Roy Pl  
Newburgh NY 12550

334600 97-2-7.22  
GEJ Newburgh, LLC  
120 White Plains Rd Ste 110  
Tarrytown NY 10591

334600 100-5-14  
Agnello, Ivana  
17 Herrmann Ave  
Newburgh NY 12550

334600 100-4-1  
Berry, James E  
Berry, Janet I  
48 Lakeview Dr  
Newburgh NY 12550

334600 100-5-10  
Cirillo, Anthony N  
Cirillo, Antonia  
26 Lakeview Dr  
Newburgh NY 12550

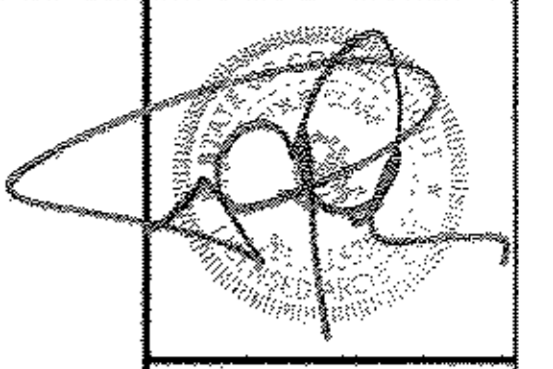
334600 100-5-26  
Frederickson, George  
Frederickson, Rose  
18 Herrman Ave  
Newburgh NY 12550

334600 97-2-12.21  
Bigg, Michael Jr  
P.O. Box 181  
Vails Gate NY 12584

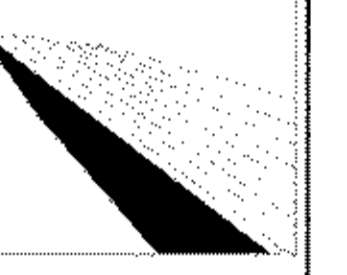
334600 99-4-23.22  
Colandrea, Cosimo J  
6 Old North Plank Rd  
Newburgh NY 12550

334600 100-5-3.-1  
Cesar L. Cortes  
Ermelinda G. Cortes  
13 Leary Lane  
Newburgh, NY 12550

**Town of Newburgh  
Office of the Assessor  
1496 Route 300  
Newburgh, NY 12550**



THIS DRAWING IS THE PROPERTY OF CLARIS CONSTRUCTION HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF CLARIS.



# CLARIS CONSTRUCTION INC.

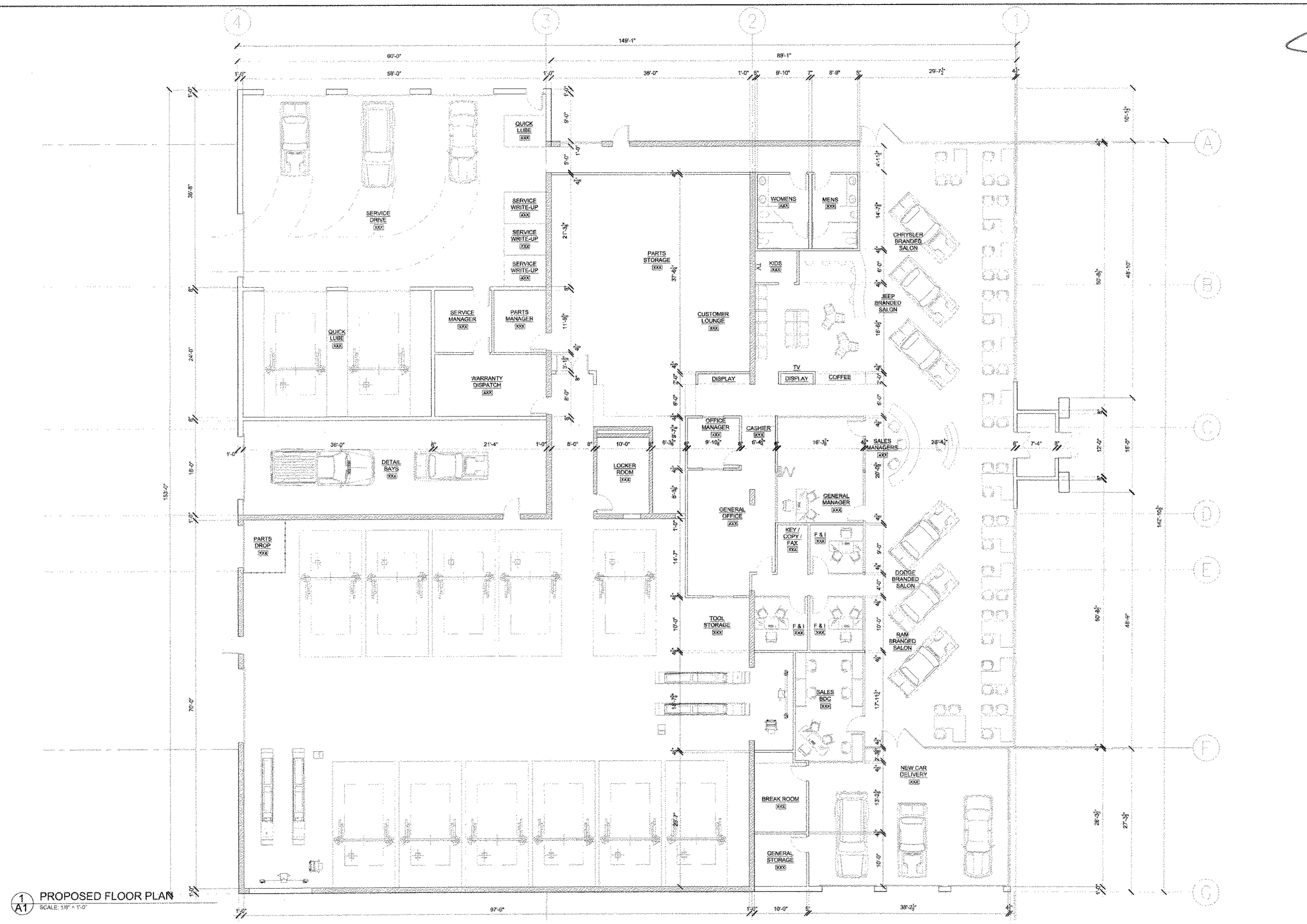
153 South Main Street  
Newtown, Connecticut 06470  
Tel. 203 364 9460  
Fax. 203 364 9465  
www.clariscorstruction.com

PROJECT:  
NEWBURGH CHRYSLER

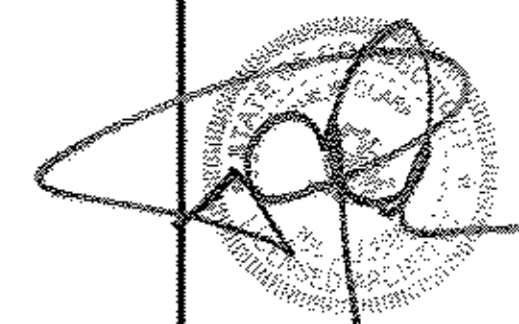
NEWBURGH, NEW YORK  
MAIN FLOOR PLAN

DATE:	12/22/14
DRAWN BY:	nyk
SCALE:	AS NOTED

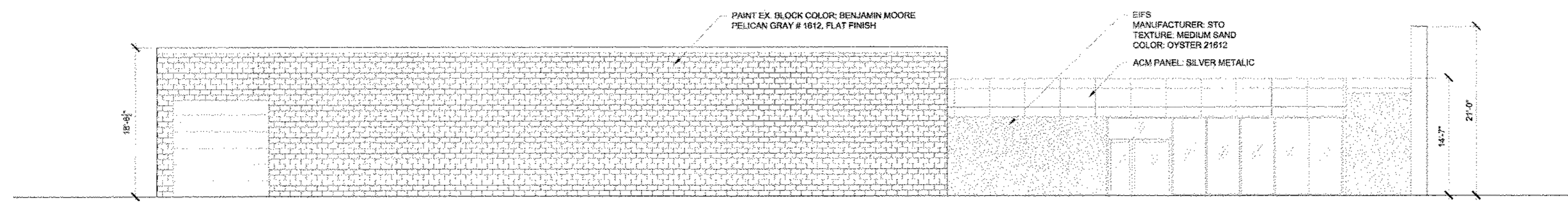
A1



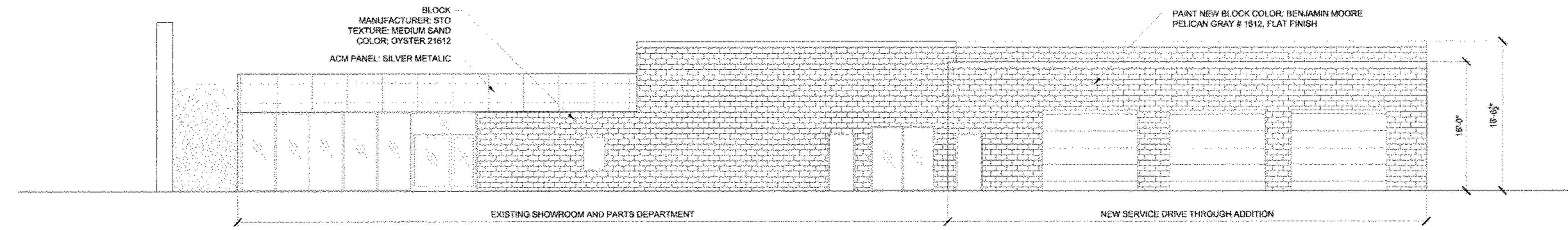
1  
A1 PROPOSED FLOOR PLAN  
SCALE: 1/8" = 1'-0"



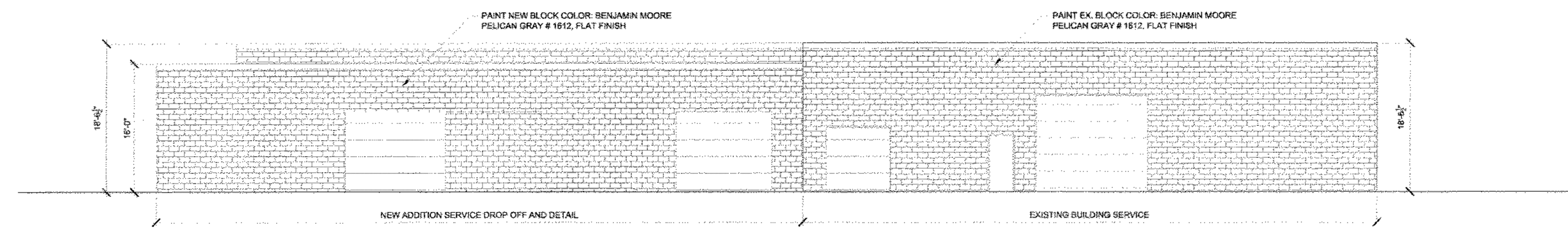
THIS DRAWING IS THE PROPERTY OF CLARIS CONSTRUCTION HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF CLARIS.



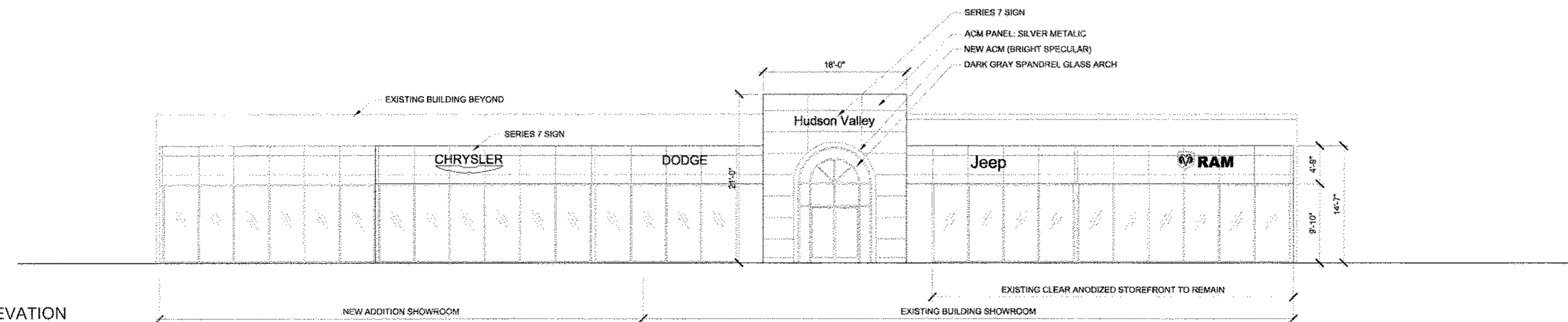
1 LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



3 REAR ELEVATION  
SCALE: 1/8" = 1'-0"



4 FRONT FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

**CLARIS CONSTRUCTION INC.**

Tel. 203 364 9460  
Fax. 203 364 9465  
www.clarisconstruction.com

153 South Main Street  
Newtown, Connecticut  
06470

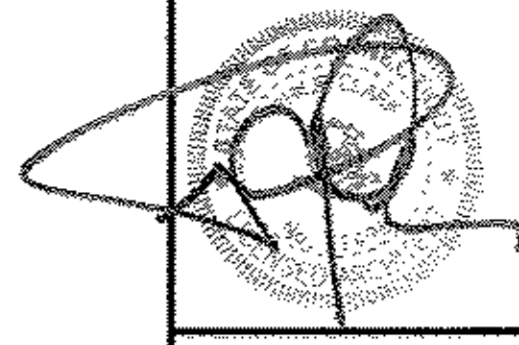
PROJECT:  
NEWBURGH CHRYSLER

NEWBURGH, NEW YORK

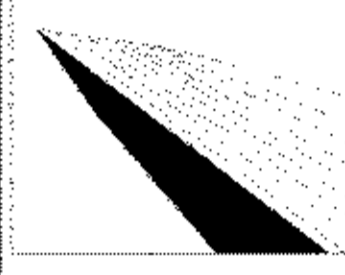
PROPOSED ELEVATIONS

DATE: 12/22/14  
DRAWN BY: mrk  
SCALE: AS NOTED

A2



THIS DRAWING IS THE PROPERTY OF CLARIS CONSTRUCTION  
 HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER  
 FOR THIS PROJECT AT THIS SITE, AND IS NOT TO BE  
 USED FOR ANY OTHER PURPOSE, LOCATION, OR  
 OWNER WITHOUT WRITTEN CONSENT OF CLARIS.



**CLARIS**  
 CONSTRUCTION INC.

153 South Main Street  
 Newtown, Connecticut 06470  
 Tel. 203 364 9460  
 Fax. 203 364 9465  
 www.clariscorstruction.com

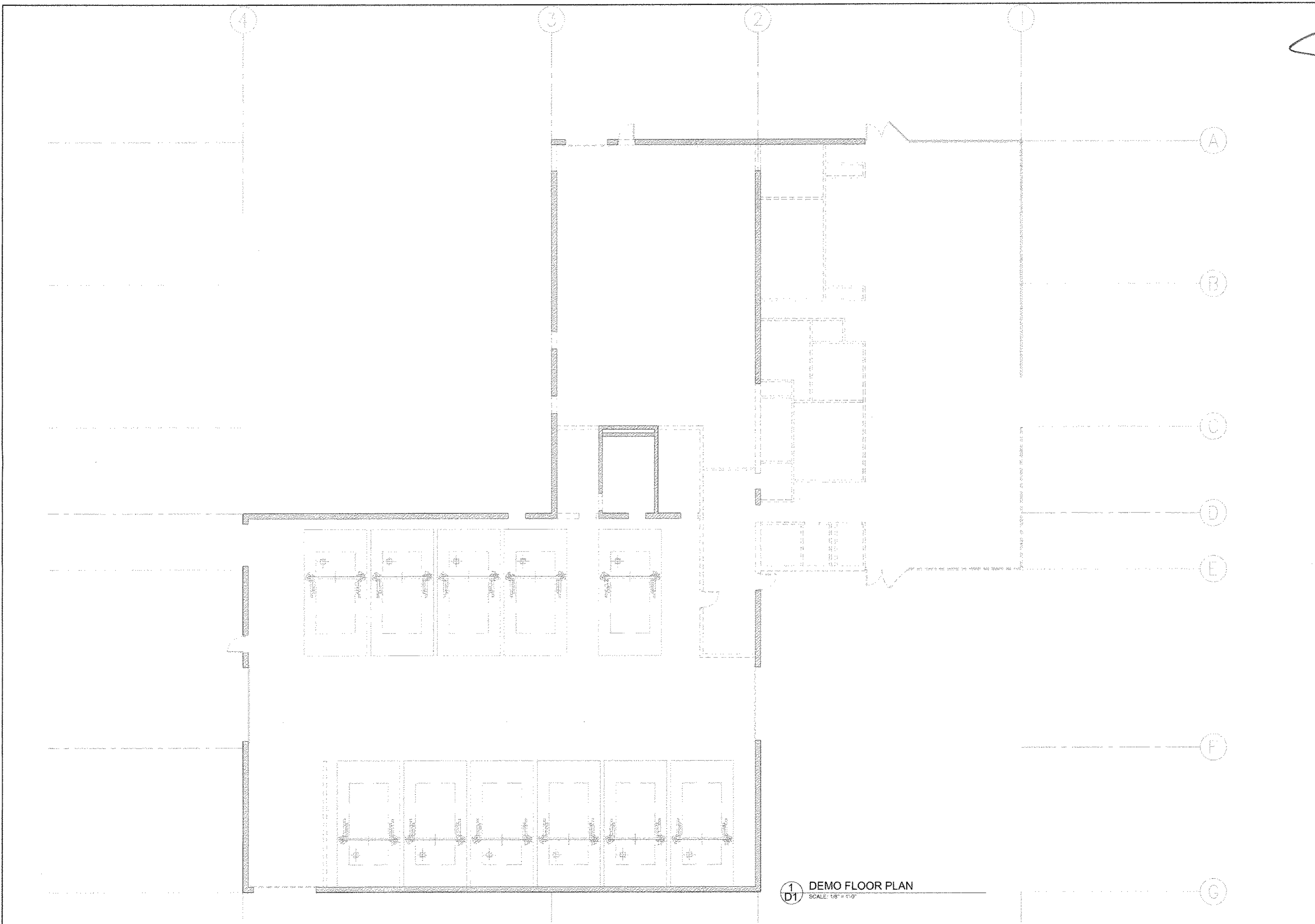
PROJECT:  
 NEWBURGH CHRYSLER

NEWBURGH, NEW YORK  
 DEMO FLOOR PLAN

DATE: 12/22/14	DESIGNED
DRAWN BY: mrk	CHECKED
SCALE: AS NOTED	

**D1**

**1**  
**D1** DEMO FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



SITE PLAN APPROVAL DRAWINGS

# HUDSON VALLEY CHRYSLER DODGE JEEP RAM

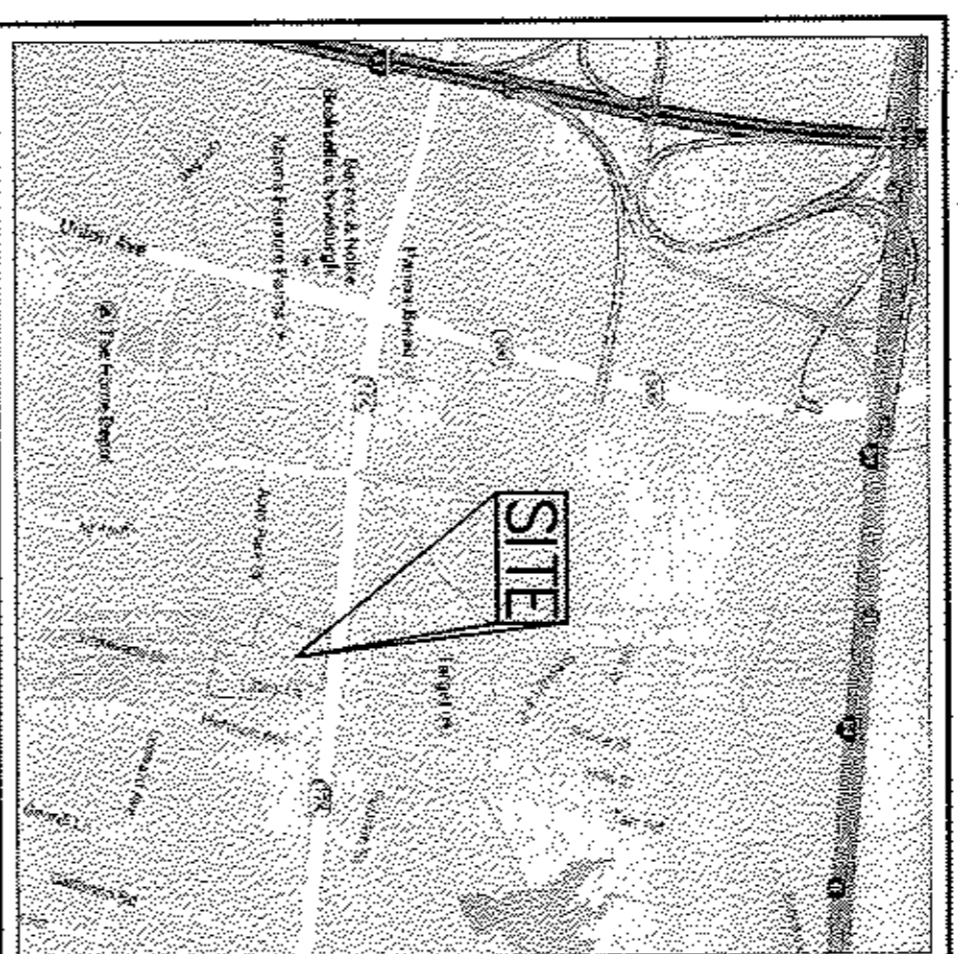
TAX MAP SECTION 97 | BLOCK 2 | LOT 11.2 (LIBER 1740, PG. 398)  
 ORANGE COUNTY  
 200 AUTO PARK PLACE  
 NEWBURGH, NEW YORK

**Applicant:**  
**HUDSON VALLEY AUTOMOTIVE ENTERPRISES, LLC**  
 4312 ALBANY POST ROAD  
 HYDE PARK, NY 12538  
 (845) 229-4157

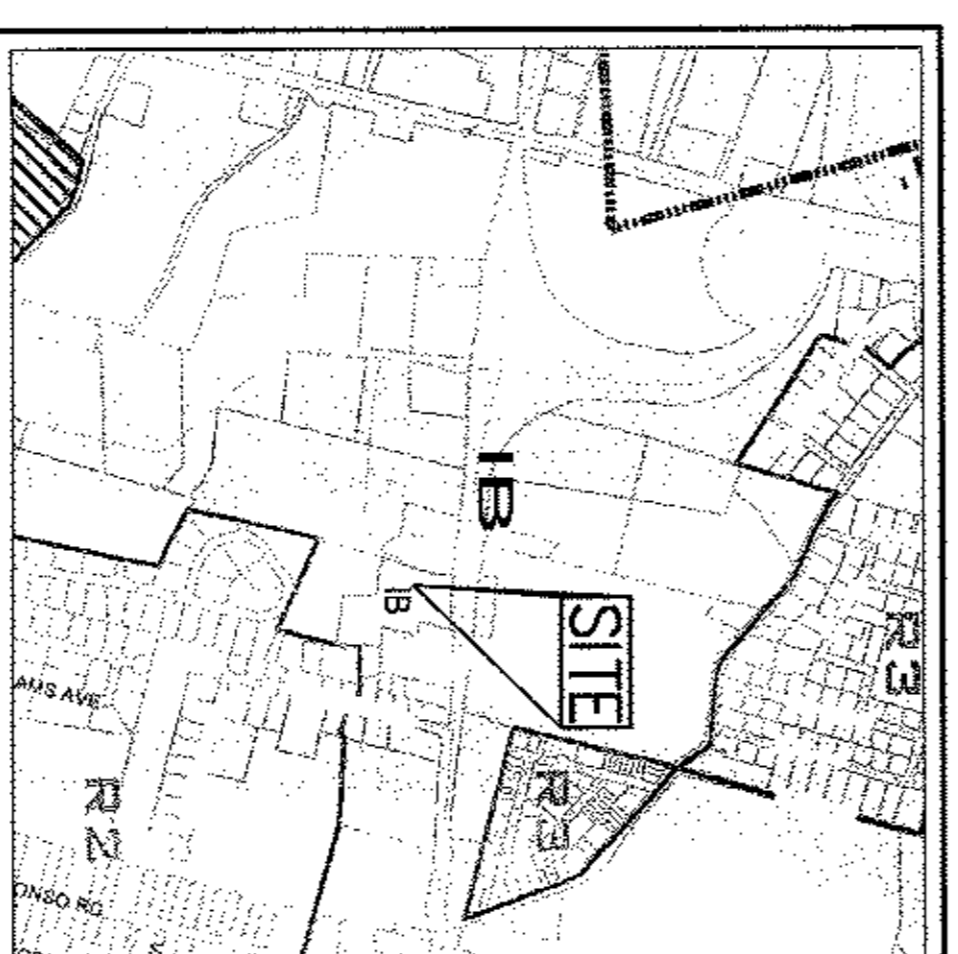
**JMC**  
 THE DEVELOPMENT CONSULTANTS  
**Site Planner, Civil Engineer, and Landscape Architect:**  
 120 BEDFORD ROAD  
 ARMONK, NY 10504  
 (914) 273-5225

**Architect:**  
**CLARIS CONSTRUCTION, INC.**  
 153 SOUTH MAIN STREET  
 NEWTOWN, CT 06470  
 (203) 364-9460

**Surveyor:**  
**A. DIACHISHIN AND ASSOCIATES, P.C.**  
 115 YANKEE FOLLY ROAD  
 NEW PALTZ, NY 12561  
 (845) 419-2305



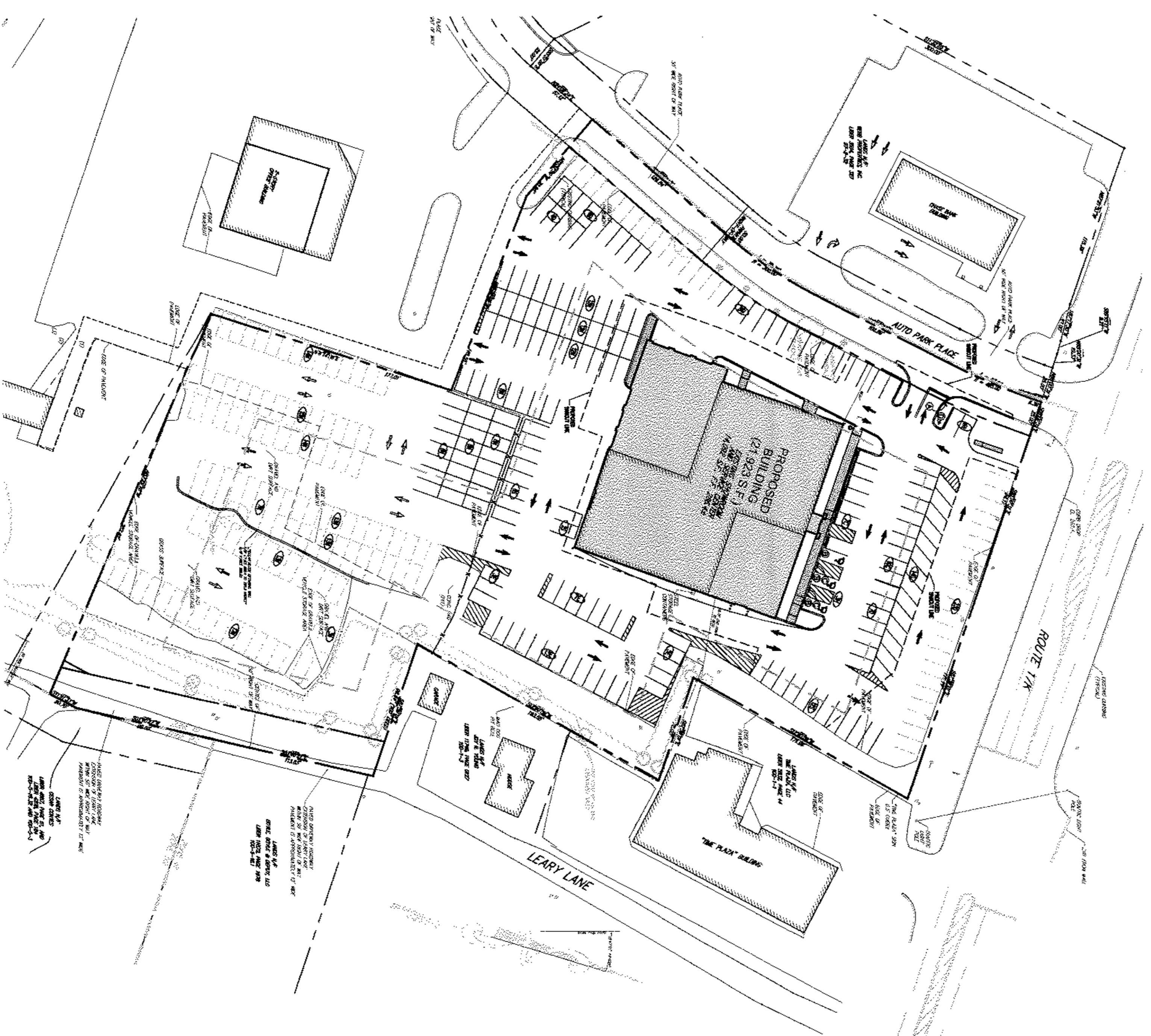
VICINITY MAP  
 SCALE: 1" = 1,000'  
 SOURCE: GOOGLE MAPS / 2014



ZONING MAP  
 SCALE: 1" = 1,000'  
 SOURCE: TOWN OF NEWBURGH ZONING MAP / YEAR

**LEGEND**

---	SITE PROPERTY LINE
---	ZONING BOUNDARY
---	LOT LINE
R3 R2	RESIDENCE DISTRICT
IB	INTERCHANGE BUSINESS DISTRICT



AREA MAP  
 SCALE: 1" = 200'  
 SOURCE: SURVEY / 2014

- JMC Drawing List:**
- SP-1 COVER SHEET
  - SP-2 SITE EXISTING CONDITIONS & DEMOLITIONS PLAN
  - SP-3 SITE LAYOUT PLAN
  - SP-4 SITE GRADING & UTILITIES PLAN
  - SP-5 SITE EROSION & SEDIMENT CONTROL PLAN
  - SP-6 SITE LANDSCAPE PLAN
  - SP-7 CONSTRUCTION DETAILS
  - SP-8 CONSTRUCTION DETAILS
  - SP-9 CONSTRUCTION DETAILS

**TABLE OF LAND USE**

INTERCHANGE BUSINESS DISTRICT (IB)	PERMITTED/REQUIRED	EXISTING	PROPOSED
LOT AREA (AC./S.F.)	0.82 AC./40,000 S.F.	4.82 AC. / 188,654 S.F.	4.82 AC. / 188,654 S.F.
LOT WIDTH (FT.)	150	284	284
LOT DEPTH (FT.)	150	572	572
SETBACK TO PARKING FRONT YARD (FT.)	35	1,000	1,000
<b>BUILDING SETBACKS</b>			
FRONT YARD (ROUTE 17X) (FT.)	80/80	128	117
FRONT YARD (AND PARK PLAZA) (FT.)	50	47'0"	47'0"
REAR YARD (FT.)	80	117	115
SIDE YARD (FT.)	30/80	59' N/A	58' N/A
LOT SURFACE COVERAGE (%)	40	68.4	68.4
BUILDING HEIGHT (FT.)	40	2-40	2-40
<b>PARKING SUMMARY</b>			
CUSTOMER PARKING	-	9	17
HANDICAP PARKING	-	N/A	3'6"
INVENTORY PARKING (1)	-	327	317,089
TOTAL PARKING	1	336	337'0"
LOADING	1	N/A	1

- NOTES:**
- (1) EXISTING NON-CORPORATING.
  - (2) A FRONT YARD SETBACK ALL COUNTY AND STATE HIGHWAYS SHALL BE AT LEAST 60 FEET IN DEPTH, PER SECTION 18.118 (C-4-B) OF THE ZONING CODE.
  - (3) THE NUMBER OF HANDICAPPED PARKING SPACES IS BASED ON THE TOTAL NUMBER OF CUSTOMER (20) GARAGE (28), AND SERVICE (22) SPACES (70 SPACES TOTAL), WHICH YIELDS 3 HANDICAP SPACES PER ADA GUIDELINES.
  - (4) INVENTORY PARKING INCLUDES DISPLAY CARS.
  - (5) PROPOSED PARKING SUMMARY:
    - CUSTOMER PARKING SPACES = 22
    - INCLUDING 2 HANDICAP SPACES
    - EMPLOYEE PARKING SPACES = 28
    - INVENTORY PARKING SPACES = 287
    - TOTAL PARKING SPACES = 337



COPYRIGHT © 2014 BY JMC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JMC DEVELOPMENT CONSULTANTS, LLC. THE INFORMATION CONTAINED HEREIN IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE DISTRIBUTED TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF JMC DEVELOPMENT CONSULTANTS, LLC.

NO.	REVISION	DATE	BY

**JMC**  
 THE DEVELOPMENT CONSULTANTS  
 JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEDFORD ROAD • ARMONK, NY 10504  
 voice 914.273.5225 • fax 914.273.2102

DATE: 11/22/2014  
 SCALE: NOT TO SCALE  
 PROJECT: 1422  
 SHEET: 001  
 OF: 005

SP-1

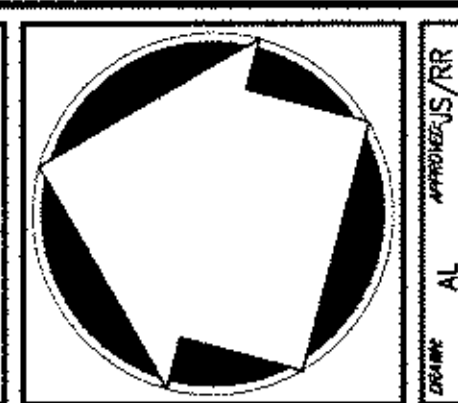
NO.	REVISION	DATE	BY

HUDSON VALLEY AUTOMOTIVE ENTERPRISES, LLC  
 4312 ALBANY POST ROAD  
 HYDE PARK, NY 12538

120 Bedford Road  
 Armonk, NY 10504  
 voice 914.273.2225 • fax 914.273.2102  
 www.johnmeyerconsulting.com

**JMC**  
 JOHN MEYER CONSULTING, P.C.

**SITE EXISTING CONDITIONS & DEMOLITION PLAN**  
 HUDSON VALLEY CRYSLER  
 DODGE JEEP RAM  
 200 AUTO PARK PLACE  
 NEWBURGH, NEW YORK



SCALE: 1" = 30'  
 DATE: 12/22/2014  
 PROJECT NO: 14122  
 DRAWING NO: 100-5-1.1  
 SHEET NO: 100-5-1.1  
 TOTAL SHEETS: 100-5-1.1  
 DRAWN BY: JMC  
 CHECKED BY: JMC  
 APPROVED BY: JMC

**SP-2**

**LEGEND**

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING RETAINING WALL
	EXISTING FENCE
	EXISTING TREE
	EXISTING SHRUB
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING PARKING & STRIPING TO BE REMOVED (WITH NUMBER OF SPACES)
	EXISTING APPROXIMATE PARKING WITH NUMBER OF SPACES
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING SIGN
	EXISTING FEATURE TO BE REMOVED

- NOTES**
- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY DATA, SUBDIVISION PLANS OF BIRKBECK, INC. & WEB PROPERTIES, INC., PREPARED BY A. CACCHIONE AND ASSOCIATES, P.C., DATED NOVEMBER 1, 2014.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND EXISTING UTILITIES TO BE PROTECTED BY ANY UTILITY SERVICES ARE TO BE MAINTAINED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE LOCAL CONTRACTOR AND JOHN MEYER CONSULTING PRIOR TO THE START OF CONSTRUCTION.
  - ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. ALL NECESSARY PERMITS AND JOB APPROVALS FROM THE TOWN OF NEWBURGH AND ALL OTHER AGENCIES HAVING JURISDICTION SHALL BE OBTAINED PRIOR TO DEMOLITION. DEMOLITION SHALL COMMENCE AFTER A PERMIT HAS BEEN OBTAINED.
  - THE CONTRACTOR SHALL COORDINATE THE DISCONNECTION OF ALL UTILITIES WITH THE UTILITY COMPANY HAVING JURISDICTION PRIOR TO THE START OF DEMOLITION. THE CONTRACTOR SHALL NOTIFY THE TOWN OF NEWBURGH AND ALL OTHER AGENCIES HAVING JURISDICTION PRIOR TO THE START OF DEMOLITION. THE CONTRACTOR SHALL NOTIFY THE TOWN OF NEWBURGH AND ALL OTHER AGENCIES HAVING JURISDICTION PRIOR TO THE START OF DEMOLITION. THE CONTRACTOR SHALL NOTIFY THE TOWN OF NEWBURGH AND ALL OTHER AGENCIES HAVING JURISDICTION PRIOR TO THE START OF DEMOLITION.
  - ANY HAZARDOUS MATERIALS FOUND ON-SITE DURING DEMOLITION CONSTRUCTION SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AGENCIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED.
  - ALL DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AGENCIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED.
  - EXISTING CONCRETE MAY BE STORED ON-SITE AND RECYCLED FOR USE AS FILL. ALL MATERIAL TO BE USED AS FILL SHALL BE APPROVED BY THE PROJECT ENGINEER.
  - BEFORE THE START OF DEMOLITION, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT. ALL AGENCIES THAT HAVE JURISDICTION AS REQUIRED AND/OR DIRECTED BY THE TOWN OF NEWBURGH OR JOHN MEYER CONSULTING, P.C.
  - EXISTING PAVEMENT PATTERNS ON-SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE.
  - EXISTING UTILITY CASSINGS WHICH ARE TO REMAIN SHALL BE REPAIRED AND SET TO THE NEW PROPOSED GRADES IN ACCORDANCE WITH THE DIRECTIONS OF THE OWNER'S FIELD REPRESENTATIVE. EXISTING CASINGS AS DETERMINED BY THE OWNER'S FIELD REPRESENTATIVE SHALL BE REPLACED.
  - ALL EXISTING SIDEWALKS, CURBS, PAVEMENT, ETC. TO REMAIN, WHICH ARE DAMAGED OR DAMAGED DUE TO THE NEW CONSTRUCTION, ARE TO BE REPAIRED TO ORIGINAL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE SITE CONTRACTOR FOR THEIR USE, INFORMATION AND COORDINATION. ANY AGREEMENTS OF CONTRACTOR RESPONSIBILITY AND/OR SEPARATION OF ISSUANCE OF BID, SHALL BE OBTAINED FROM THE OWNER PRIOR TO THE START OF CONSTRUCTION.
  - PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR MUST PROVIDE A DEMOLITION SEQUENCE PLAN TO THE TOWN OF NEWBURGH AND JOHN MEYER CONSULTING, P.C.
  - THE CONTRACTOR SHALL PROVIDE NOTIFICATION TO THE TOWN OF NEWBURGH THAT FIVE (5) DAYS PRIOR FROM NOTIFICATION WAS GIVEN TO ALL ADJACENT PROPERTY OWNERS AND NEIGHBORS OF THE PROJECT. APPROPRIATE COMMUNITY GROUPS SHALL BE NOTIFIED OF THE PROJECT.

**SEQUENCE OF DEMOLITION**

- INSTALLATION OF TEMPORARY BARRIERS, SEDIMENT AND EROSION CONTROL MEASURES, AND EROSION CONTROL MEASURES AS REQUIRED BY THE TOWN OF NEWBURGH.
- DISCONNECTION OF ALL UTILITY SERVICES (GAS, ELECTRIC, WATER, SANITARY, SEWER, TELEPHONE, ETC.) AS SHOWN ON THE PLAN.
- REMOVE AND DISPOSE OF OR STORE ON-SITE EXISTING BUILDING SIDEWALKS, PAVEMENT, AND BITUMEN ROADS. EXISTING SIDEWALKS, PAVEMENT, AND BITUMEN ROADS SHALL BE REPAIRED TO ORIGINAL CONDITIONS.
- CLEAR AND GRUB SITE. REMOVE AND STORE OR DISPOSE EXISTING TYPICAL CONSTRUCTION MATERIALS AND STORE OR DISPOSE EXISTING TYPICAL CONSTRUCTION MATERIALS.
- REMOVE AND DISPOSE OF EXISTING SIDEWALKS, PAVEMENT, AND BITUMEN ROADS. EXISTING SIDEWALKS, PAVEMENT, AND BITUMEN ROADS SHALL BE REPAIRED TO ORIGINAL CONDITIONS.
- CONTINUE REMOVAL OF EXISTING PAVEMENT, CONCRETE CURBS AND SIDEWALKS. REMOVE AND DISPOSE OF EXISTING SIDEWALKS, PAVEMENT, AND BITUMEN ROADS. EXISTING SIDEWALKS, PAVEMENT, AND BITUMEN ROADS SHALL BE REPAIRED TO ORIGINAL CONDITIONS.

**NOT FOR CONSTRUCTION**



Copyright © 2014 By John Meyer Consulting  
 ANY ALTERATION OF PLANS, SPECIFICATIONS, PLANS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR A LICENSED LAND SURVEYOR IS A VIOLATION OF EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

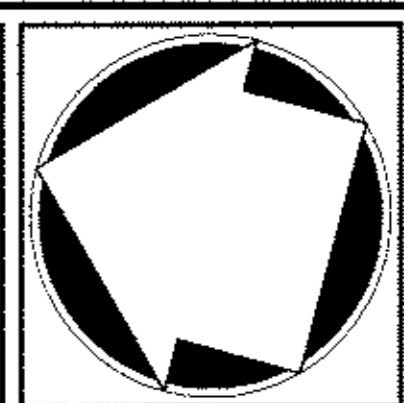


NO.	REVISION	DATE	BY

HUDSON VALLEY AUTOMOTIVE ENTERPRISES, LLC  
 4312 ALBANY POST ROAD  
 HYDE PARK, NY 12538

**JMC**  
 SITE DEVELOPMENT CONSULTANTS  
 www.jmcpcl.com  
 JMC Planning, Engineering, Architecture & Land Surveying, LLC  
 John Meyer Consulting, Inc.  
 120 BEVERLY ROAD • ARMONK, NY 10904  
 voice 914.273.5225 • fax 914.273.2102

**SITE LAYOUT PLAN**  
 HUDSON VALLEY CHRYSLER  
 DODGE JEEP RAM  
 200 AUTO PARK PLACE  
 NEWBURGH, NEW YORK



SCALE: 1" = 30'  
 DATE: 12/22/2014  
 PROJECT NO: 14122  
 SHEET NO: 11  
 DRAWN BY: JLM  
 CHECKED BY: JLM  
 PROJECT: SP-3

**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT "X"
	EXISTING CURB LINE
	EXISTING FENCE
	EXISTING RETAINING WALL
	EXISTING TREE AND REMOVAL
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT STRIPES/LINES
	EXISTING APPROXIMATE PARKING WITH NUMBER OF SPACES
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP (DET XO)
	PROPOSED SHOULDER LINE
	PROPOSED PARKING SPACES
	PROPOSED UNADJUSTED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED DISTURBED PARKING SPACES
	PROPOSED DISPLAY CAR PARKING SPACES
	PROPOSED EMPLOYEE PARKING SPACES
	PROPOSED CAR INVENTORY PARKING SPACES
	PROPOSED SERVICE PARKING SPACES
	PROPOSED CONCRETE SIDEWALK
	PROPOSED PAVING CONCRETE SIDEWALK & CURB
	PROPOSED PAVEMENT
	PROPOSED CONCRETE APRON
	PROPOSED FENCE
	PROPOSED 12" WIDE WHITE STOP LINE
	PROPOSED 6" WIDE YELLOW HATCH LINES AT 45°
	PROPOSED ARROW MARKINGS ON PAVEMENT
	TRAFFIC SIGN LOCATION & DIMENSION
	EXISTING FEATURE TO BE REMOVED

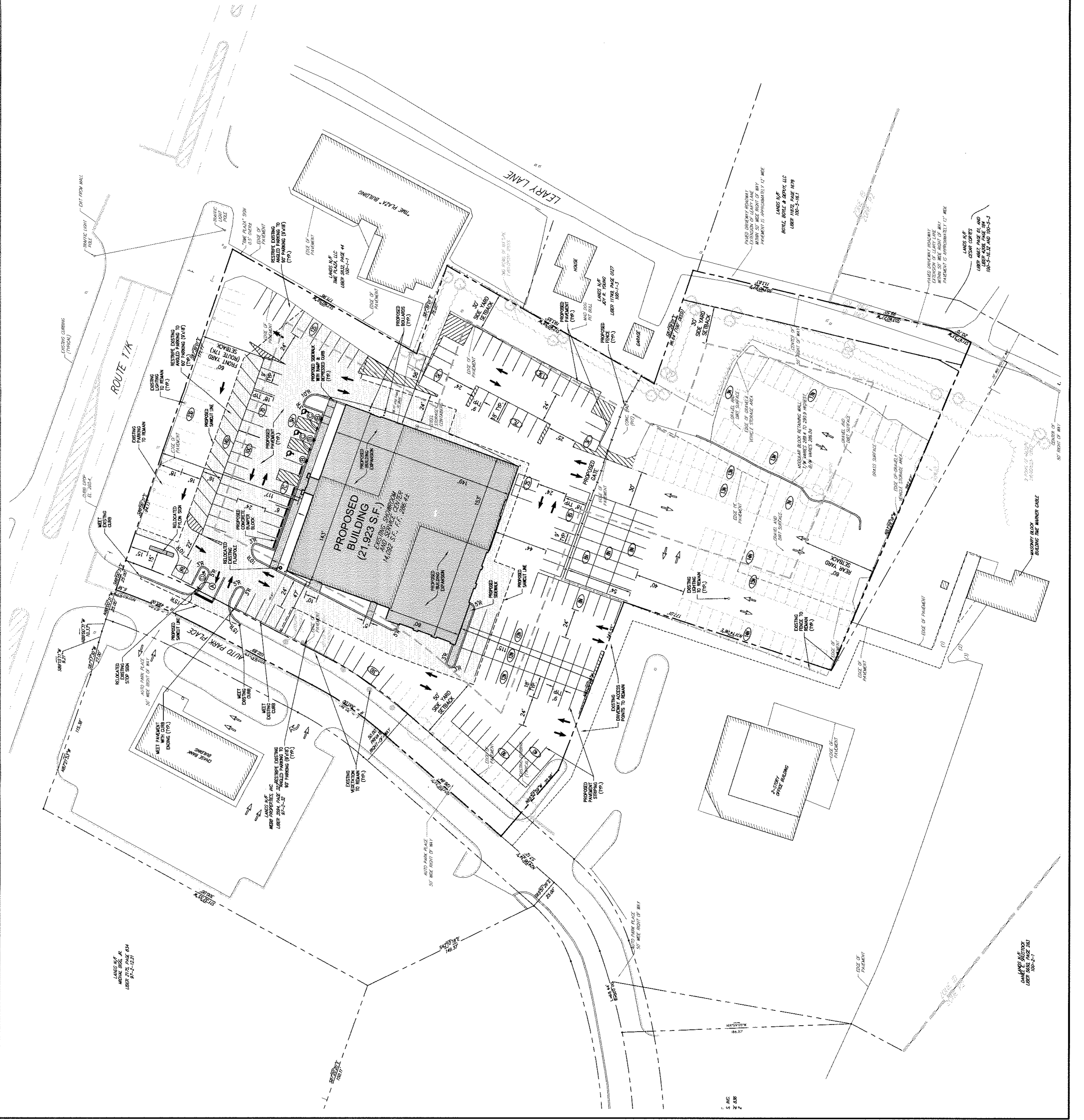
- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SUBDIVISION PLAN OF LANDS OF HUDSON VALLEY CHRYSLER DODGE JEEP RAM PREPARED BY A. DACHSHIN AND ASSOCIATES, P.C., DATED NOVEMBER 1, 2014.
  - EXISTING LIGHTING TO REMAIN.
  - PRIOR TO RESTRIPING THE PAVEMENT, BLACK PAINT THE EXISTING/PREVIOUS PAVEMENT MARKINGS.

**SIGN TABLE**

SECTION	SIZE	DESCRIPTION	MARKING HEIGHT	REMARKS
A	30"x30"	STOP	7'-0"	RT-1
B	12"x18"	GREEN & WHITE	7'-0"	RT-8
C	12"x18"	RED ON WHITE	7'-0"	NYPI-2
D	30"x30"	RED ON WHITE	7'-0"	RS-1

ANY ALTERATION OF PLANS, SPECIFICATIONS, OR CONDITIONS SHALL BE THE RESPONSIBILITY OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR. A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE ENGINEERING LAW IS PROHIBITED FOR BY SECTION 7208, SUBSECTION 2.

NOT FOR CONSTRUCTION



NO.	REVISION	DATE

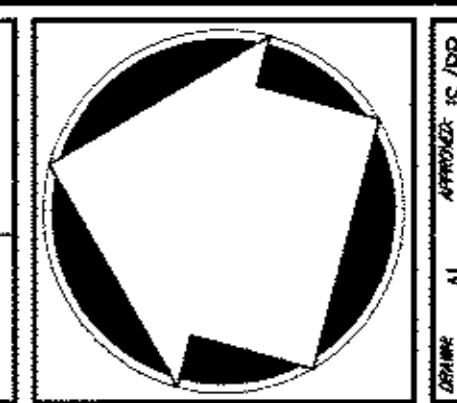
HUDSON VALLEY AUTOMOTIVE ENTERPRISES, LLC  
 4312 ALBANY POST ROAD  
 HYDE PARK, NY 12538

JMC Planning, Engineering, Landscape Architects & Land Surveying, LLC  
 120 BEDFORD ROAD • RAMPONK, NY 10954  
 voice 914.273.5225 • fax 914.273.2102

**JMC**  
 SITE DEVELOPMENT CONSULTANTS  
 www.jmcplc.com

UTILITIES PLAN  
 SITE GRADING &

HUDSON VALLEY CHRYSLER  
 DODGE JEEP RAM  
 200 AUTO PARK PLACE  
 NEWBURGH, NEW YORK



DATE: 12/22/2014  
 PROJECT NO: 14172  
 SCALE: 1" = 30'  
 SHEET: 5/5  
 DRAWN: JMC  
 CHECKED: JMC  
 PROJECT: SP-4

**NOTES**

- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SUBDIVISION PLAN OF LANDS OF BERKS REALTY, INC. & NEBR NUMBER 1, 2014," PREPARED BY A. DAKOSHIN AND ASSOCIATES, P.C., DATED NOVEMBER 11, 2014.
- ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND & CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.

EXISTING PROPERTY LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING ADJACENT PROPERTY LINE	---
EXISTING EASEMENT LINE	---
EXISTING RETAINING WALL	---
EXISTING BUILDING OVERLAP	---
EXISTING BUILDING LINE	---
EXISTING PAVEMENT EDGE	---
EXISTING CURB LINE	---
EXISTING CONC. CONTOUR	---
EXISTING CONC. CONTOUR	---
EXISTING FENCE	---
EXISTING STORM DRAIN LINE AND SIZE	---
EXISTING SANITARY LINE AND SIZE	---
EXISTING WATER LINE	---
EXISTING GAS LINE	---
EXISTING OVERHEAD WIRES	---
EXISTING DRAIN INLET	---
EXISTING MANHOLE	---
EXISTING FIRE HYDRANT	---
EXISTING GAS VALVE	---
EXISTING WATER VALVE	---
EXISTING UTILITY POLE	---
EXISTING LIGHT POLE	---
EXISTING SIGN	---
PROPOSED FINISHED GRADE	---
PROPOSED SPOT GRADE	---
PROPOSED LIMIT OF DISTURBANCE	---
PROPOSED BUILDING LINE	---
PROPOSED CONCRETE CURB	---
PROPOSED CONCRETE SIDEWALK	---
PROPOSED DROP CURB AND RAMP	---
PROPOSED ROOF DRAIN LEADER	---
RD.	---

ANY ALTERATION OF PLANS, SPECIFICATIONS, OR DIMENSIONS SHALL BE THE RESPONSIBILITY OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, SUBSECTION 2.

NOT FOR CONSTRUCTION

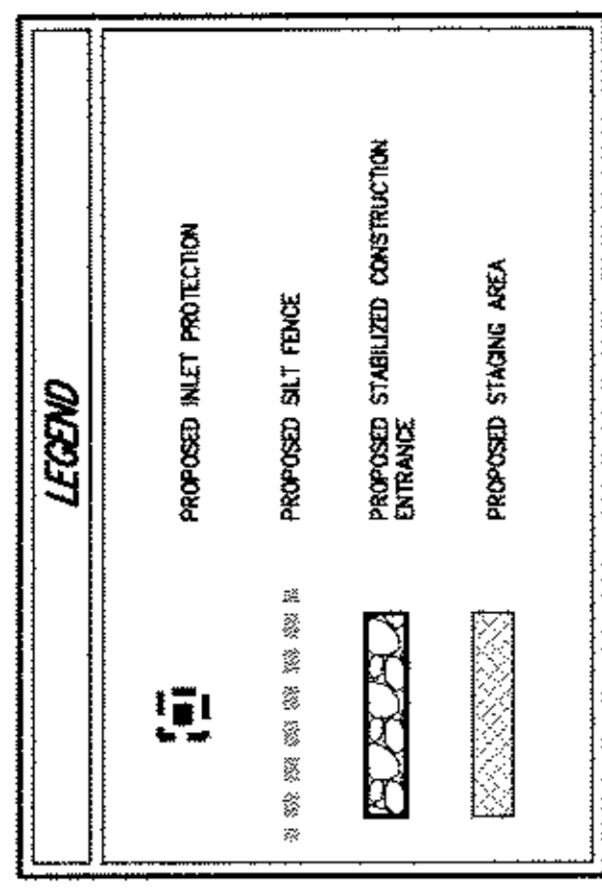


Revisions table with columns for NO., DATE, and REVISION.

HUDSON VALLEY AUTOMOTIVE ENTERPRISES, LLC  
4312 ALBANY POST ROAD  
HYDE PARK, NY 12538

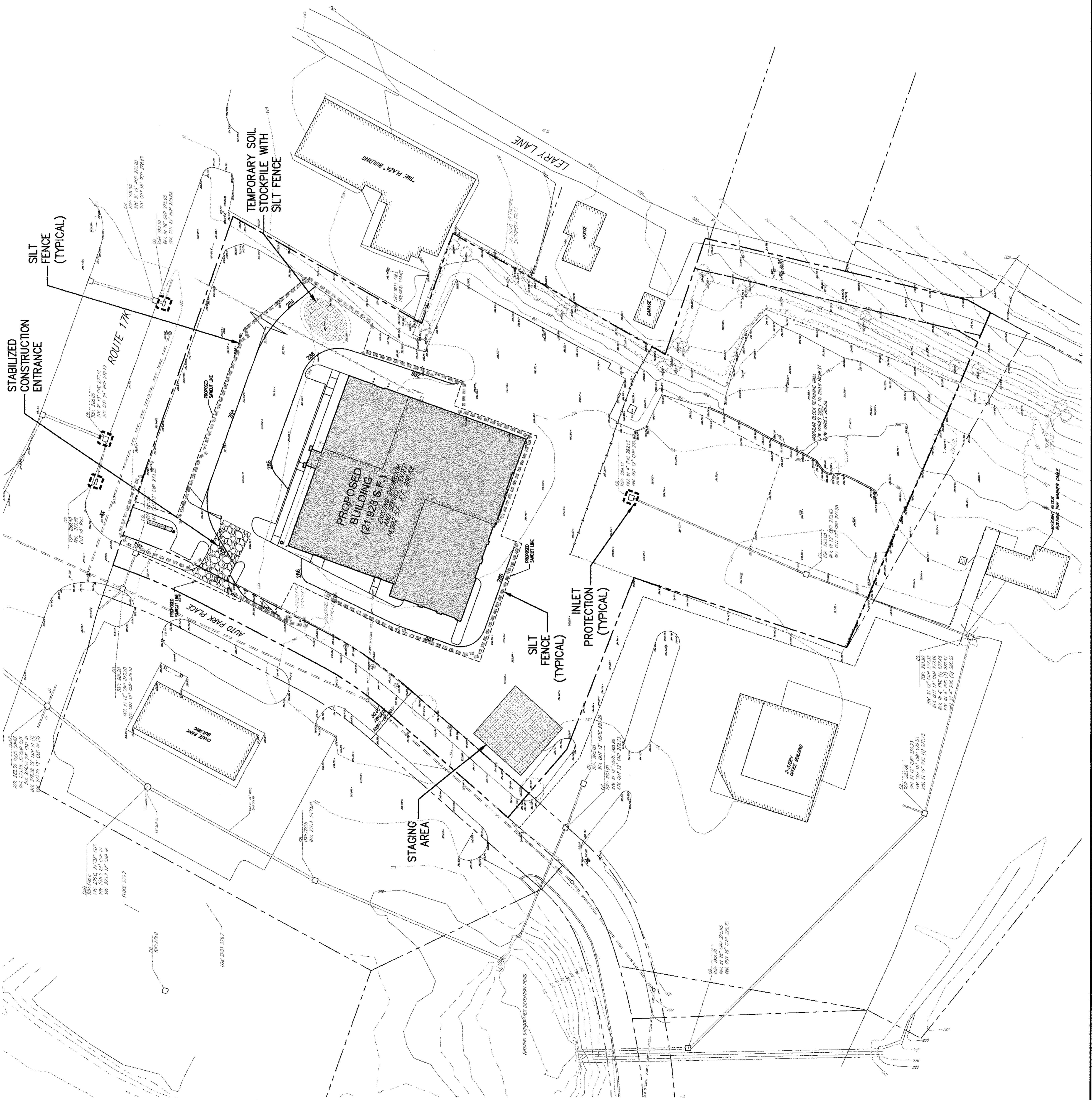
JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
120 GEORGE ROAD • RAMONK, NY 10954  
www.jmcc.com

**SITE EROSION & SEDIMENT CONTROL PLAN**  
HUDSON VALLEY CHRYSLER  
DODGE JEEP RAM  
200 AUTO PARK PLACE  
NEWBURGH, NEW YORK  
**SP-5**



- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SUBDIVISION PLAN OF LOTS OF IRIS REALTY, INC. & WEBB TRUST," DATED 08/07/2014, BY P. J. JACOBS AND ASSOCIATES, P.C., DATED NOVEMBER 1, 2014.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CONSTRUCTION AT THE SITE.
  - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED WITH THE FOLLOWING GRASS MAX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 100% TO 30% IN THE FOLLOWING PROPORTIONS:
    - PERMANENT ERE GRASS: 70%
    - TEMPORARY ERE GRASS: 30%
  - GRASS SEED MAX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY THE CONTRACTOR TO SLOPES OF 2% OR GREATER. INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  - SEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER 1000 S.F. PER 1000 S.F. OF SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
  - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED MATERIAL SHALL BE MAINTAINED IN THE STABILIZED AREAS AS DIRECTED BY THE ENGINEER RESPONSIBLE.
  - GRASS SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
  - CUT AND FILLS SHALL NOT ENHANCE ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
  - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
  - NO CONSTRUCTION SHALL BE PERMITTED ON SLOPES OR AT THE BOTTOMS OF CUTS OR FILLS UNLESS THE SLOPES ARE PROTECTED WITH EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED.
  - AS WARRANTED BY FIELD CONDITIONS, SPECIAL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
  - STORAGE OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE LOCATED AND APPROVED AREAS. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED AND COVERED TO PREVENT EROSION AND SEDIMENTATION AS NOT TO IMPACT ON EXISTING TRAFFIC OR ADJACENT PROPERTIES.

- SEQUENCE OF CONSTRUCTION**
- CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE EROSION AND SEDIMENTATION. THE SEQUENCE SHALL BE AS FOLLOWS:
- INSTALL INLET PROTECTION, SILT FENCE AND OTHER PROTECTION MEASURES.
  - PREPARE FOUNDATIONS AS REQUIRED.
  - REMOVE CURBS AND ASPHALT IN PORTION OF THE PROPERTY WHICH IS TO BE MAINTAINED.
  - BEFORE BEGINNING CONSTRUCTION, PERFORM EROSION AND SEDIMENT CONTROL MEASURES.
  - FINISH GRADING, REINFORCEMENT, TIE-BACKS, EROSION CONTROL AND/OR LANDSCAPING.
  - INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION FROM THE REMOVAL OF ALL EXISTING PROTECTION MEASURES.
  - COMPLETE SITE AND BUILDING CONSTRUCTION IN ACCORDANCE WITH THE SEQUENCE.



ANY ALTERATION OF PLANS, SPECIFICATIONS, OR CONDITIONS SHALL BE THE RESPONSIBILITY OF A LICENSED LAND SURVEYOR OR A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT UNDER THE AUTHORITY OF THE STATE OF NEW YORK, SECTION 7209 OF THE NEW YORK STATE EROSION CONTROL LAW, SUBSECTION 2.

NOT FOR CONSTRUCTION

Copyright © 2014 By John Meyer Consulting  
DATE: 12/22/2014  
SCALE: AS SHOWN

NO.	REVISION	DATE

HUDSON VALLEY AUTOMOTIVE  
 ENTERPRISES, LLC  
 4312 ALBANY POST ROAD  
 HYDE PARK, NY 12538

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 John Meyer Consulting, Inc.  
 120 BEDFORD ROAD • RAMPOCK, NY 10904  
 914.273.5225 • FAX 914.273.1024  
 www.jmcplic.com

**JMC**  
 SITE DEVELOPMENT CONSULTANTS

**SITE LANDSCAPE**  
 PLAN  
 HUDSON VALLEY CHRYSLER  
 DODGE JEEP RAM  
 200 AUTO PARK PLACE  
 NEWBURGH, NEW YORK

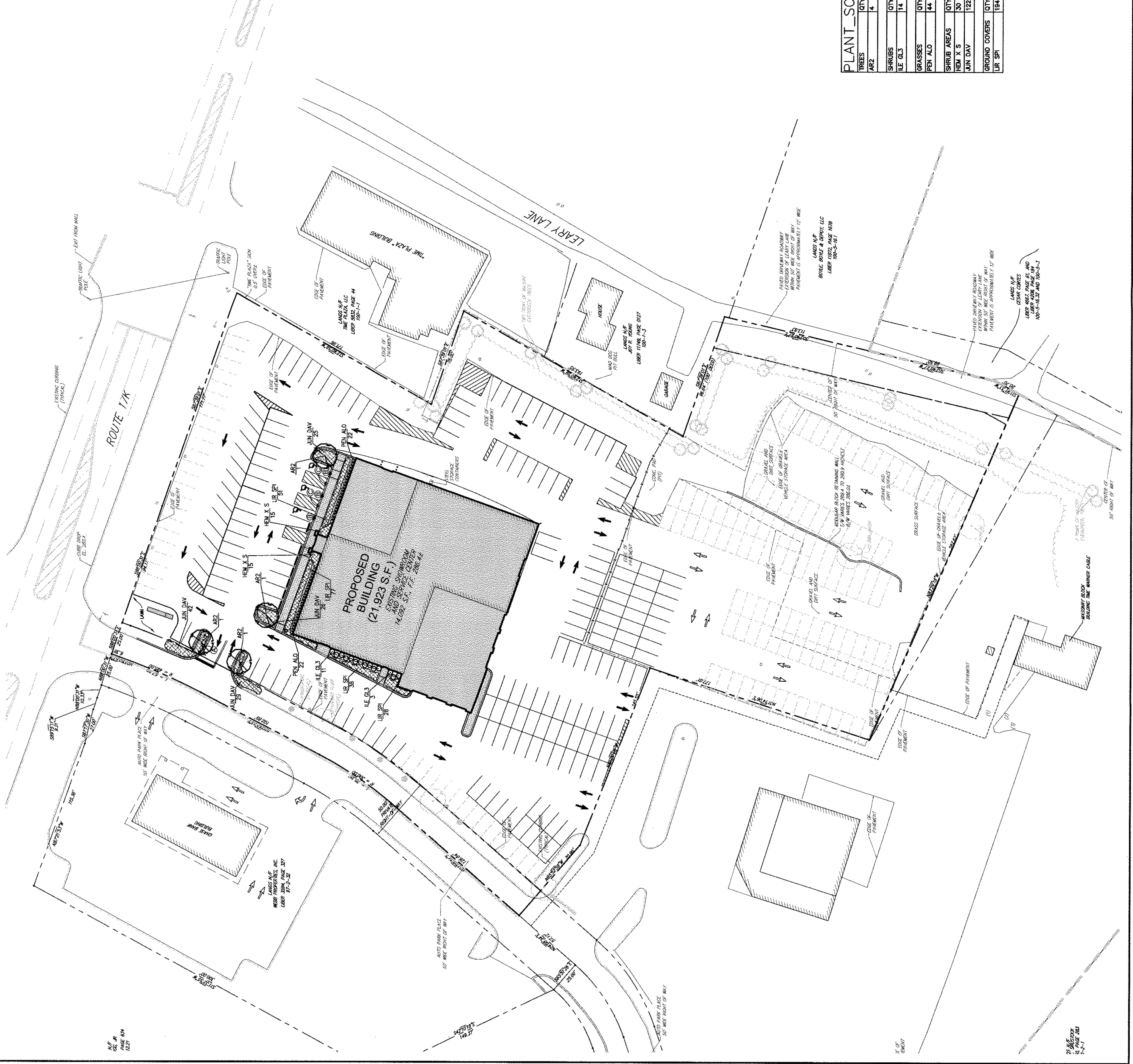


DATE: 12/22/2014  
 PROJECT NO: 14122  
 SHEET NO: 11  
 TOTAL SHEETS: 14  
 SCALE: 1" = 30'

**LEGEND**

	PROPOSED DECIDUOUS TREE
	PROPOSED SHRUB TREE
	PROPOSED SHRUB MASSING

- NOTES:**
- ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK PLANTED WITH AN APPROPRIATE GROWING MEDIUM. THE METHOD OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK.
  - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDINGS OR DRIVEWAYS AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GRASS COVER SHALL BE LAWN.
  - ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE 100% PEELABLE, LONG PINE, SHREDED HEMLOCK.
  - ALL MATERIALS SPECIFIED ON THIS DRAWING AND DELIVERED TO THE PROJECT SITE SHALL BE STORED AND HANDLED IN ACCORDANCE WITH THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
  - PLANTING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE DISCRETION OF THE ARCHITECT. PLANTING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
  - PLANTING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE DISCRETION OF THE ARCHITECT. PLANTING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
  - PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, AND FREE FROM DISEASE, INSECTS OR OTHER PESTS. TREES SHALL BE PLANTED WITH A MINIMUM OF 10% SPREAD OF BRANCHES AND SHALL HAVE HEALTHY NORMAL GROWTH PATTERNS. TREES AND SHRUBS SHALL BE PLANTED WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. BRANCHES SHALL BE PLANTED WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. BRANCHES SHALL BE PLANTED WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY.
  - ALL PLANTING BEDS, LAWS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL UNLESS OTHERWISE SPECIFIED.



**PLANT\_SCHEDULE**

TREES	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
AR2	4	October Glory Maple / <i>Acer rubrum</i> 'October Glory' TM	3" - 3 1/2" CAL	B & B	
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	SPACING
LE_GLS	14	Compact Inhibery / <i>Ilex glabra</i> 'Shamrock'	3" - 4" Height	B & B	48" o.c.
GRASSES	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	SPACING
GR1	44	Hammeln Deerfoot Fountain Grass / <i>Panicum alopecuroides</i> 'Hammeln'	2 gal	Container	24" o.c.
SHRUB AREAS	QTY	COMMON NAME / BOTANICAL NAME	CONT	ROOT COND.	SPACING
SH1	30	Stella de Oro Doily / <i>Hemerocallis</i> x 'Stella de Oro'	2 gal	Cont.	24" o.c.
SH2	122	Parson's Juniper / <i>Juniperus doaniana</i> 'Parson'	2 gal	Cont.	30" o.c.
GROUND COVERS	QTY	COMMON NAME / BOTANICAL NAME	CONT	ROOT COND.	SPACING
GR2	184	Creeping Lily Turf / <i>Lilippe spicata</i>	2 gal	Cont.	24" o.c.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLANS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT AND SUPERVISOR IS A VIOLATION OF PROFESSIONAL ETHICS AND A VIOLATION OF EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

No.	Revision	Date	By

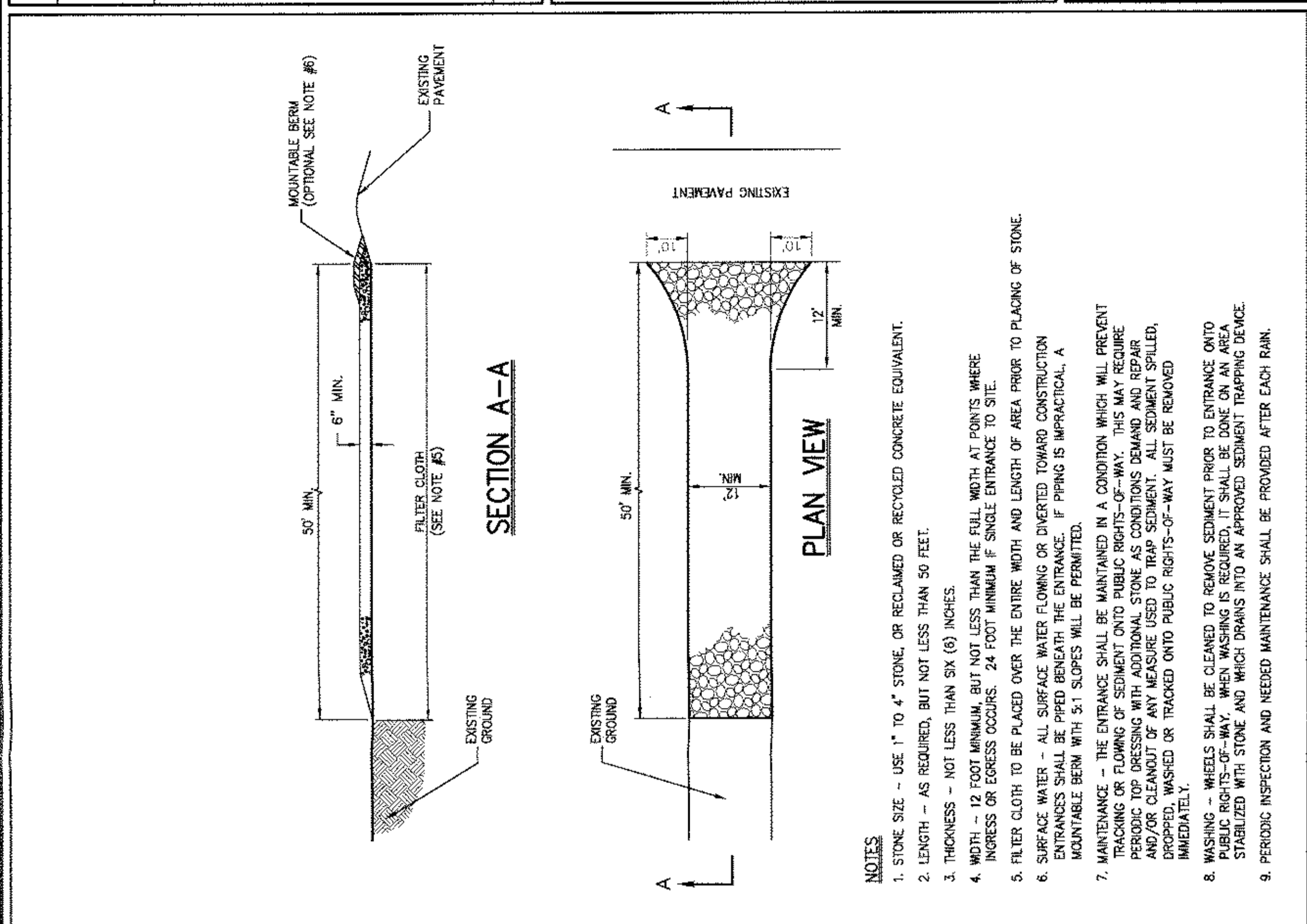
APPLICANT/OWNER:  
**HUDSON VALLEY AUTOMOTIVE ENTERPRISES, LLC**  
 4312 ALBANY POST ROAD  
 H3E PARK, NY 12538

120 Bedford Road  
 Armonk, NY 10504  
 voice 914.273.5225 fax 914.273.2102  
 www.johnmeyercs.com

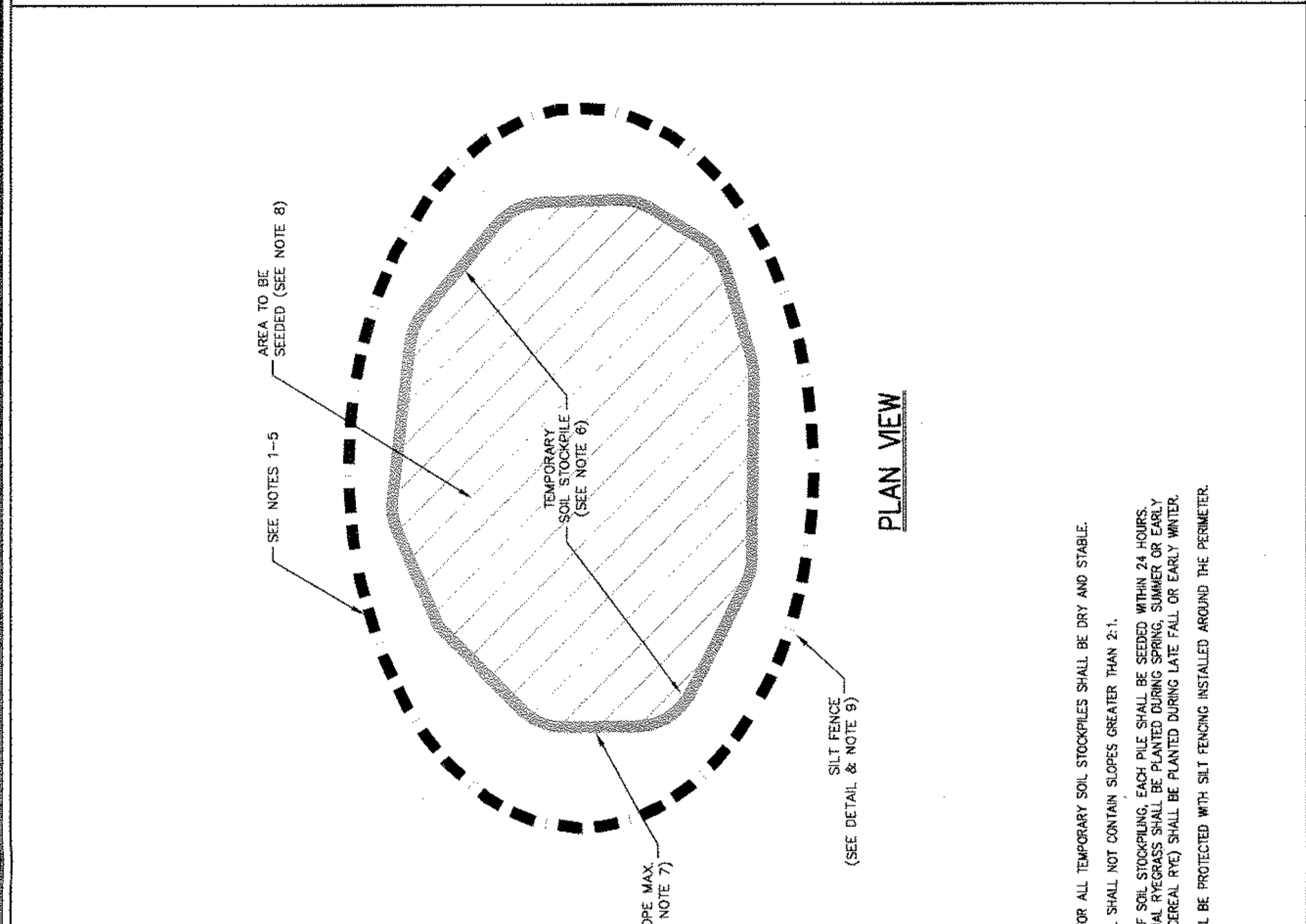
**JMC**  
 JOHN MEYER CONSULTING, P.C.  
 200 AUTO PARK PLACE  
 NEWBURGH, NEW YORK

**CONSTRUCTION DETAILS**  
**JEFF RAM**  
 HUDSON VALLEY CHRYSLER DODGE  
 NEWBURGH, NEW YORK

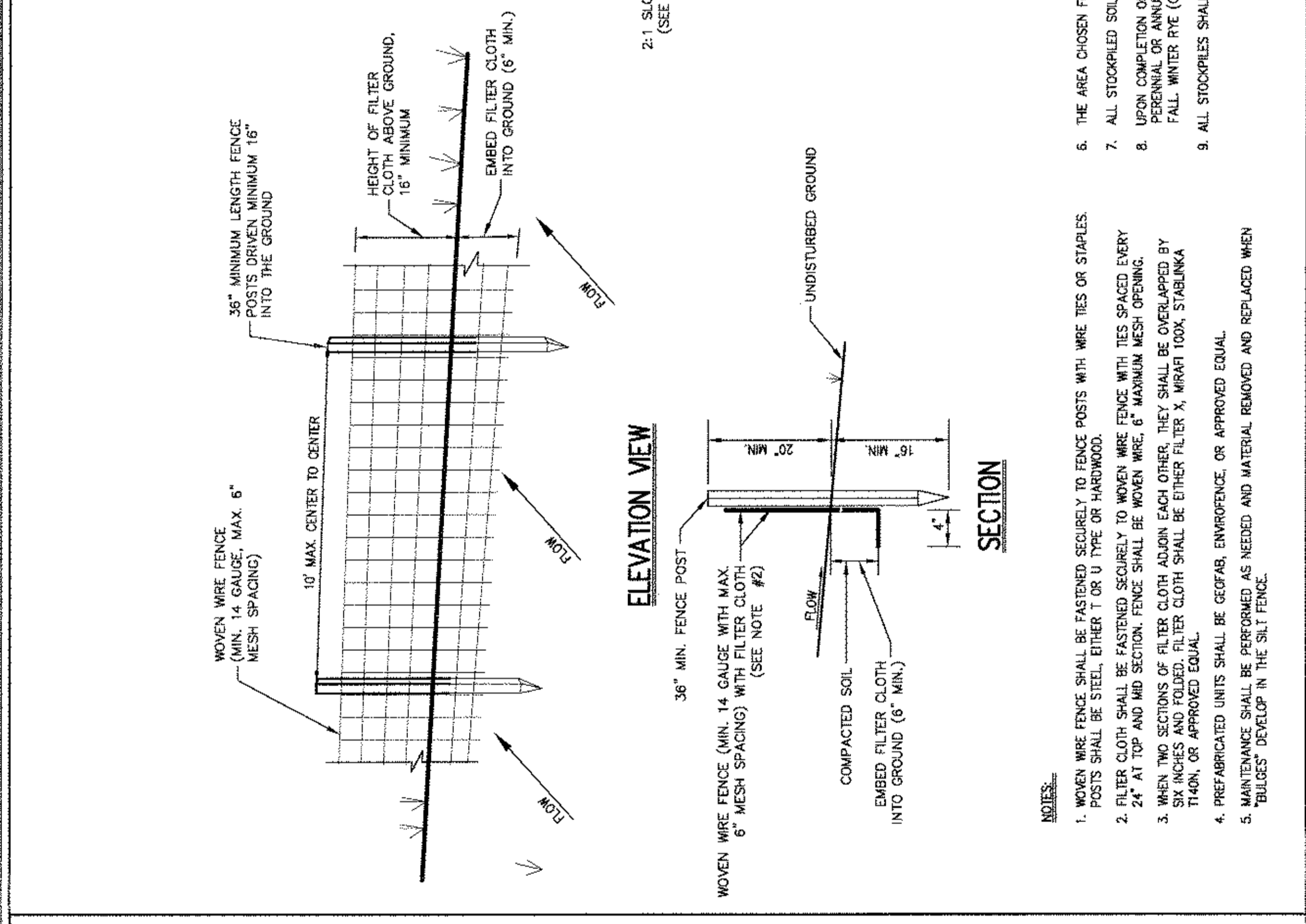
Project No.	14172
Date	12/22/2014
Scale	NOT TO SCALE
Drawn	AL
Checked	SRM
Project	SP-7



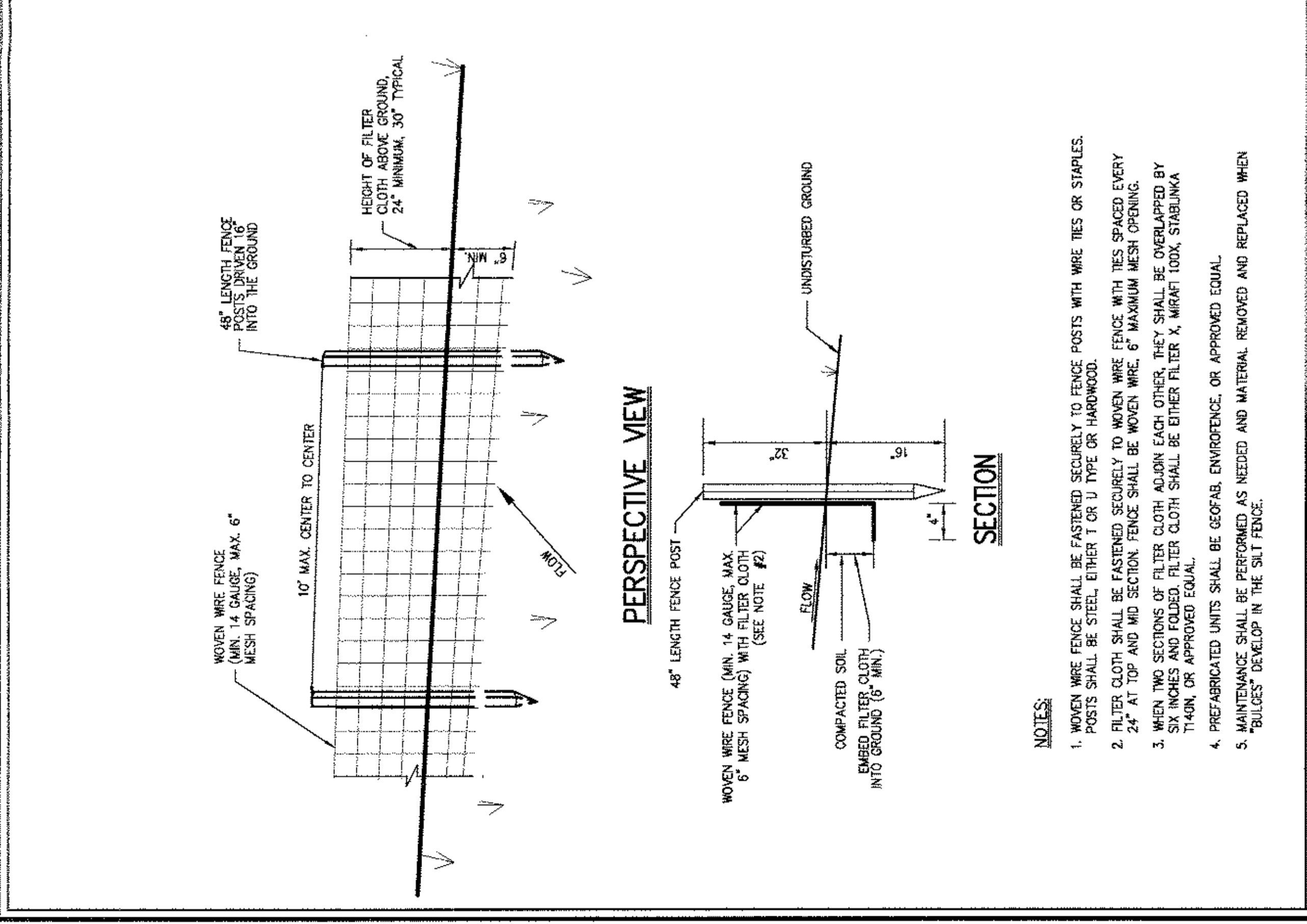
**3**  
**STABILIZED CONSTRUCTION ENTRANCE**



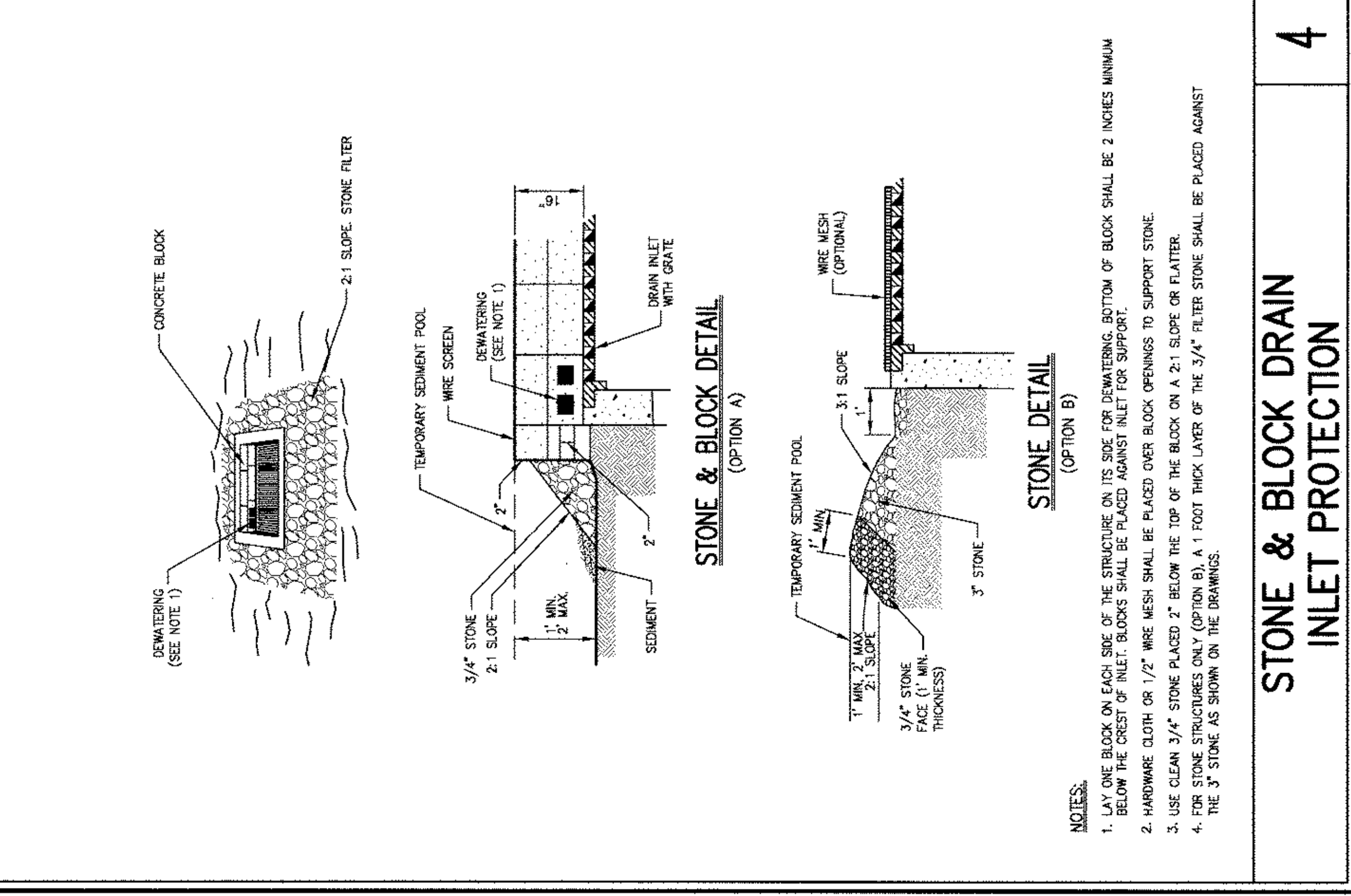
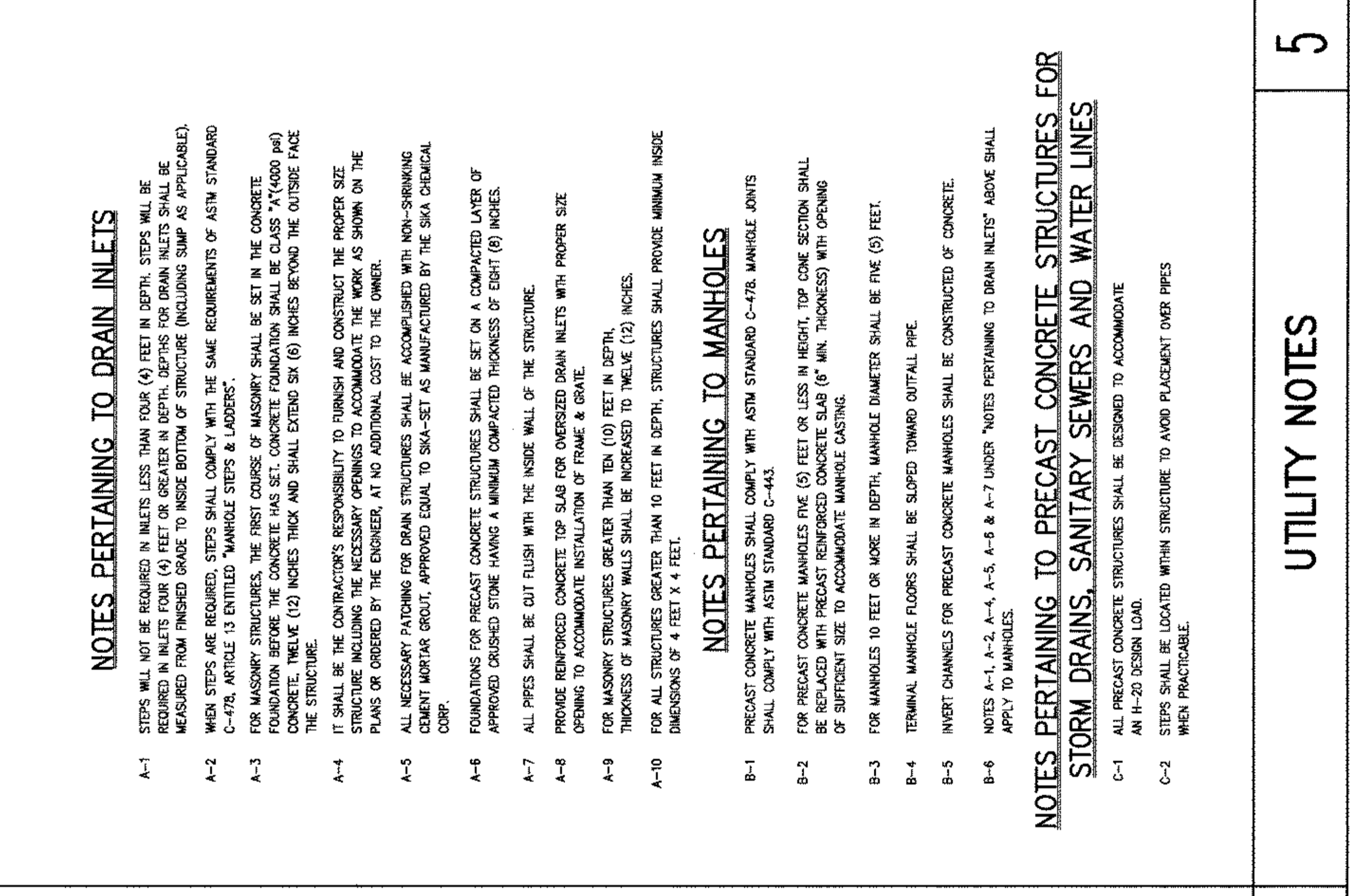
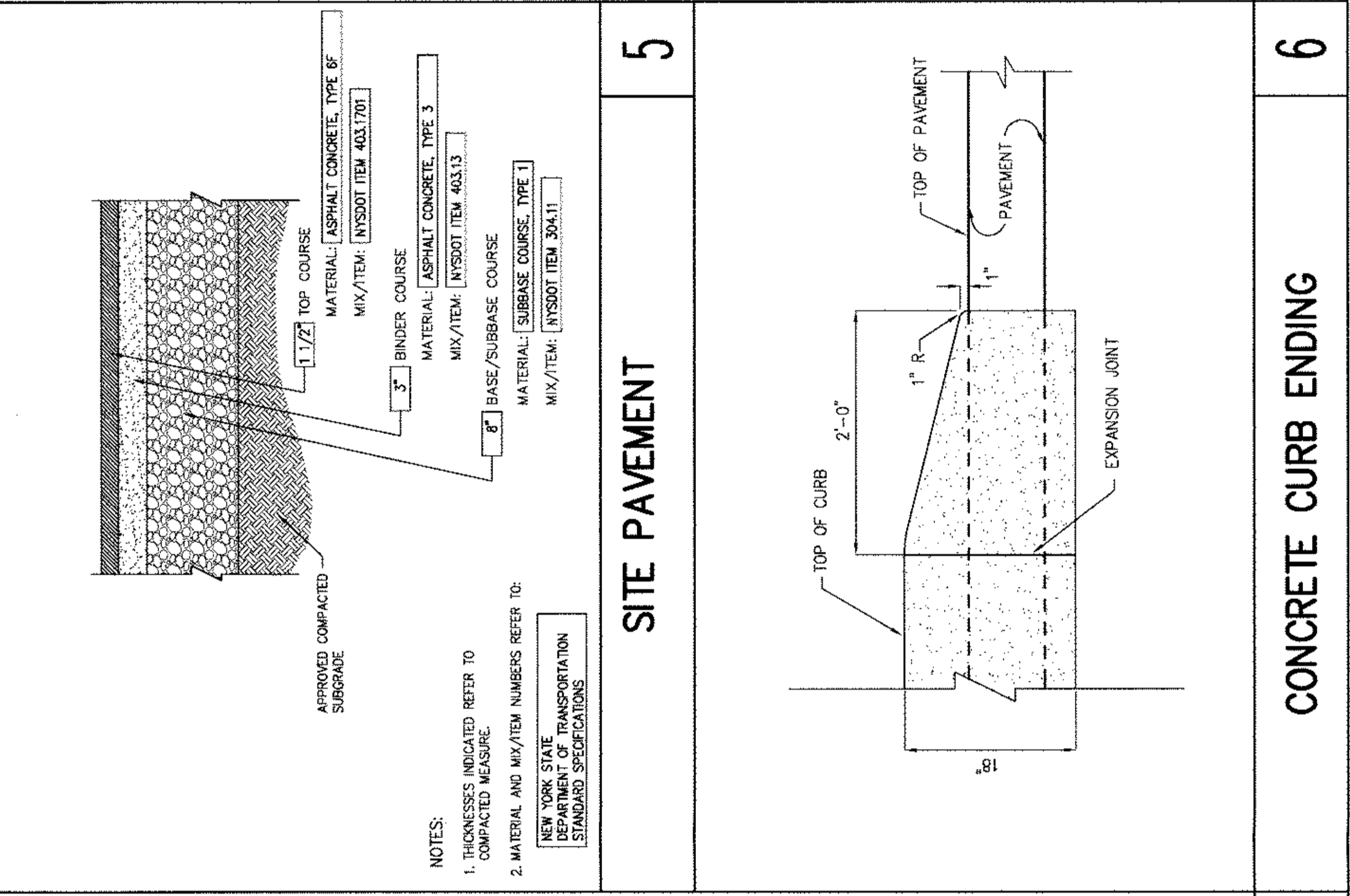
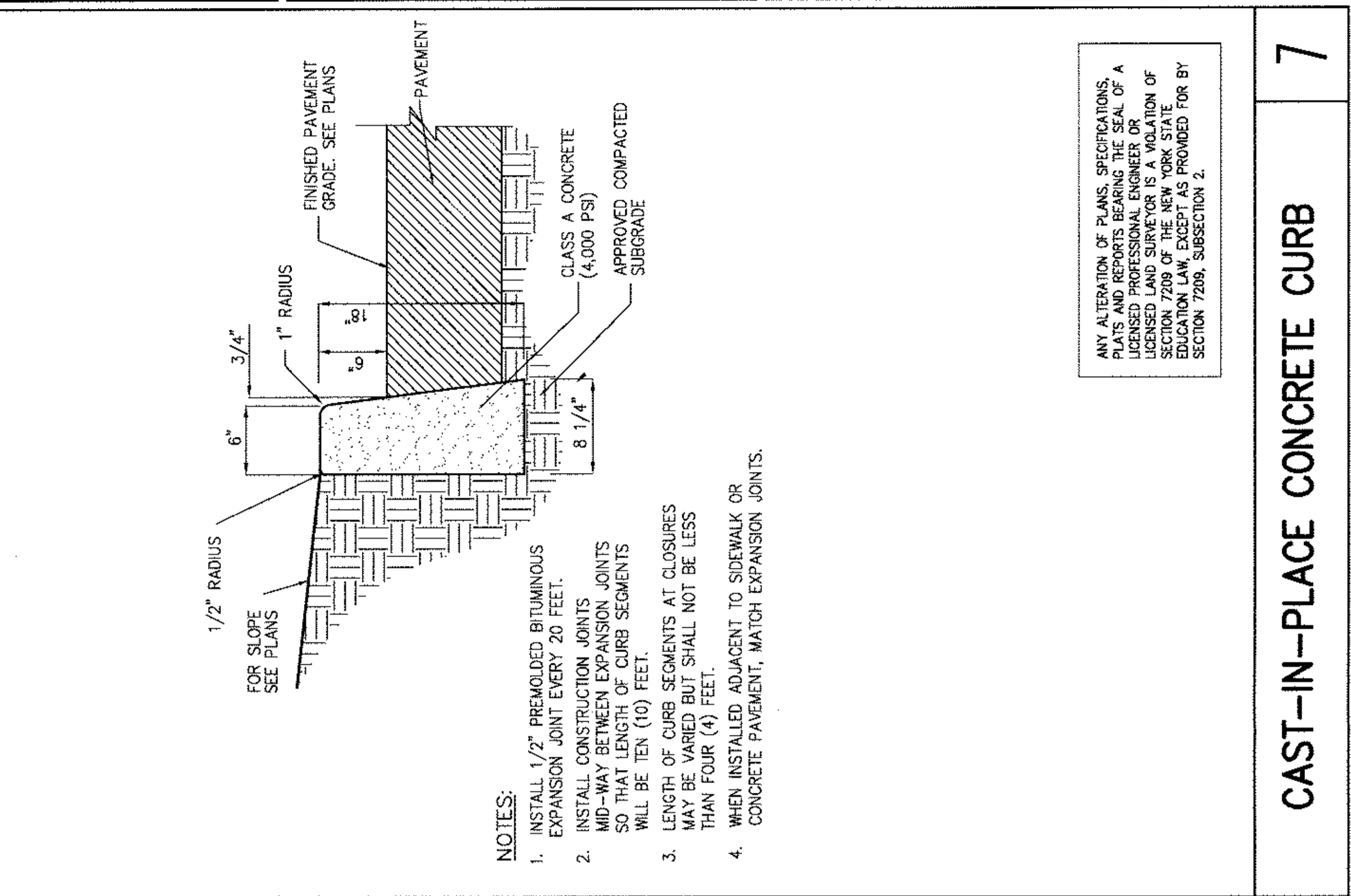
**2**  
**TEMPORARY SOIL STOCKPILE WITH SILT FENCE**



**1**  
**SILT FENCE**

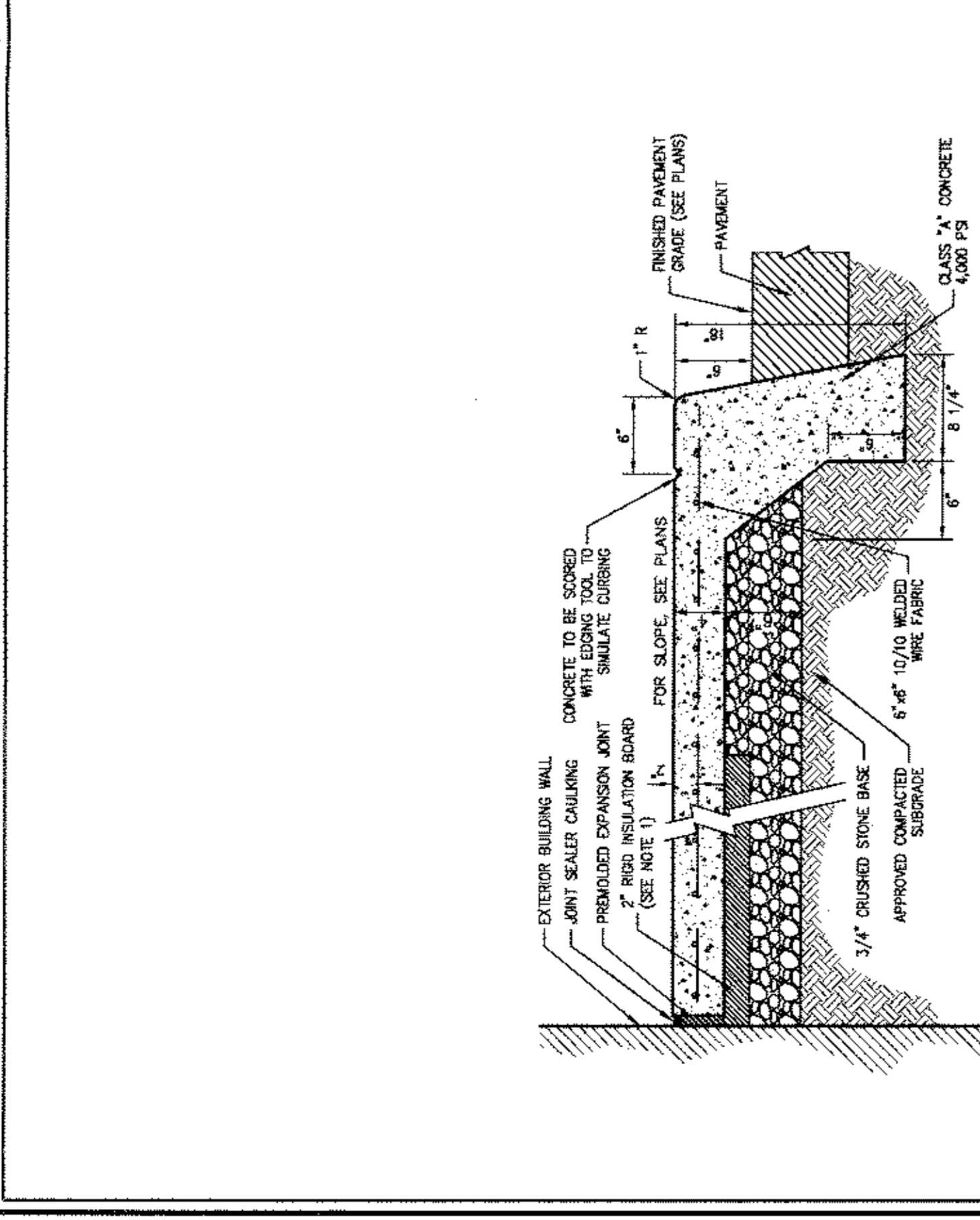


**4**  
**STONE & BLOCK DRAIN INLET PROTECTION**



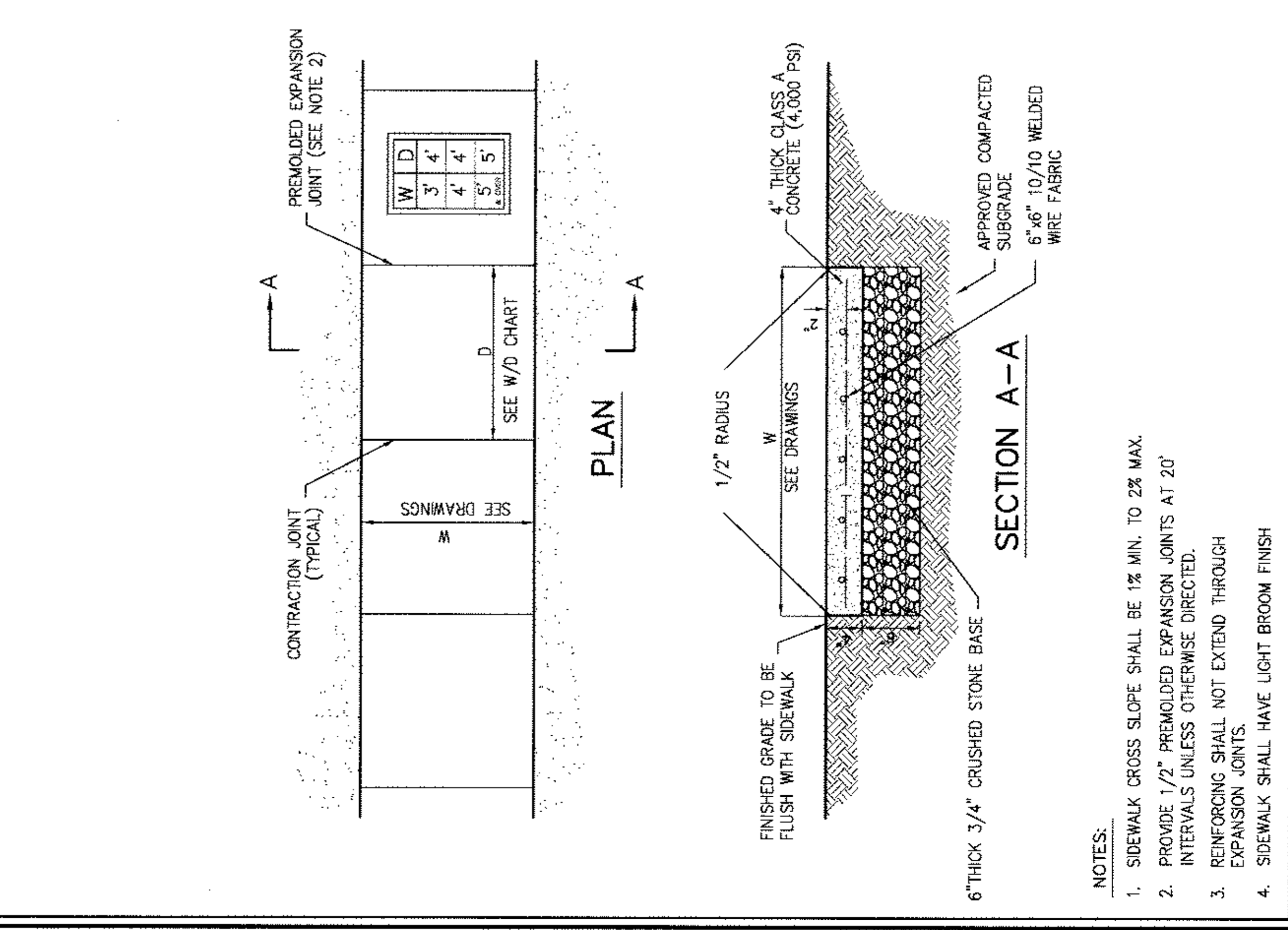
**5**  
**CONCRETE CURB ENDING**

**SP-7**



- NOTES:**
1. PROVIDE 2" RIGID INSULATION BOARD AT ALL DOORWAY OPENINGS AND EXTEND 8" MIN. IN ALL DIRECTIONS OR TO EXISTING FINISH SURFACE.
  2. JOINT SEALER CALLING SHALL BE SCALED AS-1. ONE PART EXPANSION BY GROUTING OF APPROVED EQUAL WEIGHT RATIO.
  3. PROVIDE JOINT SEALER & PREMOULDED EXPANSION JOINTS AT ALL BUILDING WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.).
  4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.
  5. SIDEWALK CROSS SLOPE SHALL BE 1/4" IN. TO 2% MAX.
  6. FOR SIDEWALK WITH SEE PLAN, SIDEWALK SHALL HAVE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.

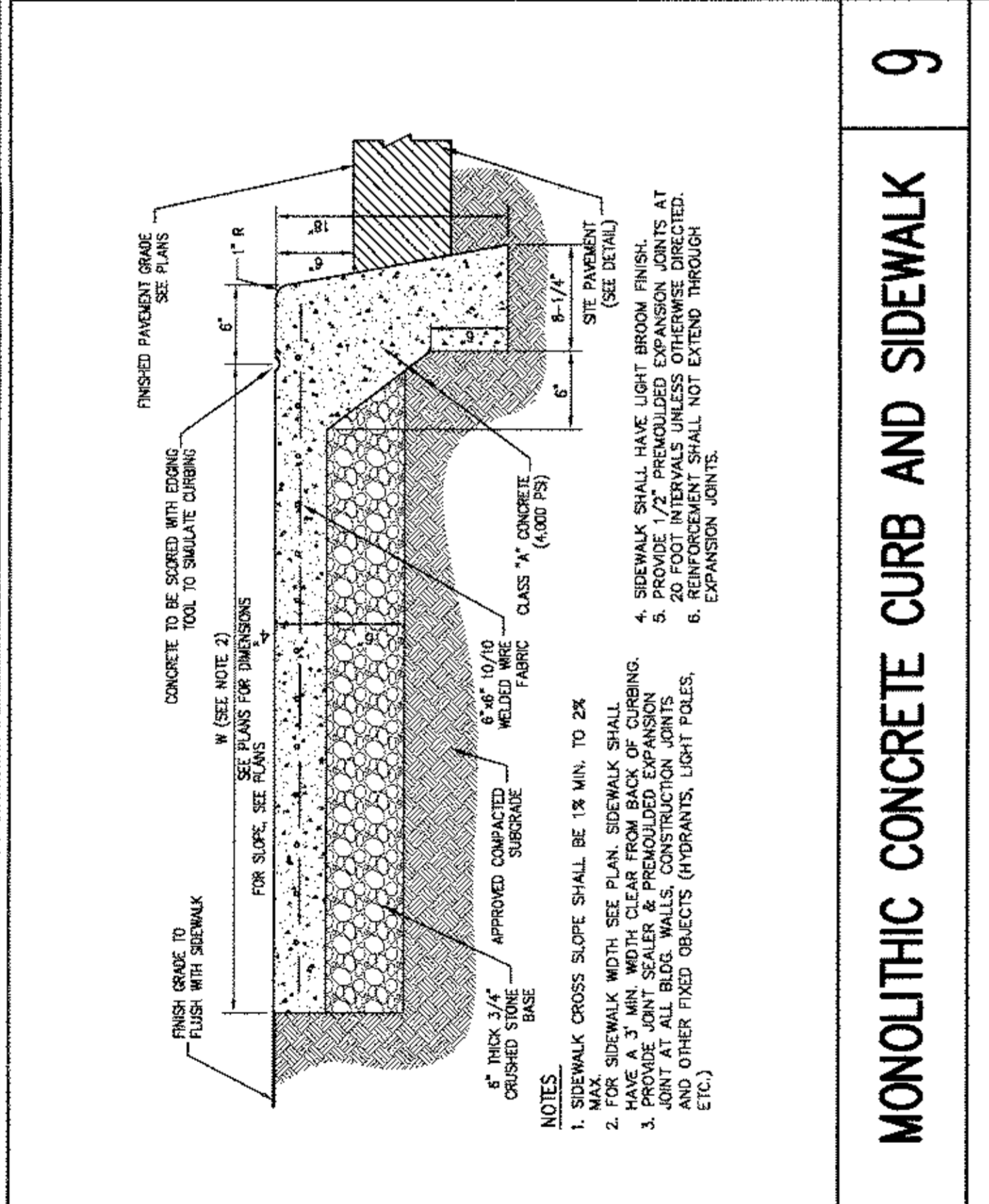
**BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK**



- NOTES:**
1. SIDEWALK CROSS SLOPE SHALL BE 1/4" IN. TO 2% MAX.
  2. PROVIDE 1/2" PREMOULDED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
  3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
  4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.

**CONCRETE SIDEWALK**

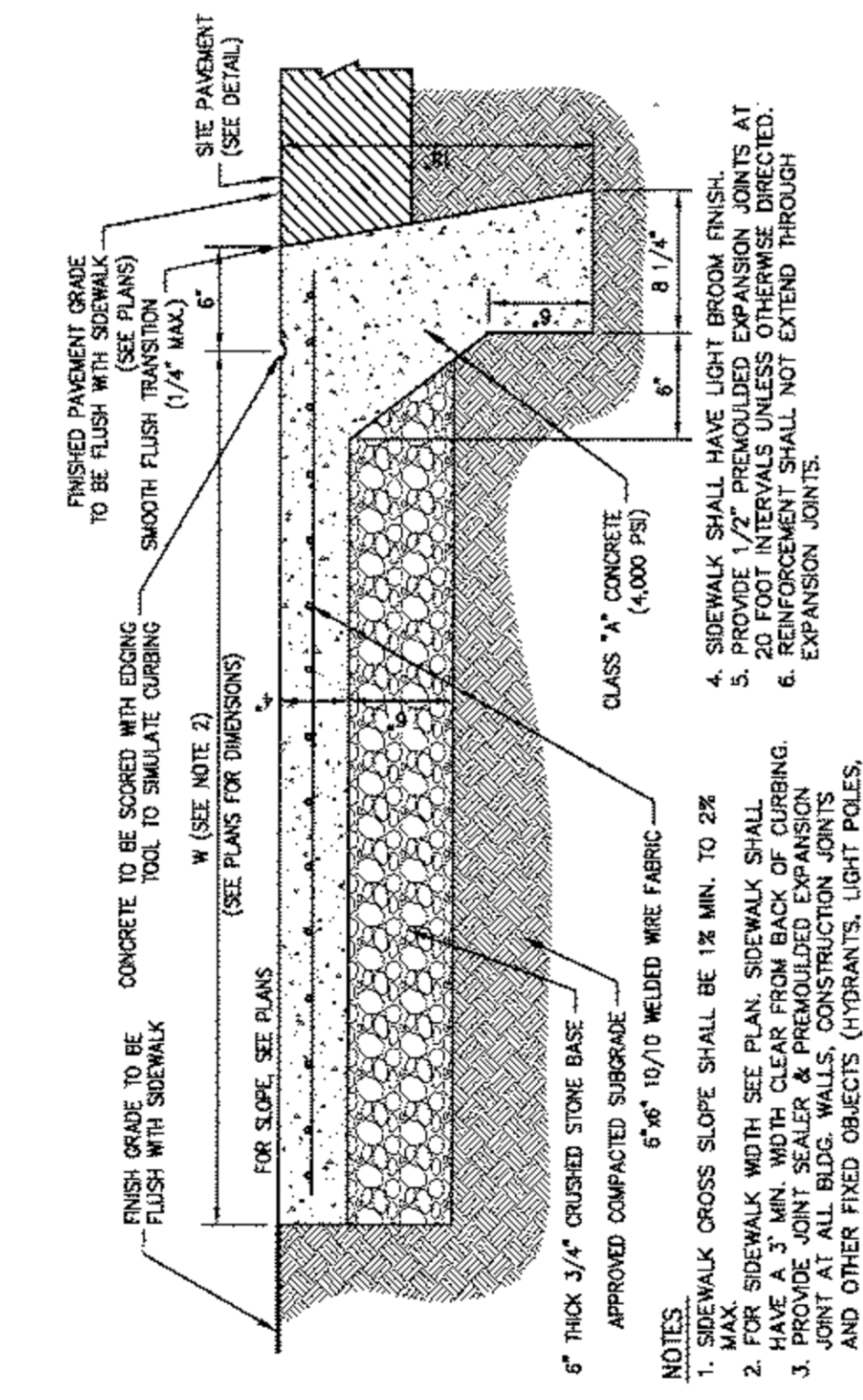
13



**MONOLITHIC CONCRETE CURB AND SIDEWALK**

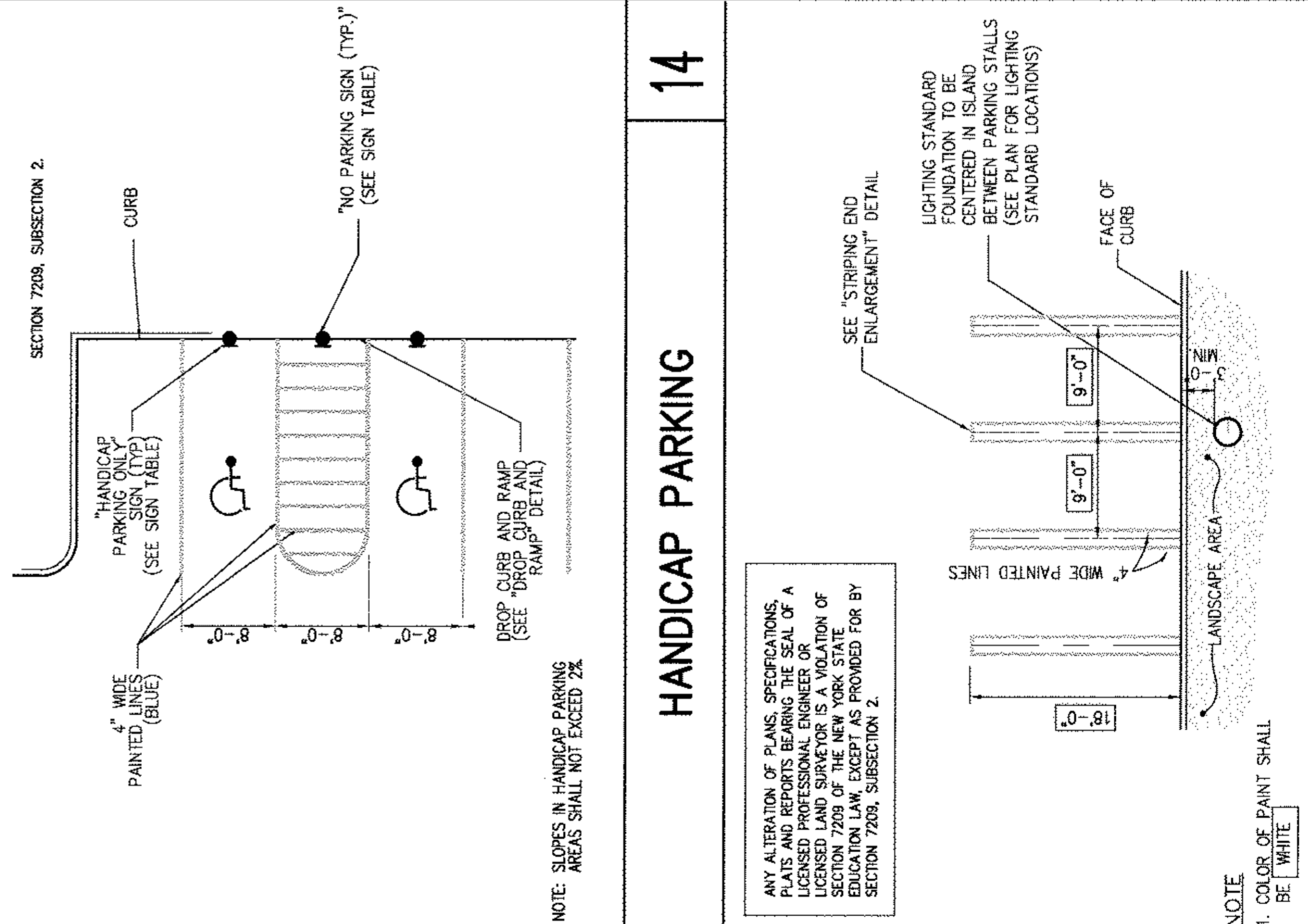
- NOTES:**
1. SIDEWALK CROSS SLOPE SHALL BE 1/4" IN. TO 2% MAX.
  2. FOR SIDEWALK WITH SEE PLAN, SIDEWALK SHALL HAVE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.
  3. PROVIDE JOINT SEALER & PREMOULDED EXPANSION JOINTS AT ALL BUILDING WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.).
  4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.
  5. SIDEWALK CROSS SLOPE SHALL BE 1/4" IN. TO 2% MAX.
  6. FOR SIDEWALK WITH SEE PLAN, SIDEWALK SHALL HAVE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.

**MONOLITHIC CONCRETE FLUSH CURB AND SIDEWALK**



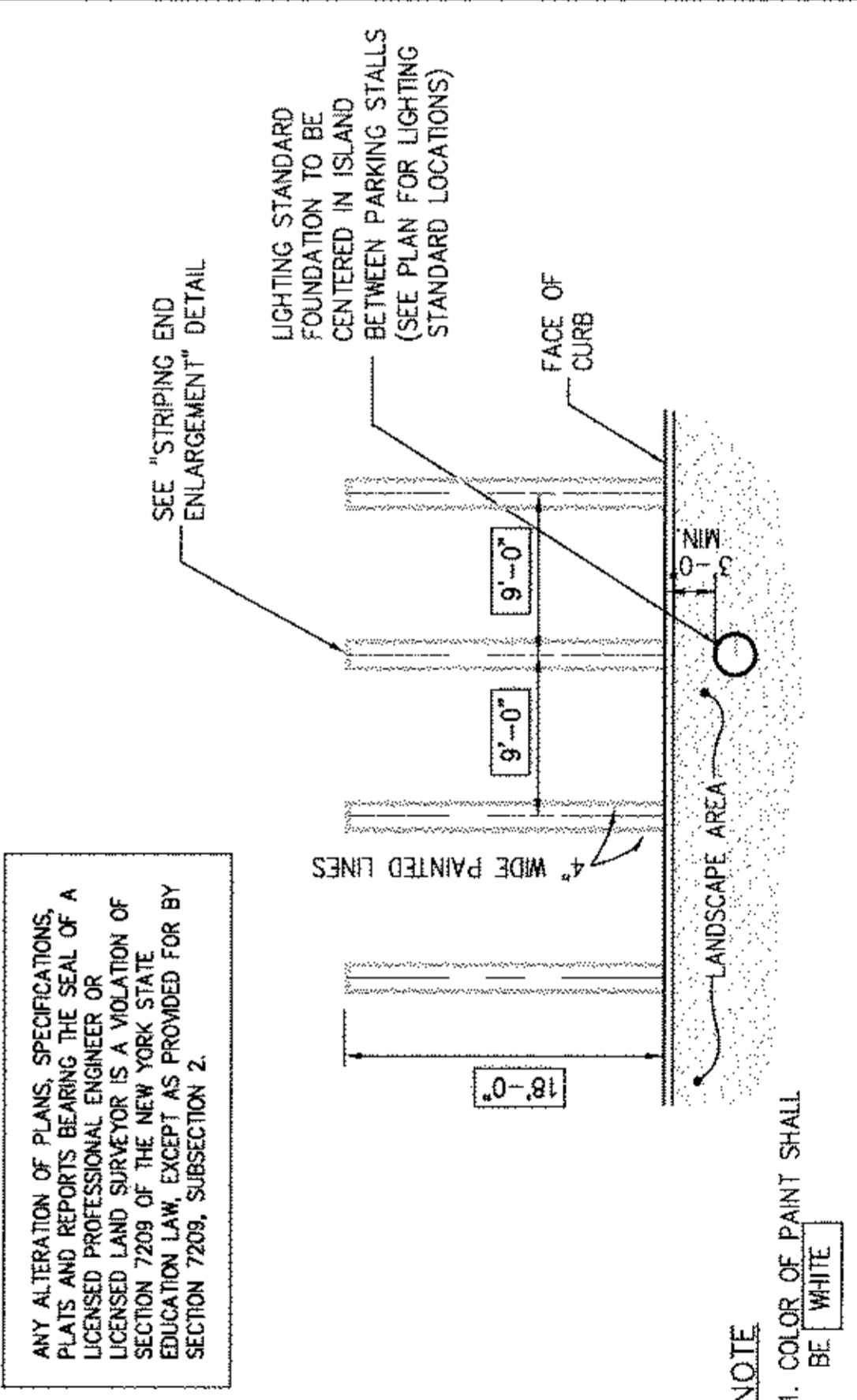
- NOTES:**
1. SIDEWALK CROSS SLOPE SHALL BE 1/4" IN. TO 2% MAX.
  2. FOR SIDEWALK WITH SEE PLAN, SIDEWALK SHALL HAVE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.
  3. PROVIDE JOINT SEALER & PREMOULDED EXPANSION JOINTS AT ALL BUILDING WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.).
  4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.
  5. SIDEWALK CROSS SLOPE SHALL BE 1/4" IN. TO 2% MAX.
  6. FOR SIDEWALK WITH SEE PLAN, SIDEWALK SHALL HAVE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.

**MONOLITHIC CONCRETE FLUSH CURB AND SIDEWALK**



**NOTE:** SLOPES IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2%.

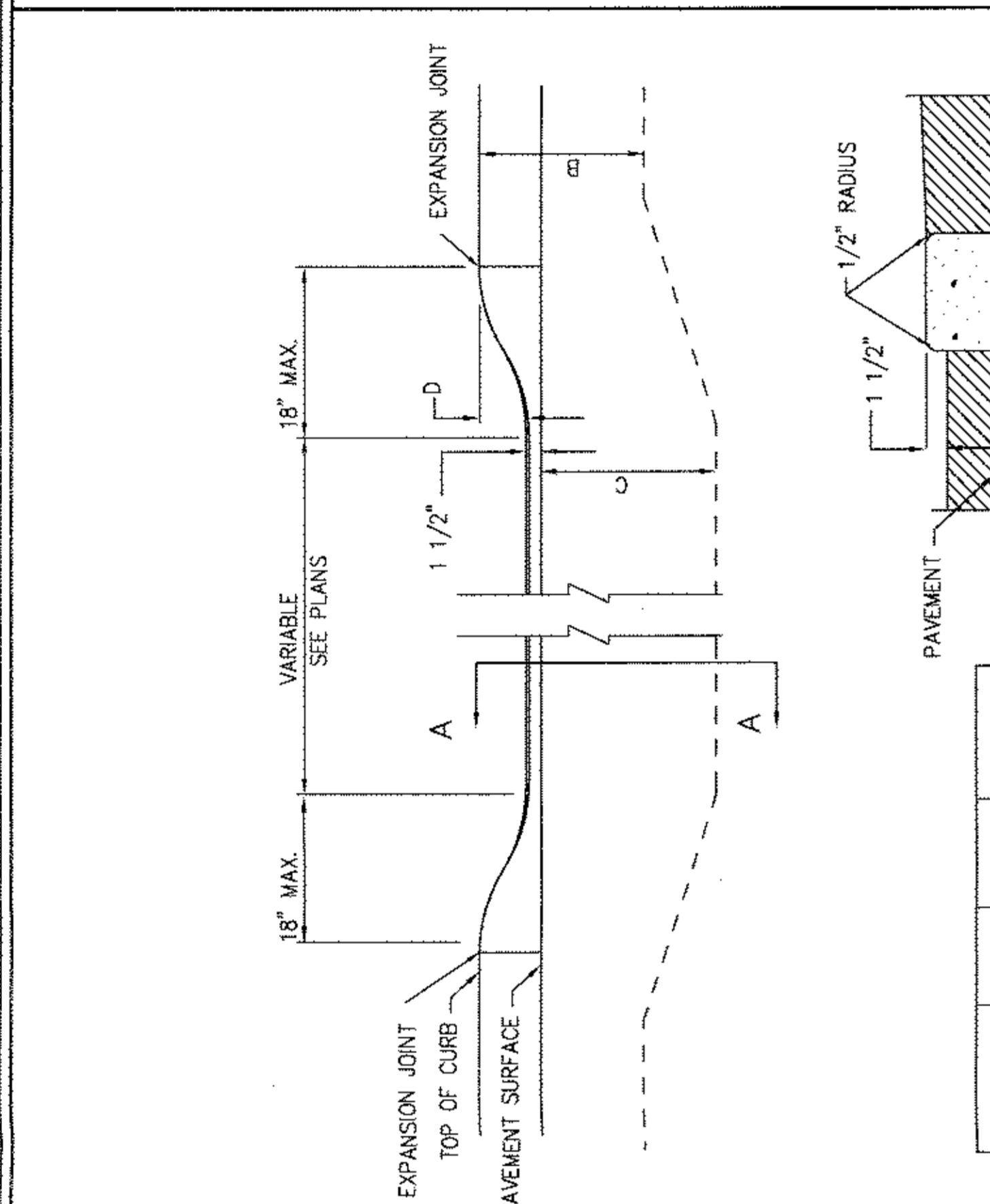
**HANDICAP PARKING**



**NOTE:** 1. COLOR OF PAINT SHALL BE WHITE.

**90° PARKING**

15

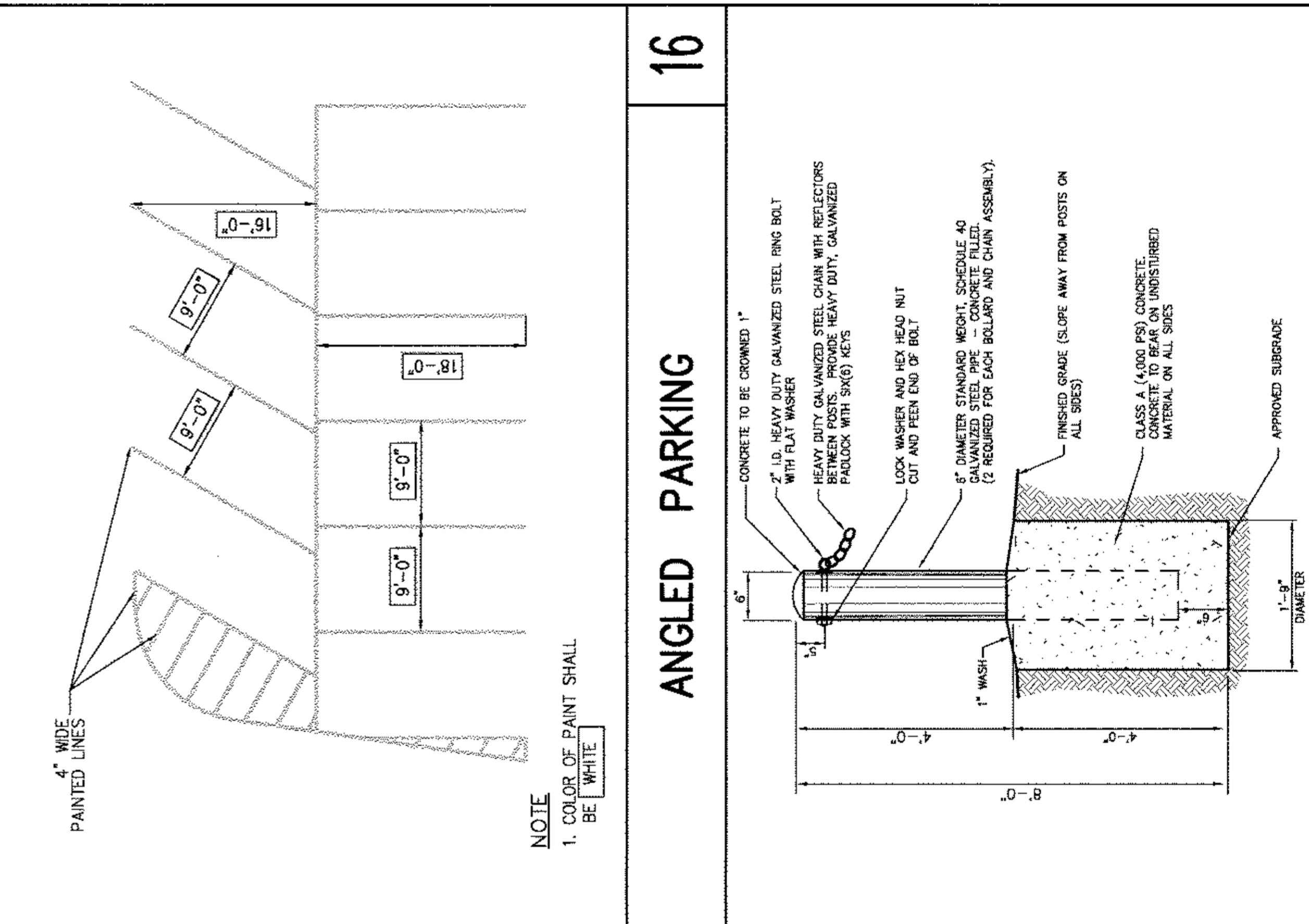


**METHOD OF DEPRESSING CURB AT DRIVEWAYS**

CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D
7' X 18"	18"	18"	16"	4 1/2"
9' X 20"	20"	20"	18"	4 1/2"
9' X 22"	22"	22"	20"	4 1/2"

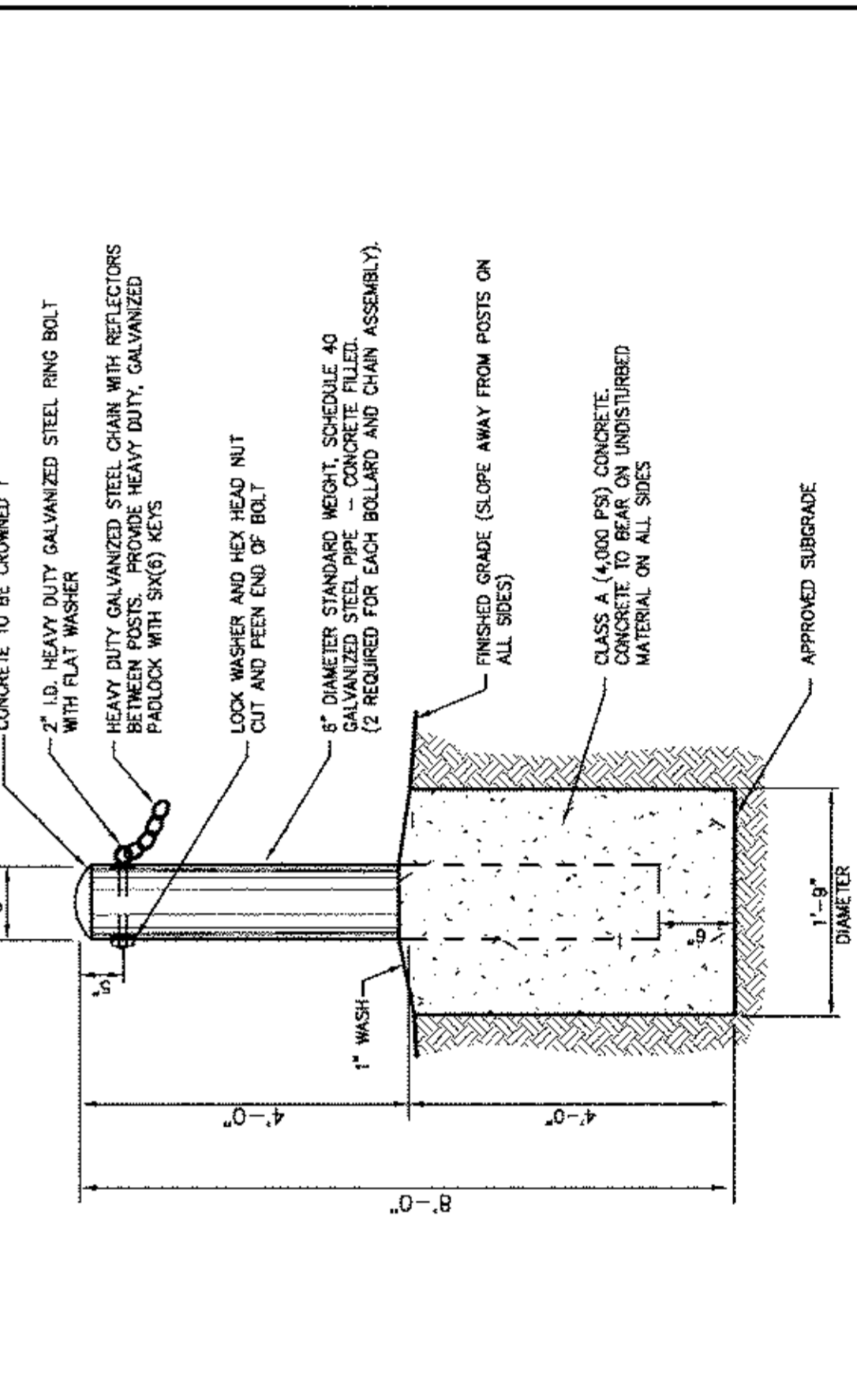
**METHOD OF DEPRESSING CURB AT DRIVEWAYS**

**DEPRESSED CONCRETE CURB**



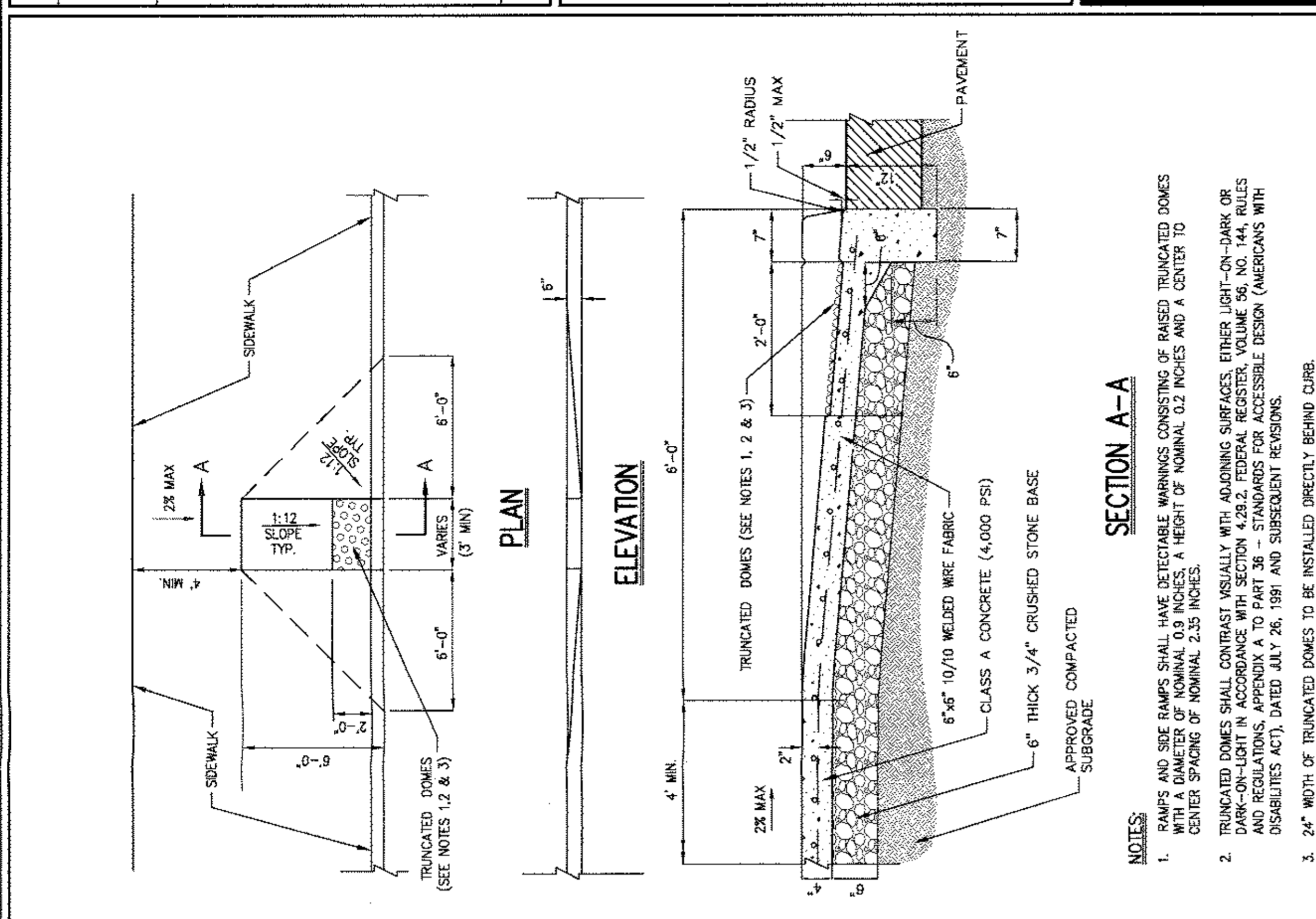
**NOTE:** 1. COLOR OF PAINT SHALL BE WHITE.

**ANGLED PARKING**



**BOLLARD & CHAIN ASSEMBLY (STEEL PIPE)**

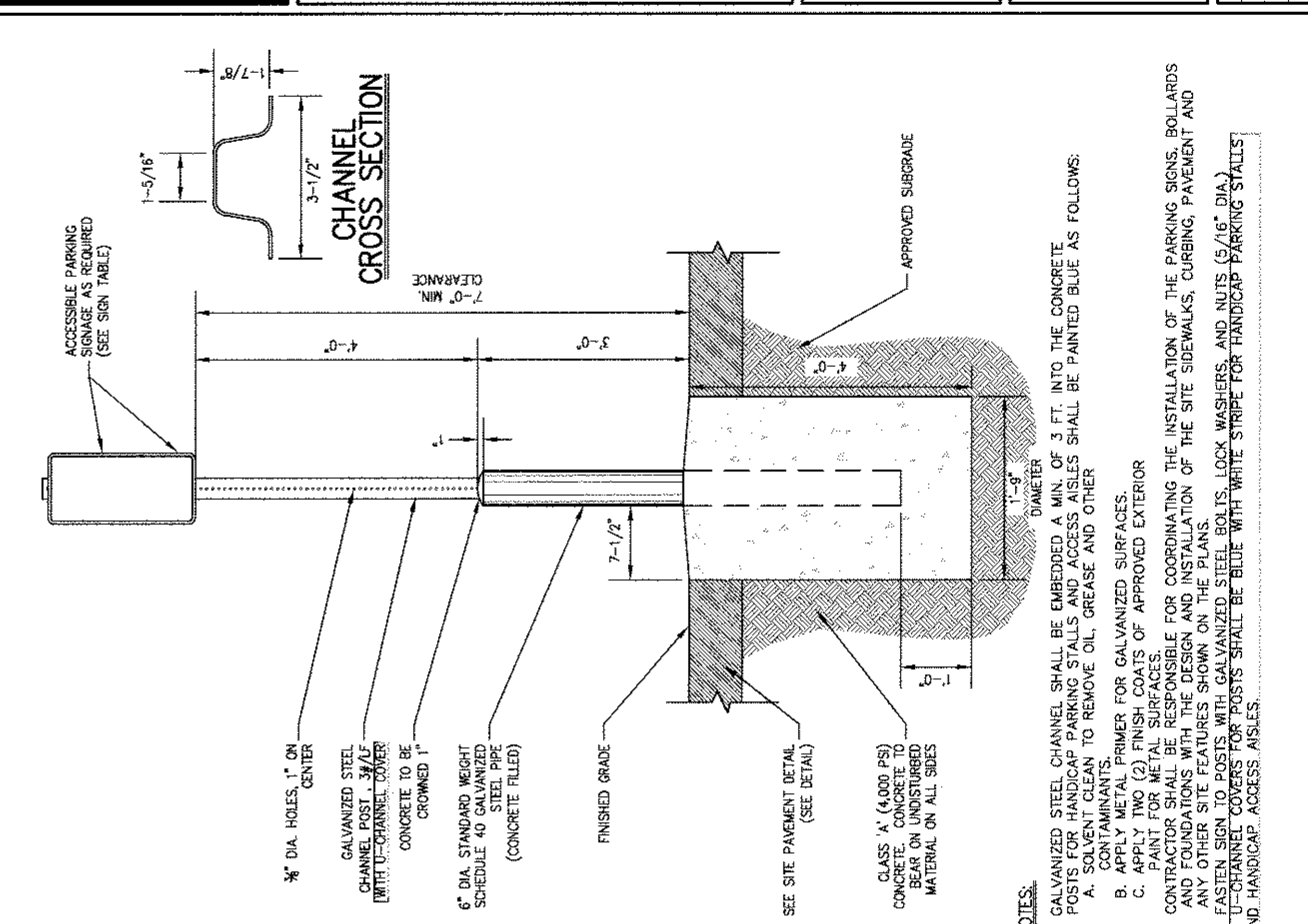
17



**SECTION A-A**

- NOTES:**
1. RAMP AND SIDE RAMP SHALL HAVE DEPRESSIBLE MARKINGS CONSISTING OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
  2. TRUNCATED DOMES SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.23.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 38, STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), DATED JULY 26, 1991 AND SUBSEQUENT REVISIONS.
  3. 24" WIDTH OF TRUNCATED DOMES TO BE INSTALLED DIRECTLY BEHIND CURB.

**DROP CURB & RAMP**



**NOTES:**

1. GALVANIZED STEEL CHANNEL SHALL BE EMBEDDED A MIN. OF 3 FT. INTO THE CONCRETE.
2. POSTS FOR HANDICAP PARKING STALLS AND ACCESS AISLES SHALL BE PAINTED BLUE AS FOLLOWS:
  - A. SOLVENT CLEAN TO REMOVE OIL GREASE AND OTHER CONTAMINANTS.
  - B. APPLY METAL PRIMER FOR GALVANIZED SURFACES.
  - C. APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT OR METAL SURFACES.
3. COORDINATE THE INSTALLATION OF THE PARKING SIGNS, BOLLARDS AND FOUNDATIONS WITH THE DESIGN AND INSTALLATION OF THE SIDEWALKS, CURBING, PAVEMENT AND ANY OTHER SITE FEATURES SHOWN ON THE PLANS.
4. FASTENERS AND POSTS SHALL BE GALVANIZED STEEL BOLTS, LOCK WASHERS AND NUTS 1/2" DIA. (SEE PLAN).
5. FASTENERS AND POSTS SHALL BE PAINTED BLUE WITH WHITE STRIPE FOR HANDICAP PARKING STALLS AND HANDICAP ACCESS AISLES.

**ACCESSIBLE PARKING SIGN DETAIL**

18

No.	Revision	Date	By

APPLICANT/OWNER:  
**HUDSON VALLEY AUTOMOTIVE ENTERPRISES, LLC**  
 4312 ALBANY POST ROAD  
 HYDE PARK, NY 12538

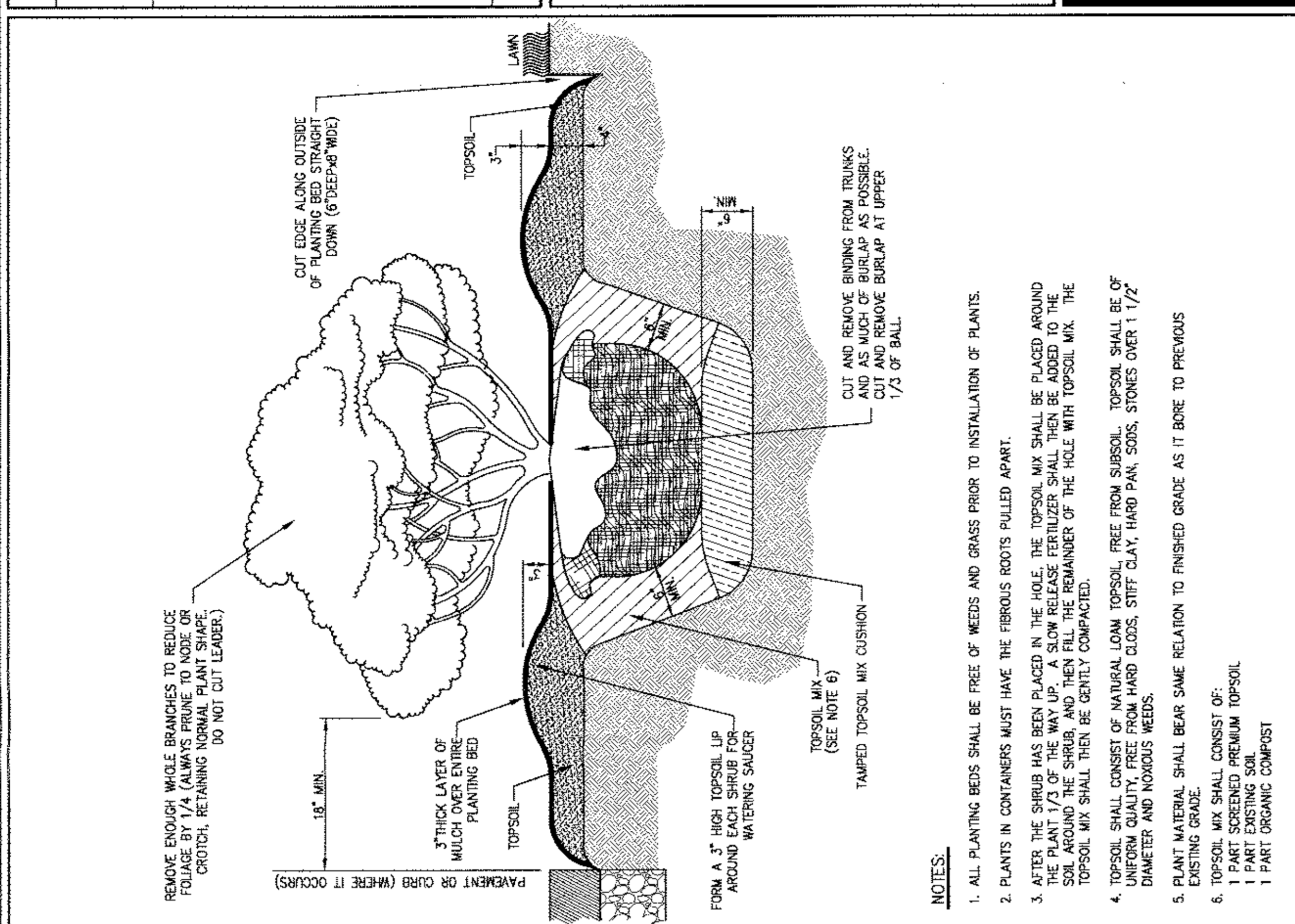
120 Bedford Road  
 Armonk, NY 10504  
 www.johmeyerconsulting.com  
 Voice 914.273.8225 - Fax 914.273.2102

**JMC**  
**JOHN MEYER CONSULTING, PC**

**CONSTRUCTION DETAILS**  
**HUDSON VALLEY CHRYSLER DODGE JEEP RAM**  
 200 AUTO PARK PLACE  
 NEWBURGH, NEW YORK

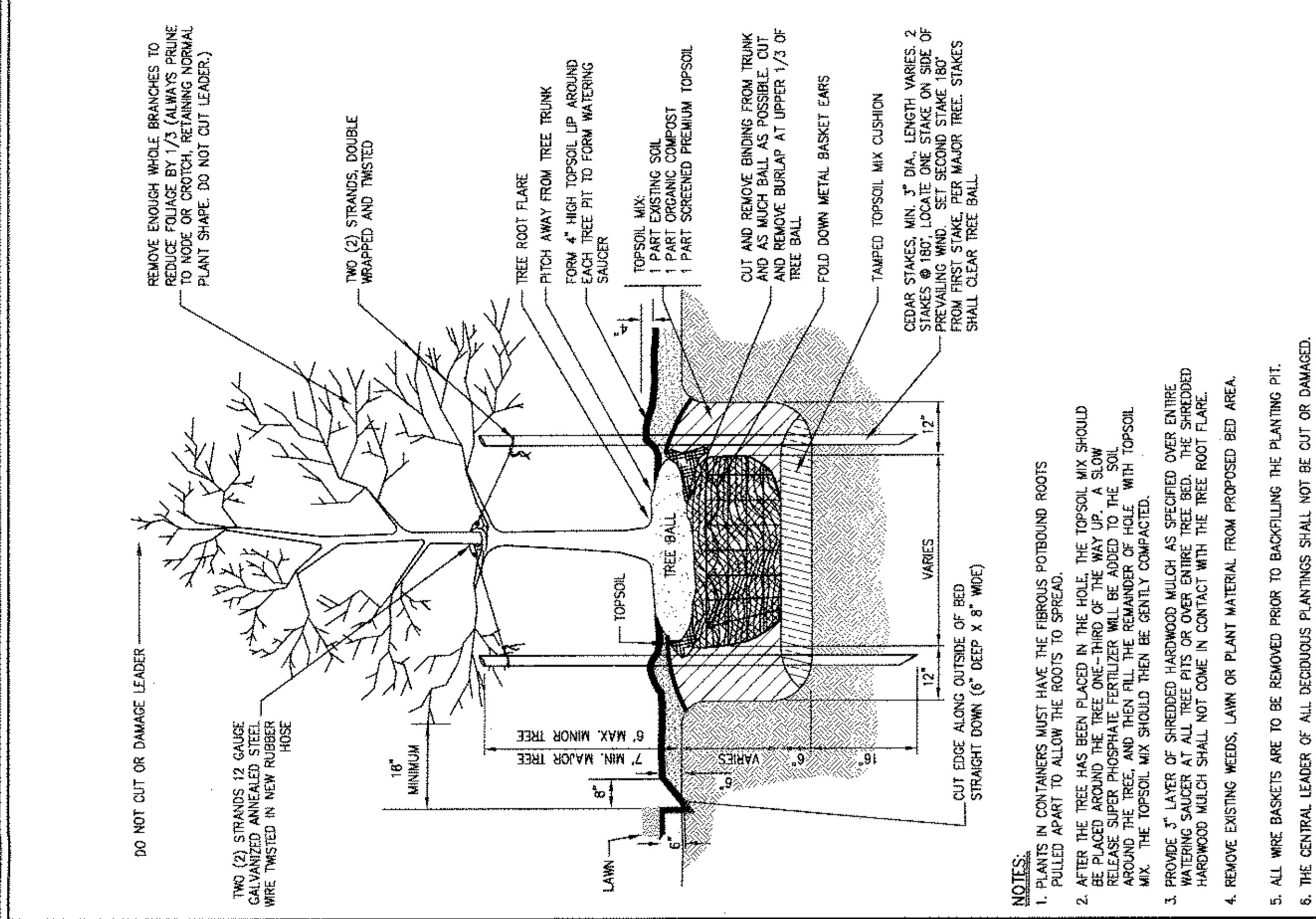
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND NOTES WITHOUT THE WRITTEN APPROVAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209 SUBSECTION 2.

Drawn	AL	Approved	JS/RB
Scale	NOT TO SCALE	Date	12/22/2014
Project No.	14122	Sheet No.	SP-9
Quantity	1	Sheet	24



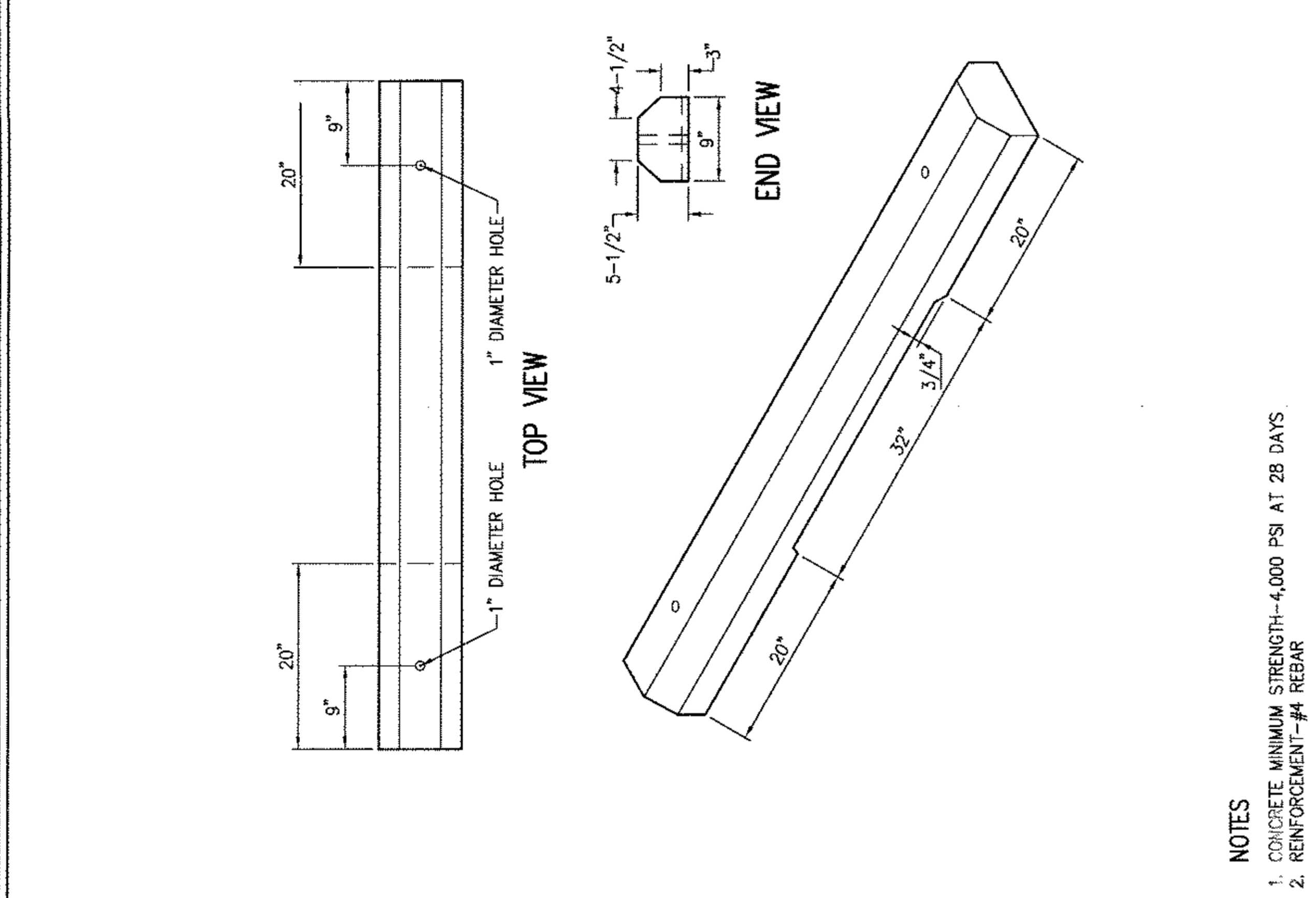
**22 SHRUB PLANTING**

- NOTES:**
- ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO INSTALLATION OF PLANTS.
  - PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
  - AFTER THE SHRUB HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHALL BE PLACED AROUND THE SHRUB, AND THEN FILL THE REMAINDER OF THE HOLE WITH TOPSOIL MIX. THE TOPSOIL MIX SHALL BE GENTLY COMPACTED.
  - TOPSOIL SHALL CONSIST OF NATURAL LOAM TOPSOIL, FREE FROM SUBSOL, FREE FROM STONES OVER 1 1/2" DIAMETER AND NOODS WEEDS.
  - PLANT MATERIAL SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
  - TOPSOIL MIX SHALL CONSIST OF:  
 1 PART EXISTING SOIL  
 1 PART ORGANIC COMPOST



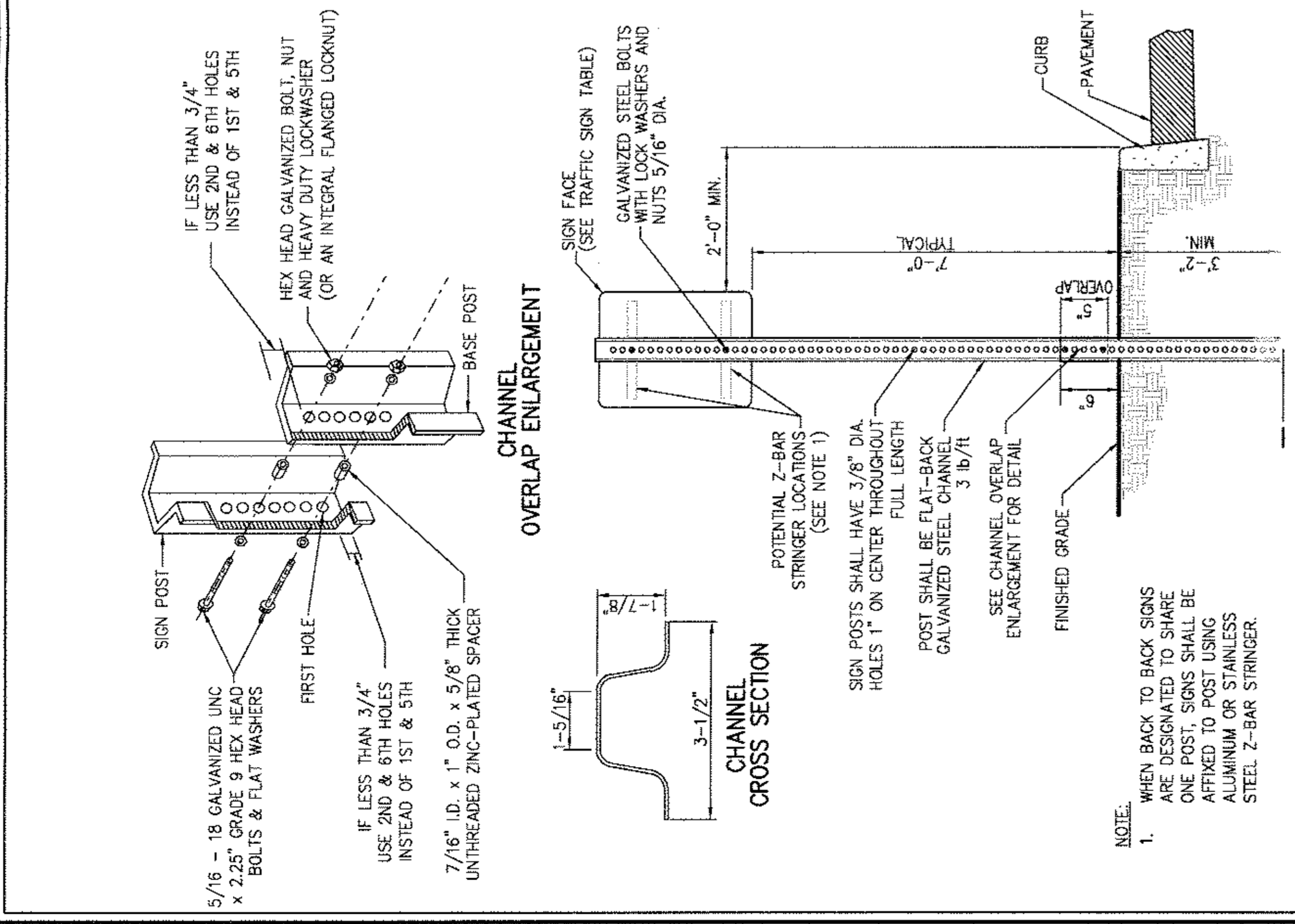
**21 DECIDUOUS TREE PLANTING**

- NOTES:**
- PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS TO SPREAD.
  - AFTER THE TREE HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHOULD BE PLACED AROUND THE TREE, AND THEN FILL THE REMAINDER OF THE HOLE WITH TOPSOIL MIX. THE TOPSOIL MIX SHOULD THEN BE GENTLY COMPACTED.
  - PROVIDE A LAYER OF SHREDED HARDWOOD MULCH AS SPECIFIED OVER ENTIRE SURFACE OF MULCH. MULCH SHALL NOT COME IN CONTACT WITH THE TREE ROOT FLARE.
  - REMOVE EXISTING WEEDS, LAWN OR PLANT MATERIAL FROM PROPOSED BED AREA.
  - ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.
  - THE CENTRAL LEADER OF ALL DECIDUOUS PLANTINGS SHALL NOT BE CUT OR DAMAGED.



**20 CONCRETE BUMPER BLOCK**

- NOTES:**
- CONCRETE MINIMUM STRENGTH=4,000 PSI AT 28 DAYS
  - REINFORCEMENT=#4 REBAR



**19 TRAFFIC SIGN POST (BREAKAWAY STEEL CHANNEL)**

- NOTE:**
- WHEN BACK TO BACK SIGNS ARE DESIGNATED TO SHARE ONE POST, SIGNS SHALL BE AFFIXED TO POST USING ALUMINUM OR STAINLESS STEEL Z-BAR STRINGER.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209 SUBSECTION 2.