



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)
PATRICK J. HINES
LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA)

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: 182 SOUTH PLANK ROAD- AMENDED SITE PLAN
PROJECT NO.: 19-08
PROJECT LOCATION: SECTION 64, BLOCK 2 LOT 8.21
REVIEW DATE: 1 MARCH 2019
MEETING DATE: 7 MARCH 2019
PROJECT REPRESENTATIVE: MASER CONSULTING

1. The project was previously before the Board for approval of a 3,000 square foot eating and drinking establishment with 20 parking spaces. This approval was granted on 14 October 2010. Construction began on the site however has not been completed.
2. The original proposed structure was a one story deli type use, the current proposal is for a two story office building use.
3. The As-Built construction identifies that the building does not comply with previously granted variances. The variance for Route 32 front yard setback was granted for 15.5 feet where 60 was required. The structure has been constructed at 14.1 feet, a difference of 1.4 feet. The Old South Plank Road front yard setback a variance was granted for 27.7 feet where 40 feet is required. The As Built condition identifies the building at 25.5, a difference of 0.2 feet.
4. A review of the site identifies numerous proposed free standing signs. Signs must be located 15 feet off the property line, variance may be required for signage. Compliance with updated signing ordinances will be required at Building Permit.
5. Coordination with NYSDOT and County Planning referral is required.
6. Revised architectural review must be undertaken for the proposed two story structure.

7. A review of additional site details will be undertaken once project returns from the ZBA.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal
PJH/kbw

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** 2019-08
(Application fee returnable with this application)

1. **Title of Subdivision/Site Plan (Project name):**
182 South Plank Road

2. **Owner of Lands to be reviewed:**

Name	<u>Hudson Place Office, LLC</u>
Address	<u>P.O. Box 14, 2317 Main Street</u> <u>Bridgehampton, NY 11931</u>
Phone	<u>(631) 766-0023</u>

3. **Applicant Information (If different than owner):**

Name	<u>Farrell Building Company</u>
Address	<u>P.O. Box 14, 2317 Main Street</u> <u>Bridgehampton, NY 11931</u>
Representative	<u>Stephen Zagoren</u>
Phone	<u>(631) 766-0023</u>
Fax	<u>N/A</u>
Email	<u>zags1413@gmail.com</u>

4. **Subdivision/Site Plan prepared by:**

Name	<u>Maser Consulting, P.A.</u>
Address	<u>555 Hudson Valley Avenue, Suite 101</u> <u>New Windsor, NY 12553</u>
Phone/Fax	<u>(845) 564-4495</u>

5. **Location of lands to be reviewed:**
182 South Plank Road, Newburgh, NY 12550

6. **Zone** B **Fire District** Orange Lake
Acreage ±0.65 **School District** Newburgh

7. **Tax Map: Section** 64 **Block** 2 **Lot** 8.21

TOWN OF NEWBURGH PLANNING BOARD

182 South Plank Road

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

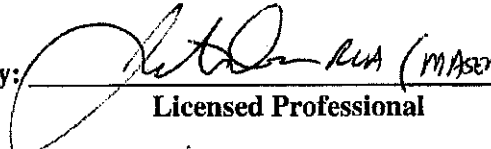
1. X Environmental Assessment Form As Required
2. X Proxy Statement
3. X Application Fees
4. X Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. X Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33. N/A Estimated or known cubic yards of material to be excavated and removed from the site
34. N/A Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
-
37. X Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
The eastern corner of the parking area (± 210 sq. ft.) and associated grading will fill the 100-year floodplain approximately ± 430 cubic feet or ± 16 cubic yards.
38. N/A List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:  R.A. MASER CONSULTING P.A.)
 Licensed Professional

Date: 2/28/19

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Joseph G. Farrell Jr
APPLICANT'S NAME (printed)


APPLICANTS SIGNATURE

2/19/2018
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

2/19/2018
DATED

Joseph G. Farrell Jr.
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

Short Environmental Assessment Form

Part 1 - Project Information

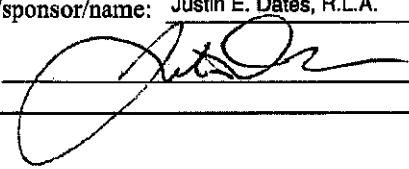
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

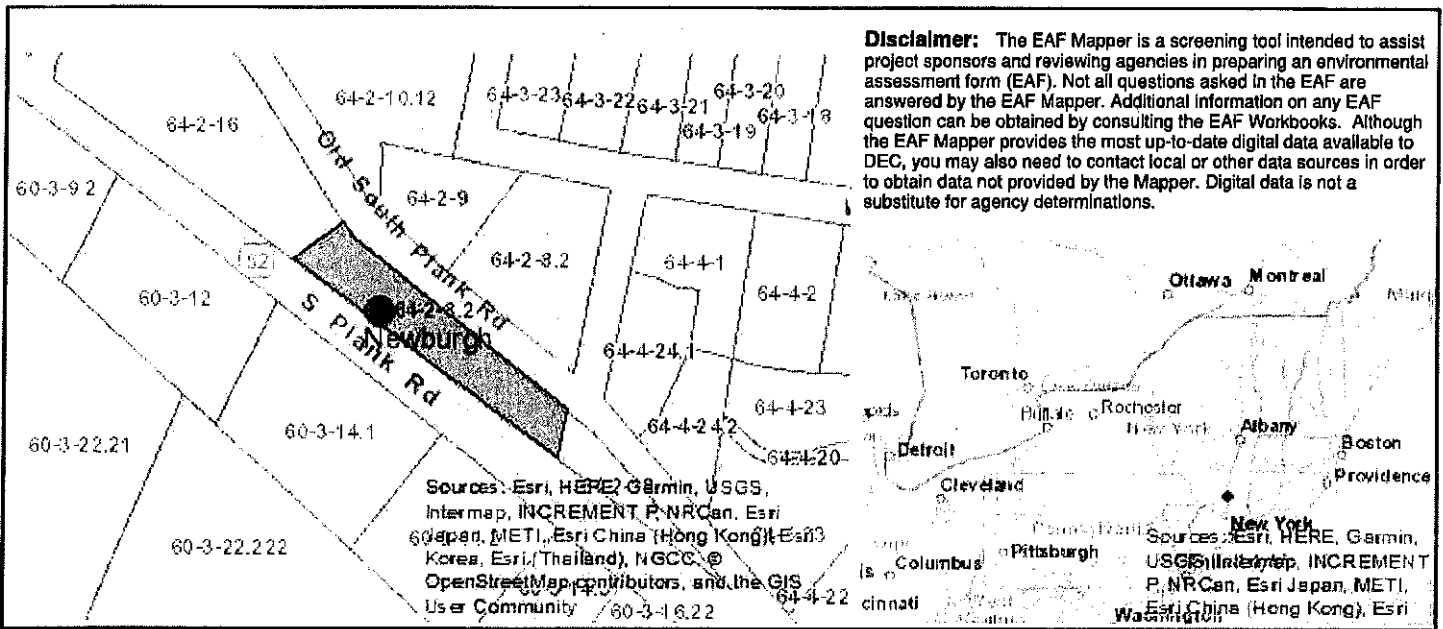
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project: 182 South Plank Road				
Project Location (describe, and attach a location map): 182 South Plank Road - north of South Plank Road (NYS Route-52) approx. 800' east of the intersection of NY-52 & NY-300				
Brief Description of Proposed Action: See attached narrative.				
Name of Applicant or Sponsor: Farrell Building Company (attn. Stephen Zagoren)		Telephone: (613) 766-0023 E-Mail: zags1413@gmail.com		
Address: P.O. Box 14, 2137 Main Street				
City/PO: Birdgehampton		State: NY	Zip Code: 11931	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <small>Town of Newburgh Planning Board-Amended Site Plan Approval; Town of Newburgh ZBA-Area Variances; Orange Co. Planning-GML 239 Referral; Town of Newburgh Highway Department-Driveway Permit; NYSDOT-Highway Permit</small>			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		±0.65 acres		
b. Total acreage to be physically disturbed?		±0.56 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		±0.65 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: The project will meet all applicable NYS energy code requirements.	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:										
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban										
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Indiana Bat	(The site plan does not propose any tree removal.)	<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
NO	YES									
<input type="checkbox"/>	<input checked="" type="checkbox"/>									
16. Is the project site located in the 100-year flood plan?		<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
NO	YES									
<input type="checkbox"/>	<input checked="" type="checkbox"/>									
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>a. Will storm water discharges flow to adjacent properties?</td> <td><input checked="" type="checkbox"/> <input type="checkbox"/></td> </tr> <tr> <td>b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?</td> <td><input type="checkbox"/> <input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/> <input type="checkbox"/>	b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/> <input checked="" type="checkbox"/>
NO	YES									
<input type="checkbox"/>	<input checked="" type="checkbox"/>									
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/> <input type="checkbox"/>									
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/> <input checked="" type="checkbox"/>									
If Yes, briefly describe: A portion of the southwest side of the site sheet flows to a roadside swale on the north side of NYS Route 52 and discharges to the Town's roadside drainage system. The majority of the site sheet flows to a proposed swale on the northeast side of the property which leads to a hydrodynamic separator unit and a subsurface infiltration chamber from which the overflow discharges to the Town's drainage system just outside the eastern corner of the property.										
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:		<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
NO	YES									
<input checked="" type="checkbox"/>	<input type="checkbox"/>									
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:		<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
NO	YES									
<input checked="" type="checkbox"/>	<input type="checkbox"/>									
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:		<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
NO	YES									
<input checked="" type="checkbox"/>	<input type="checkbox"/>									
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: <u>Justin E. Dates, R.L.A.</u> Date: <u>2/27/19</u></p> <p>Signature:  Title: <u>ASSOCIATE, MADSEN CONSULTING</u></p>										

PRINT FORM



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

555 Hudson Valley Avenue, Suite 101
New Windsor, NY 12553-4749
T: 845.564.4495
F: 845.567.1025
www.maserconsulting.com

**182 SOUTH PLANK ROAD (PB# 2019-8)
NARRATIVE SUMMARY
FEBRUARY 27, 2019**

**FARRELL BUILDING COMPANY
TAX LOT 64-2-8.21
TOWN OF NEWBURGH, ORANGE COUNTY, NY
MC PROJECT NO. 06001329B**

Maser Consulting, P.A. has developed the attached Amended Site Plan for the above referenced tax lot which is a ± 0.65 -acre lot located on the north side of NYS Route 52, approximately 800 feet east of NYS Route 300. This parcel received site plan approval from the Town of Newburgh Planning Board on June 14, 2010 (PB# 2007-28) for a 3,000 sq. ft. eating and drinking establishment with a 20-space parking area, access to Old South Plank Road & NYS Route 52, among other pertinent site improvements. The construction of the approved project was started by the prior owner but stopped. The current site was cleared, a substantially completed building currently exists, and the site was rough graded.

Farrell Building Company is now the owner of the site and is the applicant which is seeking to change the use of the building from the previously approved eating and drinking establishment to an office use building. The site is in the Town's B (Business) zoning district and an office facility is a permitted use subject to site plan review by the Planning Board.

The site plan and design remain largely unchanged relative to the previously approved plans, however there are minor changes to the site plan. They are as follows:

- 1- Minor adjustments to the grading have been made to meet the as-built finished floor elevation of the building;
- 2- A sidewalk has been added to the southern side of the building for new entrances to the building (see attached architectural plans);
- 3- The bulk table has been updated to reflect the as-built building coverage and the added surface coverage from the new sidewalk (+507 sq. ft.).
- 4- The building is proposed to have two (2) floors (prior building was approved as 1-story) with a total usable floor space of 3,890 sq. ft. and requires 20 parking spaces, which is the same total parking as the previously approved establishment.

The amended site plans include a revised layout plan and a revised grading plan reflecting the changes outlined above, with references to the previously approved plan set for the construction details, landscaping, lighting, and erosion & sediment control plans.

The updated survey for the project site has also identified that the as-built location of the building does not comply with the front yard setbacks established under the prior approval. Based on the linear, narrow nature of the parcel the development of the site is not feasible with the front yard setbacks in the B (Business) zoning district. The required front yard setback for along NYS Route 52 is 60 feet,



182 South Plank Road
February 27, 2019
MC Project No. 06001329B
Page 2 of 2

while along Old South Plank Road is 40 feet. The existing building currently has a minimum setback of 14.1 feet along NYS Route 52 and 20.5 feet along Old South Plank Road. A previous variance from the minimum lot depth (125 feet required, 71 feet provided) was also granted by the Zoning Board of Appeals (ZBA). These area variances will be required for the amended site plans.

We request to be added to the next available Planning Board Agenda for further discussion of the project and referral to the ZBA.

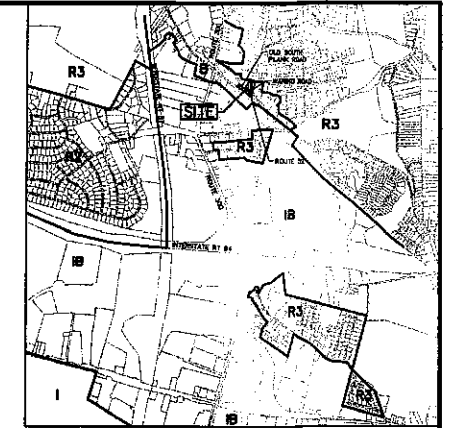
JED/cdr

R:\Projects\2006\06001329B - 182 South Plank Road\Correspondence\OUT\190227_Narrative Summary.docx

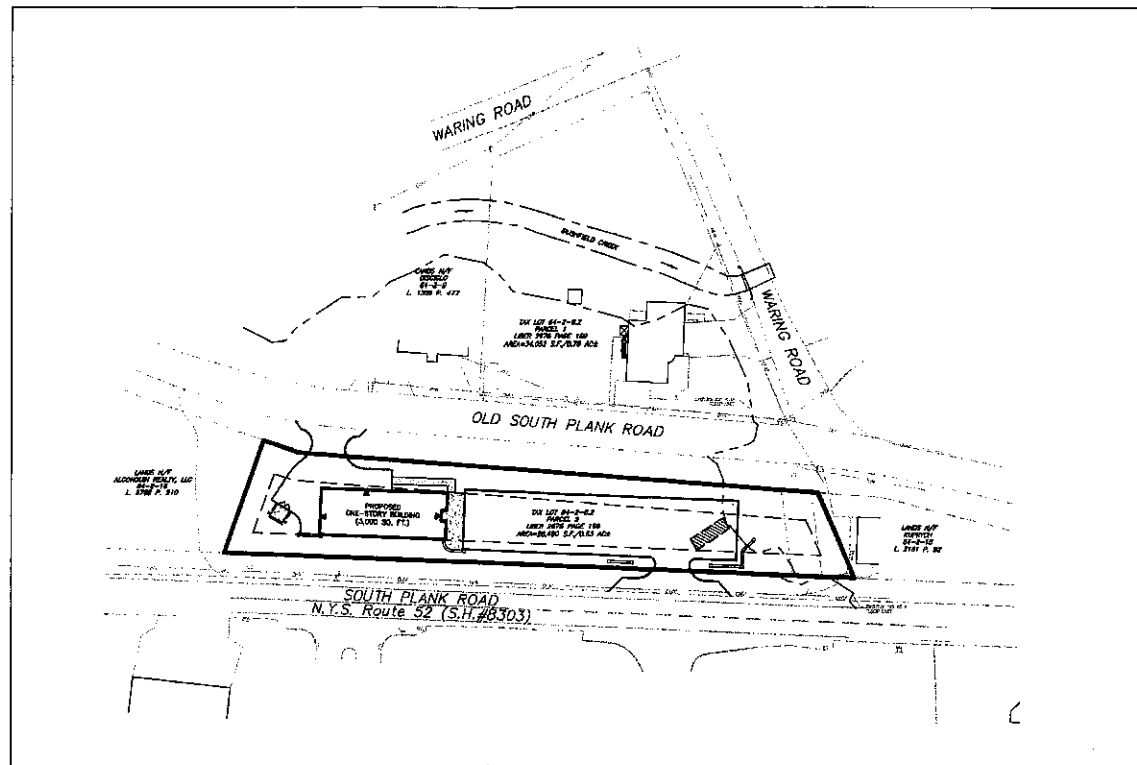
GENERAL NOTES:

- BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY SURVEY & PARTIAL TOPOGRAPHIC SURVEY", DATED DECEMBER 17, 2006, PREPARED BY HERITAGE LAND SURVEYING, P.C.
- THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "LAYOUT PLAN PROPOSED SITE PLAN FOR KRISTOPHER J. NOTO", DATED MAY 1, 2008, PREPARED BY TACONIC DESIGN CONSULTANTS.
- NO FRESHWATER WETLANDS ARE KNOWN TO EXIST ON THE SITE. A LETTER CONFIRMING THIS WAS RECEIVED FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) DATED JULY 19, 2007.
- THE 100 YEAR FLOOD PLAIN SHOWN HEREON IS TAKEN FROM THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NO. 306627 0138E, EFFECTIVE DATE: AUGUST 3, 2009; PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2002, AS SUPPLEMENTED.
 - CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON OLD SOUTH PLANK ROAD, OWNED AND OPERATED BY THE TOWN OF NEWBURGH WATER DEPARTMENT. PIPE MATERIALS SHALL BE CAST IRON DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING. WATER SERVICES SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO EXISTING SEWER MAIN ON OLD SOUTH PLANK ROAD, OWNED AND OPERATED BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- SANITARY SEWERS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST 18 INCHES HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE APPROPRIATE SEPARATION IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE-IRON-PIPE USING MECHANICAL OR SLIP ON JOINTS, FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE.
- GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- REFUSE AND RECYCLABLES SHALL BE STORED WITHIN OUTSIDE SCREENED TRASH ENCLOSURES AS NOTED ON THE PLANS.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY. EXCEPT WHERE DIMENSIONS ARE SHOWN THEREON.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE. DIG SAFELY, CONTACT 1-800-962-7962 PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

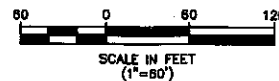
FINAL SITE PLANS FOR KRISTOPHER J. NOTO SECTION 64, BLOCK 2, LOT P/O 8.2 TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



LOCATION MAP
SCALE: 1"=200'



KEY MAP
SCALE: 1"=60'



DEFERRAL OF LANDSCAPE FEES:

Pursuant to 185-57 (L), together with 183-9 (B) [incorporated therein by reference], as well as 185-50 (D), this approval shall be subject to the applicant posting, with the Town Clerk, a performance security, in an amount to be fixed by the town board upon recommendation of the town's landscape consultant in order to secure timely completion and appropriate maintenance of the landscaping improvements depicted on the plans, satisfactory to the Town Board, Town Engineer and Town Attorney as to form, sufficiency, manner of execution and surety. The performance security shall recite that all improvements secured thereby shall be completed within three year(s) of this approval and maintained for a period of two years thereafter. The Town's Landscape Architect, is hereby authorized to periodically inspect the site in order to insure compliance with this condition. A separate inspection fee in an amount in accordance with Section 104-2 (6)(3) shall be submitted and deposited in an escrow account to cover the cost of the Town's Landscape Architect services. The applicant shall be required to pay the required landscaping security to the town before any building permit for any building or structure within the subdivided lands is issued. The amount of the landscape security may be adjusted (upon recommendation of the Town's landscape consultant) if, due to changes in the market pricing of the required landscaping materials, warrants. The applicant shall be required to pay the required landscaping inspection fee in the amount of \$2,000.00 to the town before the plans are signed.

LEGEND
EXISTING

- SITE BOUNDARY
- - - PROPERTY LINE
- - - DRIVEWAY
- - - EDGE OF PAVEMENT
- - - OVERHEAD WIRES
- - - FENCE
- - - CONTOUR
- - - 100 YEAR FLOOD LIMIT
- SIGN
- UTILITY POLE
- SPOT ELEVATION
- FIRE HYDRANT

PROPOSED

- CURBLINE
- - - EDGE OF PAVEMENT
- - - SETBACK LINE
- x - x - SCREEN FENCE
- - - STORMWATER AREA
- WATER MAIN
- - - SANITARY MAIN
- TREE LINE
- ③ NUMBER OF PARKING SPACES
- ▨ STONE WALL
- ▨ HANDICAP RAMP
- ▨ SIDEWALK/CONCRETE HATCH
- ▨ STRIPING

SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
J.P. Swartz
Chairman
6/14/2011

SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	09/28/10
2	LAYOUT & DIMENSION PLAN	09/28/10
3	GRADING, DRAINAGE, & UTILITY PLAN	09/28/10
4	EROSION & SEDIMENT CONTROL PLAN	09/28/10
5	LANDSCAPE PLAN	09/28/10
6	LIGHTING PLAN	09/28/10
7-9	CONSTRUCTION DETAILS	09/28/10

REV.	DATE	DRAWN BY	DESCRIPTION
1	09/28/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 2008, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON AVAILABLE INFORMATION AND SUBJECT TO THE EXISTING FIELD CONDITIONS AND DOCUMENTARY EVIDENCE AVAILABLE. USE OF THIS SEAL DOES NOT TRANSPARENTLY ADDITIONAL ASSURANCES OR INSURANCE PROTECTION.

Andrew B. Fetherston
ANDREW B. FETHERSTON
NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073555

MASER CONSULTANTS P.C.
Consulting, Municipal & Environmental Engineers
Planners • Surveyors • Landscape Architects
State of N.Y. Certificate of Authorization: 0300172

NEWBURGH OFFICE
Suite 101
1607 Route 300
Newburgh, N.Y. 12550
Phone (845) 564-4495
Fax (845) 564-0278
E-mail - solutions@maserconsulting.com

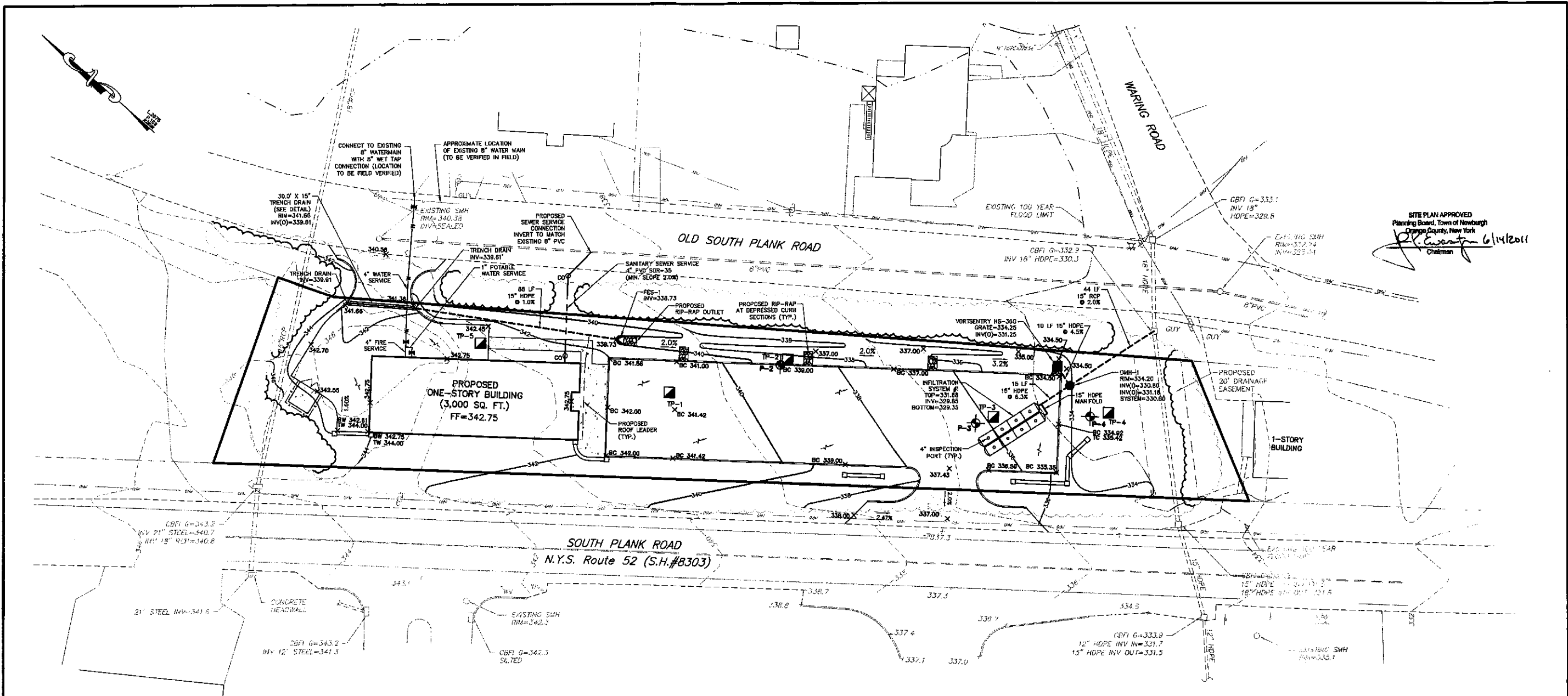
Regional Offices:
Red Bank, N.J.
Clarkson, N.J.
Hamilton, N.J.
Logan, N.J.
Morristown, N.J.
Mt. Arlington, N.J.
Owego, N.Y.
Bethlehem, PA.

**FINAL SITE PLAN
COVER SHEET**
FOR
KRISTOPHER J. NOTO
SECTION 64, BLOCK 2, LOT P/O 8.2
TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

JOB NUMBER: 06001329A DATE: 03/28/10
SCALE: AS SHOWN LATEST REVISION: 09/28/10
INDEX NUMBER: NB000959 DESIGN BY: JJS
SHEET NUMBER: 1 of 9

COPYRIGHT © 2009 MASER CONSULTING P.C. - ALL RIGHTS RESERVED.
 THIS DOCUMENT IS THE PROPERTY OF MASER CONSULTING P.C. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON.
 ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF MASER CONSULTING P.C. IS STRICTLY PROHIBITED.

SITE PLAN APPROVED
 Planning Board, Town of Newburgh
 Orange County, New York
[Signature]
 Chairman 6/14/2011

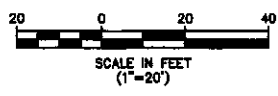


LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	==== CURBLINE
--- EDGE OF PAVEMENT	--- EDGE OF PAVEMENT
--- LOT BOUNDARY	--- STORM PIPE
--- STORM PIPE	--- 100' CONTOUR
--- 10' CONTOUR	100.00 SPOT ELEVATION
--- 2' CONTOUR	X SETBACK LINE
--- SANITARY PIPE	--- TREELINE
--- WATER MAIN	■ DRAINAGE INLET
--- OVERHEAD WIRES	▷ FLARED END SECTION
--- GAS LINE	▣ RIP RAP
--- 100-YEAR FLOOD PLAIN	TP-2 SOIL TEST PIT LOCATION
○ UTILITY POLE	P-2 PERCOLATION TEST LOCATION
○ WATER VALVE	
○ FIRE HYDRANT	

REFERENCE:

1. TOPOGRAPHIC INFORMATION REFERENCED FROM A PLAN PREPARED BY TACONIC DESIGN CONSULTANTS ENTITLED, "LAYOUT PLAN PROPOSED SITE PLAN FOR KRISTOPHER J. NOTO" DATED MAY 1, 2006.
2. BOUNDARY INFORMATION REFERENCED FROM A SURVEY PREPARED BY HERITAGE LAND SURVEYING, P.C. ENTITLED, "BOUNDARY SURVEY & PARTIAL TOPOGRAPHIC SURVEY" DATED DECEMBER 17, 2006.



STORMWATER MANAGEMENT NOTE:

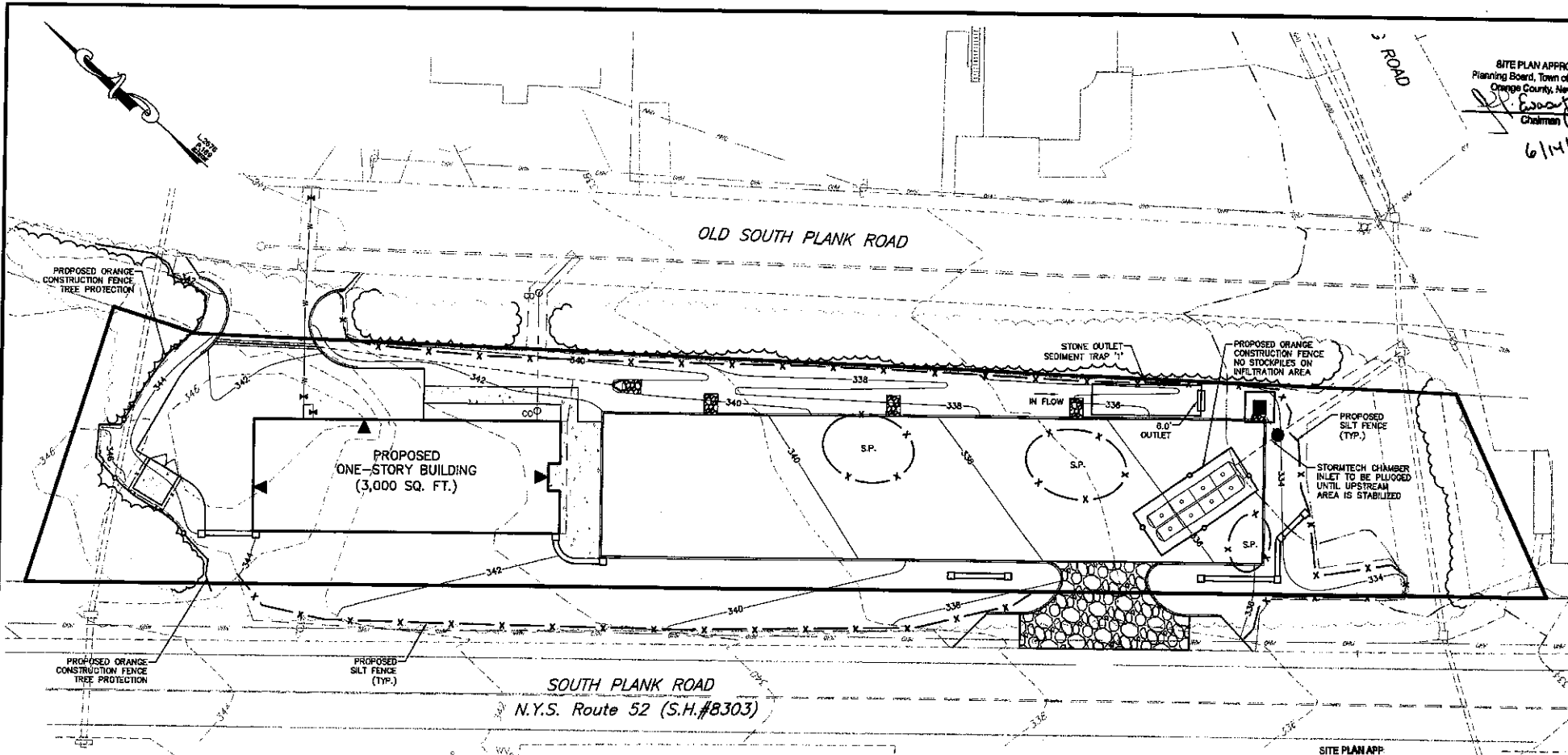
1. OWNER/CONTRACTOR IS REQUIRED TO PREPARE AND SUBMIT A STORMWATER COMPLIANCE REPORT FOR THE MAINTENANCE AND OPERATION OF THE CONSTRUCTED STORMWATER MANAGEMENT FACILITIES ON SITE. THESE REPORTS SHALL BE SUBMITTED TO THE CODE COMPLIANCE DEPARTMENT OF THE TOWN OF NEWBURGH.

GENERAL NOTE:

1. IF BLASTING IS FOUND NECESSARY, ALL BLASTING OPERATIONS WILL ADHERE TO NEW YORK STATE AND THE TOWN OF NEWBURGH ORDINANCES GOVERNING THE USE OF EXPLOSIVES. THE STATE REGULATIONS ARE CONTAINED IN 12 NYCRR AND INDUSTRIAL CODE RULE 53 (LATEST VERSION). THE CONTRACTOR IS REQUIRED TO PREPARE A BLASTING PLAN FOR REVIEW BY THE TOWN ENGINEER PRIOR TO CONSTRUCTION.

COPYRIGHT © 2008, MASER CONSULTING P.A. - ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MASER CONSULTING P.A.

<p>UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESSION OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO OTHERS WITHOUT THE WRITTEN PERMISSION OF MASER CONSULTING P.A.</p>		<p>MASER CONSULTING P.A. Consulting, Municipal & Environmental Engineers Planners & Environmental Landscape Architects State of N.Y. Certificate of Authorization: 0000172</p>	<p>NEWBURGH OFFICE Suite 101 1807 Route 300 Newburgh, N.Y. 12550 Phone (845) 564-4405 Fax (845) 594-0278 E-mail: solutions@maserconsulting.com</p>	<p>Regional Offices: Red Bank, N.J. Clinton, N.J. Hamilton, N.J. Logan, N.J. Marmora, N.J. Mt. Arlington, N.J. Chestnut Ridge, N.Y. Basking Ridge, PA.</p>
<p>FINAL SITE PLAN GRADING, DRAINAGE, & UTILITY PLAN FOR KRISTOPHER J. NOTO SECTION 64, BLOCK 2, LOT P/O 8.2</p>		<p>JOB NUMBER: 06001329A DATE: 03/28/10 SCALE: 1" = 20' LATEST REVISION: 06/28/10 DRAW NUMBER: NB000961 REVISION BY: JUS SHEET NUMBER: 3 of 9</p>		
<p>1 09/29/10 JED REVISIONS PER PLANNING BOARD RESOLUTION</p>		<p><i>[Signature]</i> ANDREW B. FETHERSTON NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073555</p>		



SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL

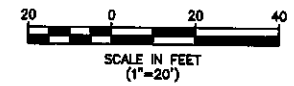
1. THE FOLLOWING SEQUENCE IS TO BE PERFORMED FOR CONSTRUCTION. ALL SILT FENCE SHOWN ON PLAN MUST BE INSTALLED PRIOR TO CONSTRUCTION.
2. CONSTRUCT AND MAINTAIN THE CONSTRUCTION ENTRANCE(S) AS SHOWN.
3. CLEAR TREES AND VEGETATION AS SHOWN TO CONSTRUCT PROPOSED STORMWATER DRAINAGE. CONSTRUCT TEMPORARY SEDIMENT TRAPS.
4. GRUB STUMPS FOR THE PROPOSED DRIVEWAYS, BUILDING AND PARKING AREAS AND DRAINAGE IMPROVEMENTS.
5. THE LOW INVERT OF THE DRAINAGE MANHOLE USED TO DIRECT RUNOFF INTO THE STORMTECH INFILTRATION CHAMBERS SHOULD BE PLUGGED DURING CONSTRUCTION TO PREVENT SEDIMENT FROM ENTERING THE UNDERGROUND CHAMBERS.
6. STABILIZATION* - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 - * STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OR COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIPRAP, OR GABIONS) PER SPDES GENERAL PERMIT FOR STORMWATER RUNOFF FROM CONSTRUCTION ACTIVITY, 09-0-10-001.
7. MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENT PONDS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY.
8. PROVIDE STORM INLET SEDIMENT TRAP AT DRAINAGE STRUCTURE.
9. INSTALL ALL EROSION CONTROL DEVICES AS SHOWN ON THIS PLAN. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
10. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE.
11. AFTER COMPLETION OF THE SITE CONSTRUCTION, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED.
12. AFTER STABILIZATION HAS BEEN ESTABLISHED, PAVE (BASE COURSE) ROADWAY AND PARKING LOTS.
13. CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED. REMOVE ALL EROSION CONTROL DEVICES INCLUDING PLUGS PROTECTING STORMTECH INFILTRATION CHAMBERS.
14. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
15. SILT THAT HAS ACCUMULATED IN TEMPORARY SEDIMENT BASIN OR TRAPS IS TO BE REMOVED WHEN BASIN IS FILLED IN TO 25% OF PROVED DEPTH.
16. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LAUGH RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
17. THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

SOIL EROSION AND SEDIMENT CONTROL NOTES

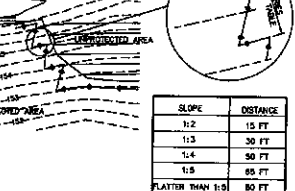
1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING WHEN HYDROSEEDING. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
9. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDING PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
10. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROWTH SHALL BE REMOVED OR TREATED IN SUCH A MANNER THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
11. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
12. UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE AND MUNICIPAL STANDARDS.
13. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
14. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
15. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
16. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
18. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER, AND SHALL BECOME THEIR RESPONSIBILITY.
19. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
20. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.

TREE PROTECTION NOTES:

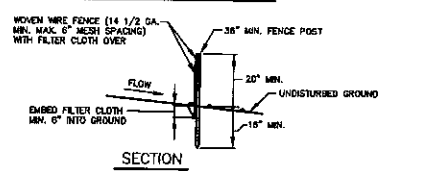
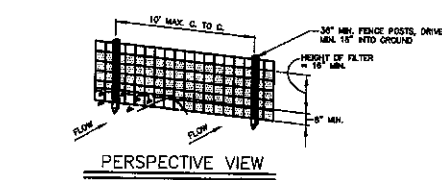
1. TREE PROTECTION FENCING TO BE INSTALLED ALONG THE DISTURBANCE LIMIT LINE WHENEVER EROSION CONTROL FENCING IS NOT PROPOSED.
2. THERE SHALL BE NO STORAGE OF EQUIPMENT OR MATERIALS OUTSIDE CLEARING LIMITS. NO EQUIPMENT IS PERMITTED OUTSIDE CLEARING LIMITS.
3. THE FENCING SHOULD REMAIN IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION PERIOD.
4. IF EXISTING VEGETATION IS DAMAGED OR DESTROYED, IT MUST BE REPLACED. TREE REPLACEMENT SHALL BE REQUIRED THAT IS EQUAL TO THE BASAL AREA OF ANY TREES CLEARED WITHOUT AUTHORIZATION WITHIN PROTECTED AREAS. IF IT IS NECESSARY TO CLEAR, REMOVE TREES OR WORK WITHIN PROTECTED AREAS, WRITTEN PERMISSION FROM THE TOWN OF MONTOMERY MUST BE RECEIVED BEFORE STARTING.



NOTE: THIS PLAN IS TO BE USED FOR SOIL EROSION CONTROL PURPOSES ONLY



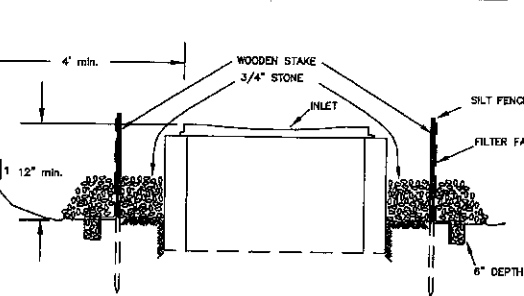
SILT FENCE INSTALLATION
(WHEN NOT PARALLEL TO CONTOURS)
N.T.S.



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

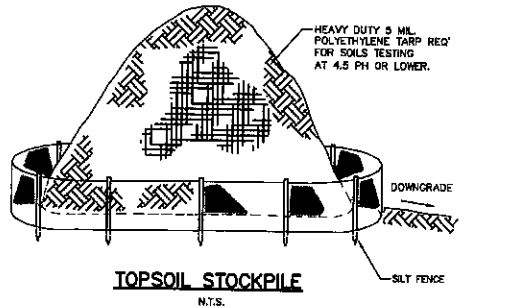
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

WIRE REINFORCED SILT FENCE
N.T.S.

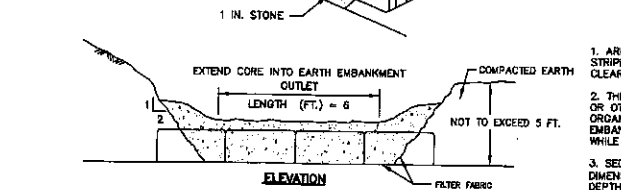
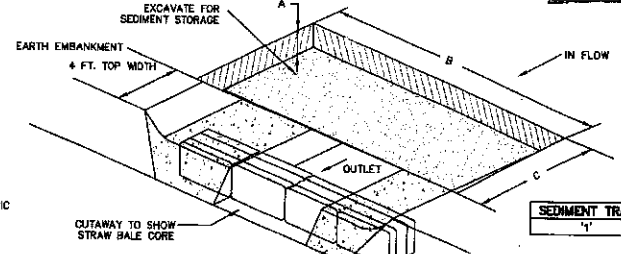


1. EXCAVATE A 6 INCH x 6 INCH TRENCH, OFFSET APPROXIMATELY 2 FEET FROM THE INLET PERIMETER.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE SETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE. SUPPLEMENT WITH GRAVEL, PILED AGAINST THE FENCE.
6. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
7. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.

STORM INLET SEDIMENT TRAP
N.T.S.



TOPSOIL STOCKPILE
N.T.S.



TO BE INSTALLED PRIOR TO GRADING OR FILLING IN THE DRAINAGE AREA THEY ARE TO PROTECT. TRAPS THAT ARE TO FUNCTION DURING BUILDING CONSTRUCTION MUST NOT BE LOCATED WITHIN 20 FEET OF A PROPOSED BUILDING FOUNDATION. WHILE TRAPS SHOULD BE SITED TO MAXIMIZE STORAGE BENEFIT, THEY SHOULD NOT BE LOCATED WETLAND OR WETLAND BUFFER AREAS, OR IN EXISTING WATERCOURSES.

GRANULAR AREA: 0.31 ACRES
VOLUME REQUIRED: 1,104 C.F.
VOLUME PROVIDED: 1,152 C.F.

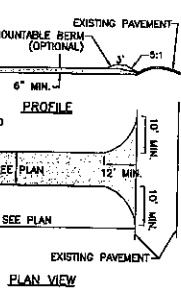
SEE EROSION AND SEDIMENT CONTROL PLAN FOR LOCATION.

LEGEND FOR EROSION CONTROL DURING CONSTRUCTION

- STABILIZED CONSTRUCTION ENTRANCE
- ORANGE CONSTRUCTION FENCING
- SILT FENCE
- STORM INLET SEDIMENT TRAP
- STOCKPILE LOCATION
- CONSTRUCTION LIMIT

STONE OUTLET SEDIMENT TRAP
N.T.S.

REV.	DATE	DRAWN BY	DESCRIPTION
1	09/29/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET
3. THICKNESS - NOT LESS THAN (6) INCHES.
4. WIDTH - 24"
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

COPYRIGHT © 2008, MASER CONSULTING P.A. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF MASER CONSULTING P.A. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MASER CONSULTING P.A.

UNAUTHORIZED ALTERATION TO A MAP OR A MAP BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 2309 OF THE NEW YORK STATE EDUCATION LAW. THE ENGINEER'S SEAL IS NOT AN OPINION OR A GUARANTEE OR WARRANTY OF ANY KIND. IT IS A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING RECORDS AND INVESTIGATIONS. THE ENGINEER'S SEAL DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY OF ANY KIND. THE ENGINEER'S SEAL DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY OF ANY KIND.

Andrew B. Fetherston
NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073805

MASER CONSULTING P.A.
Consulting, Municipal & Environmental Engineers
Planners-Surveyors-Landscape Architects
State of N.Y. Certificate of Authorization: 0000172

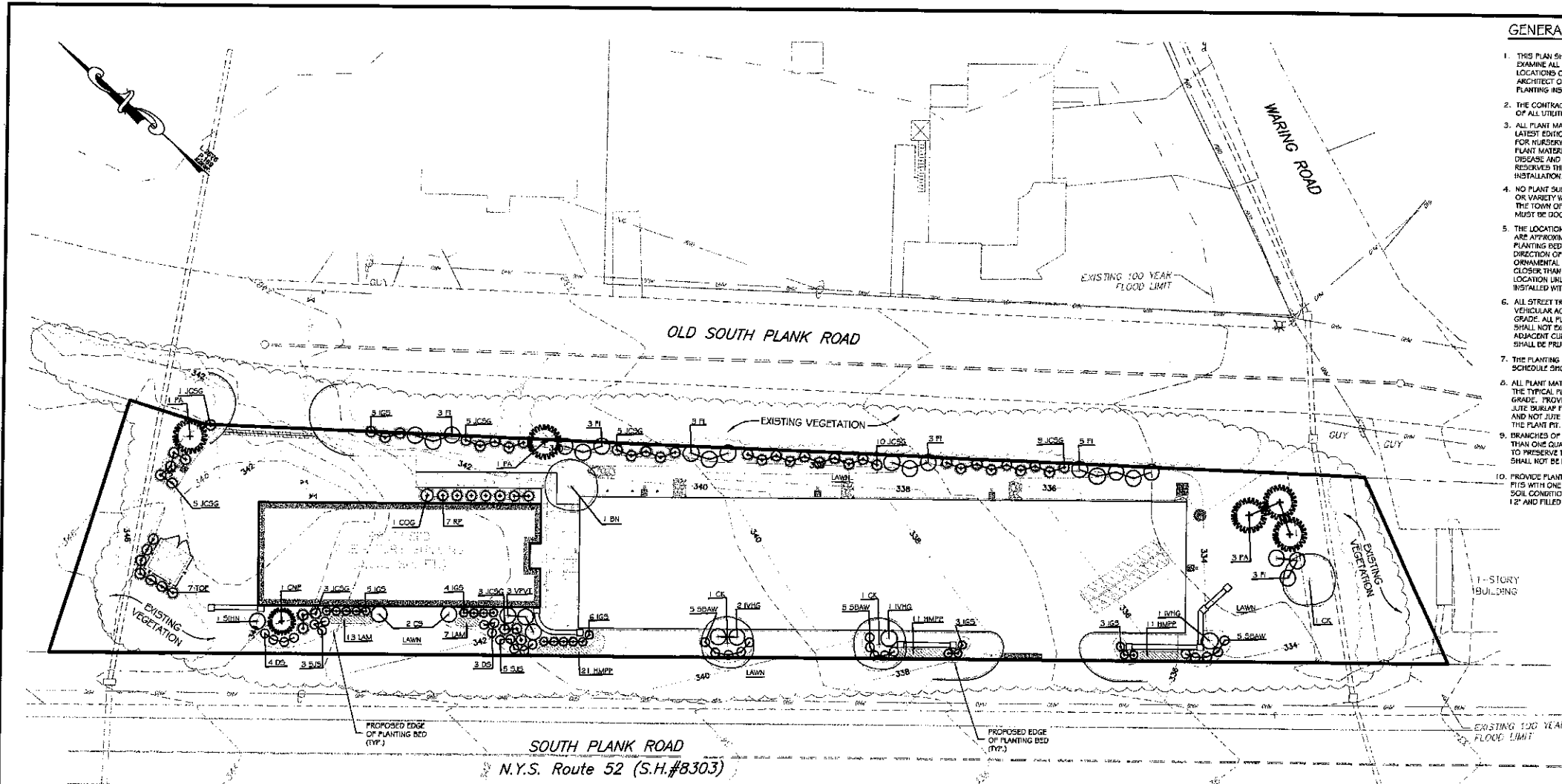
NEWBURGH OFFICE
Suite 101
1607 Route 300
Newburgh, N.Y. 12550
Phone (845) 564-4455
Fax (845) 564-0278
E-mail - solutions@maserconsulting.com

Regional Offices:
Fair Bank, N.J.
Clinton, N.J.
Laguna, N.J.
Mannors, N.J.
Mt. Arlington, N.J.
Chester Ridge, N.Y.
Babylon, PA

FINAL SITE PLAN
EROSION & SEDIMENT CONTROL PLAN
FOR
KRISTOPHER J. NOTO
SECTION 64, BLOCK 2, LOT P/O 8.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

DATE: 03/29/10
SCALE: 1" = 20'
PROJECT NUMBER: NB000982
SHEET NUMBER: 4 of 9



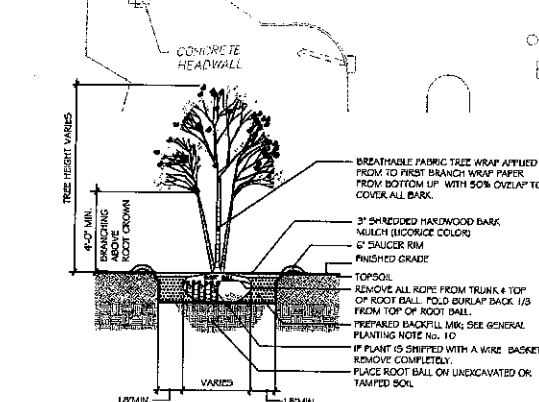
GENERAL PLANTING NOTES

- THIS PLAN SHALL BE USED FOR LANDSCAPE PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE CONSULTANT FOR THE TOWN OF NEWBURGH. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
- THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LIMITS SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. NO SHADE TREE, STREET TREE, OR ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN 12" FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATION UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN OR INSTALLED WITH PHYSICAL ROOT BARRIER.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 2'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN RIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. ALL STREET TREES PLANTED IN RIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT HAVE BRANCHED BELOW 12'-0".
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE. ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- ALL PLANT MATERIAL SHALL BE PROPERLY INSTALLED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE LITE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL. WIRE BASKETS AND NETS AND NOT JUTE BURLAP SHALL BE COMPLETELY REMOVED PRIOR TO SACKING/UNLOADING THE PLANT.
- BRANCHES OF DECIDUOUS TREES SHALL BE PRUNED BACK BY NO MORE THAN ONE QUARTER (1/4) TO BALANCE THE TOP GROWTH WITH THE MAIN TRUNK AND TO PRESERVE THEIR CHARACTER AND SHAPE. THE CENTRAL LEADER OF TREE SHALL NOT BE PRUNED.
- PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. IF WEED SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE DECATENATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT NURSERY.
- OPTIMUM PLANTING TIME: DECIDUOUS - APRIL 1 TO JUNE 1 & OCTOBER 15 TO DECEMBER 15. CONIFEROUS - APRIL 1 TO JUNE 1 & SEPTEMBER 1 TO NOVEMBER 1.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
- ALL PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLANT, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD WHICH DO NOT DEVELOP FROM PLANTING STOCKS, THAT APPEAR UNHEALTHY OR QUANTITY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR ANY TREE THAT LOSSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE REPLACED WITHIN 30 DAYS OF THE DATE OF THE TOWN OF NEWBURGH INSPECTION REPORT AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT AND MUST BE REPLACED WITHIN TWO MONTHS OF RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 6" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED. SOIL PH SHOULD BE 5.5-6.5.
- ALL DISTURBED LAWN AREAS SHALL BE TOPDRESSED, LIMED, FERTILIZED AND FINE GRADED PRIOR TO LAWN INSTALLATION.
- ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.
- ALL SHRUB MASSINGS SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
- ALL EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SHAW FENCING. ALL FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. ALL TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. GRADING OR CLEARING ALL EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW FENCING, SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DISEASED, OR DAMAGED BRANCHES.
- ALL PLANTING BEDS WIRE, TWINE, RUBBER HOSE, BACKFILL ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. PROPERTY IS TO BE LEFT IN A NEAT ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.

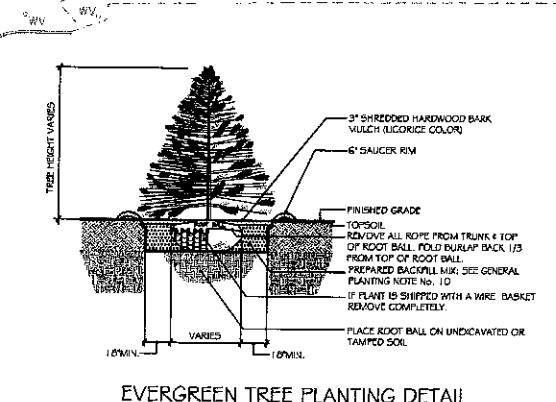
GENERAL SEEDING NOTES

- TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL KYRGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
- PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR PERMANENT EQUIVALENT. OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31 AND AUGUST 15 AND OCTOBER 15.

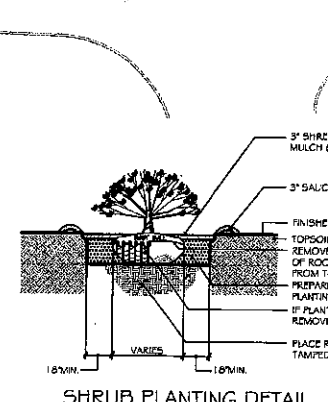
MIXTURE - HARD FESCUE	120 LBS/ACRE
PERENNIAL RYE GRASS	80 LBS/ACRE
KENTUCKY BLUE GRASS (BLENDED)	40 LBS/ACRE
MIXTURE - TALL FESCUE	160 LBS/ACRE
PERENNIAL RYE GRASS (BLENDED)	20 LBS/ACRE
KENTUCKY BLUE GRASS (BLENDED)	20 LBS/ACRE
- PERMANENT SEEDING TO BE APPLIED BY BROADCASTING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE. SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 5.
- FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 14# PER 1000 SF OR AS DETERMINED BY SOIL TESTS. LIME/STONE FOR TEMPORARY SEEDING SHALL BE PER 1000 SF. LIME/STONE FOR PERMANENT SEEDING SHALL BE APPLIED AT RATE OF 135# PER 1000 SF.
- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, SLOPED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
- MULCH TO CONSIST OF SMALL GRASS STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH SHALL BE SPREAD AT RATES OF 5.0 TO 11.0 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER. MULCH SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
- WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICABLE TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTINE HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PROVIDED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILED AND FIRMED AS ABOVE.



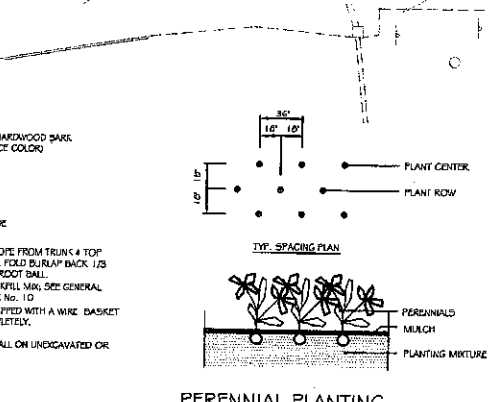
MULTI-STEM TREE PLANTING DETAIL
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

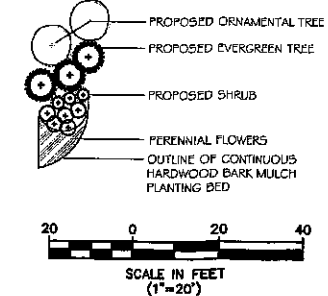


PERENNIAL PLANTING
NOT TO SCALE

PLANT DETAIL NOTES

- CONTRACTOR SHALL PARTIALLY FILL WITH WATER A REPRESENTATIVE NUMBER OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF NOT, DOESN'T PERCOLATE, MEASURES MUST BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
- PLANTING MUST BE GUARANTEED FOR TWO FULL GROWING SEASONS FROM THE TIME OF FINAL ACCEPTANCE BY THE TOWN OF NEWBURGH LANDSCAPE CONSULTANT. CONTRACTOR SHALL REMOVE WRAPPING AT THE END OF GUARANTEE PERIOD.
- BACKFILL MIXTURE TO BE SPECIFIED BASED UPON SOIL TEST AND CULTURAL REQUIREMENTS OF PLANT. CENTRAL TRUNKS OR LIMBS.
- PRUNE DAMAGED AND CONFLICTING BRANCHES MAINTAINING NORMAL TREE SHAPE. NEVER CUT MULCH SHALL NOT TOUCH THE TREE TRUNK.
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. MULCH SHALL NOT TOUCH THE TREE TRUNK.
- PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.
- WIRE BASKETS AND NON-JUTE BURLAP MUST BE ENTIRELY REMOVED FROM THE ROOT BALL. JUTE BURLAP MUST BE REMOVED FROM THE TOP 1/3 OF THE ROOT BALL.
- DEPTH OF PLANT PIT SHALL BE INCREASED BY 12" WHEREVER POOR SOIL CONDITIONS OCCUR, WITH THE ADDITION OF LOOSE AGGREGATE.

LANDSCAPE LEGEND



LANDSCAPE NOTES

- THESE PLANS ARE TO BE USED FOR LANDSCAPE PURPOSES ONLY.
- LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED OUTLINES IS APPROXIMATE AND MAY VARY DUE TO FINAL LOCATIONS OF SITE IMPROVEMENTS AND/OR BUILDINGS.
- FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED OUTLINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- ALL AREAS WITHIN THE PLANTING BED LIMITS SHALL BE MULCHED WITH 3" OF SHREDDED HARDWOOD BARK.
- LAWN AREAS AROUND BUILDING SHALL BE STABILIZED WITH SOIL. WHILE OTHER LAWN AREAS SHALL BE STABILIZED WITH SEED.
- MAINTAINED LAWN AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IN-GROUND IRRIGATION SYSTEM AS REQUIRED. EXTENT OF COVERAGE AND ACTUAL CONFIGURATION OF THE SYSTEM WILL BE DETERMINED IN THE FIELD BY THE IRRIGATION CONTRACTOR.
- ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE CONSULTANT FOR THE TOWN OF NEWBURGH.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CAULUS	SPREAD	ROOT	REMARKS	SPACING
ORNAMENTAL TREES									
BN	1	BETULA NIGRA HERITAGE	HERITAGE RIVER BIRCH	8 - 10'			B & B		CLUMP/FULL HEAD
CK	3	CORNUS DOUGLASSII	DOUGLASS DOGWOOD	6 - 7'			B & B		SINGLE LEADER/FULL HEAD
EVERGREEN TREES									
CHP	1	CHAMAECYPARIS NODOSISSIMA PERDOLI	WEEPING ALASKAN CEDAR	6 - 8'			B & B		SHEARED/MATCHED
CSG	1	CHAMAECYPARIS OBTUSA VARIEGATA	SILVER PINNAC CYPRESS	4 - 5'			B & B		SHEARED/MATCHED
PA	5	PICUS ABIES	HORSENAIL SPRUCE	6 - 7'			B & B		SHEARED/MATCHED
TKR	7	THELIDOCYCLUS EMERALDUS	EMERALD GREEN ARBORVITAE	5 - 6'			CONT.		SHEARED/MATCHED
SHRUBS									
CS	2	CORNUS STONICA	REDDOGWOOD	30 - 50"			CONT.		TYPICAL SPECIES HABIT
DS	7	DIODIA SCARPA PINK MINOR	PINK MINOR FLIZZY GOUTIERA	18 - 24"			CONT.		TYPICAL SPECIES HABIT
FI	20	FORSYTHIA INTERMEDIA	COMMON FORSYTHIA	4 - 5'			CONT.		TYPICAL SPECIES HABIT
IGS	24	ILEX GLABRA SHAMROCK	SHAMROCK HORSBERRY HOLLY	24 - 30"			CONT.		TYPICAL SPECIES HABIT
JCSG	41	JUNIPERUS CHINENSIS SEA GREEN	SEA GREEN JUNIPER	30 - 36"			30-36"		TYPICAL SPECIES HABIT
IVG	4	IVEA VIRGINICA HENRYS GARDEN	HENRYS GARDEN VIRGINIA SWEETSPICE	30 - 36"			CONT.		TYPICAL SPECIES HABIT
RF	7	RHODOCODONDRON FLAM	FLAM RHODOCODONDRON	24 - 30"			CONT.		TYPICAL SPECIES HABIT
SHN	1	SALIX INTEGRIFOLIA THAIKRO NISIBY	DAPPLED WILLOW	30 - 36"			CONT.		TYPICAL SPECIES HABIT
SBW	15	SPIRAEA X BUNALDA ANTHONY WATERER	ANTHONY WATERER SPIRAEA	18 - 24"			CONT.		TYPICAL SPECIES HABIT
SJD	8	SPIRAEA JAPONICA SHIROBANA	SHIROBANA SPIRAEA	18 - 24"			CONT.		TYPICAL SPECIES HABIT
VWV	3	VIBURNUM PLICATUM VIB. TOMENTOSUM	DOUBLE-LEAF VIBURNUM	30 - 36"			CONT.		TYPICAL SPECIES HABIT
PERENNIALS									
HMP	48	HIERACIUM MICHANCTHA PALACE PURPLE	PALACE PURPLE COIAL BEARS				12 CONT.		CLUMPS
LAW	20	LAVANDULA ANGIUSTIFOLIA VILHARTAD	MUNSTREAR LAVANDER				12 CONT.		CLUMPS

UNAUTHORIZED ALTERATION TO A SEAL BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 1302 OF THE NEW YORK STATE EDUCATION LAW. THE CONTRACTOR IS NOT AN ENGINEER OR REGISTERED SURVEYOR OR GUARANTEE. IT IS FULLY THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY INFORMATION AND RELY THEREON. EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO OTHER PROJECTS. WITHDRAWAL OR SUBSEQUENT WORK.

Andrew B. Fetherston
ANDREW B. FETHERSTON
NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073355



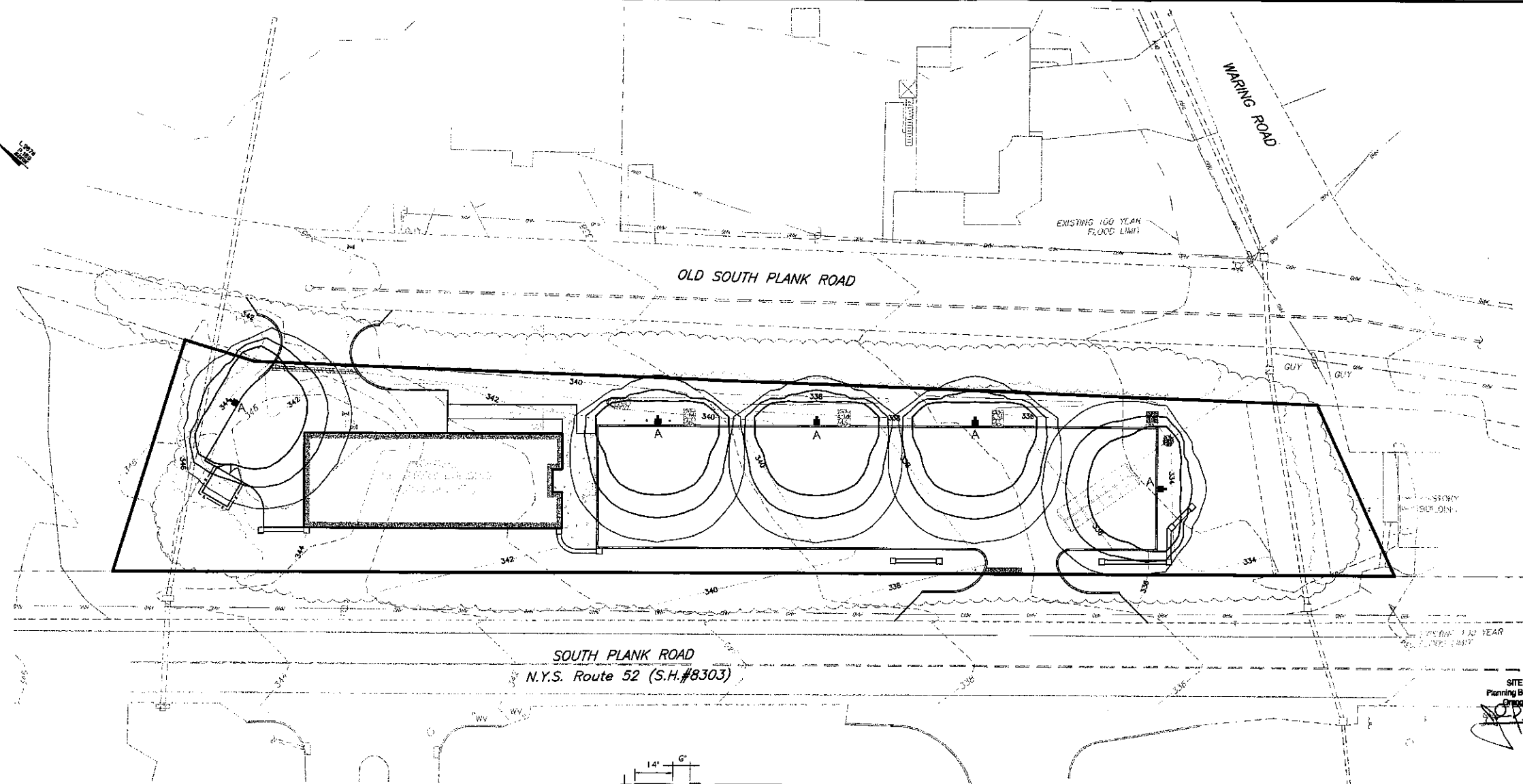
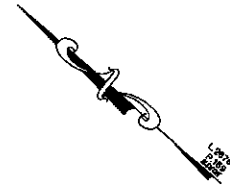
FINAL SITE PLAN LANDSCAPE PLAN FOR KRISTOPHER J. NOTO SECTION 64, BLOCK 2, LOT P/O 8.2

NEWBURGH OFFICE
Suite 101
1807 Route 300
Newburgh, N.Y. 12550
Phone (845) 564-4495
Fax (845) 564-0278
E-mail - solutions@maserconsulting.com

Regional Office
Red Bank, N.J.
Clinton, N.J.
Hamden, N.J.
Logan, N.J.
Marmora, N.J.
ML Atlington, N.J.
Chatham Ridge, N.Y.
Belleville, PA.

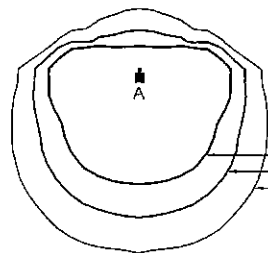
JOB NUMBER: 06001329A	DATE: 03/28/10
SCALE: 1" = 20'	LATEST REVISION: 09/29/10
INDEX NUMBER: NB0000963	DESIGN BY: JED
SHEET NUMBER: 5	OF 9

REV.	DATE	DRAWN BY	DESCRIPTION
1	08/29/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION



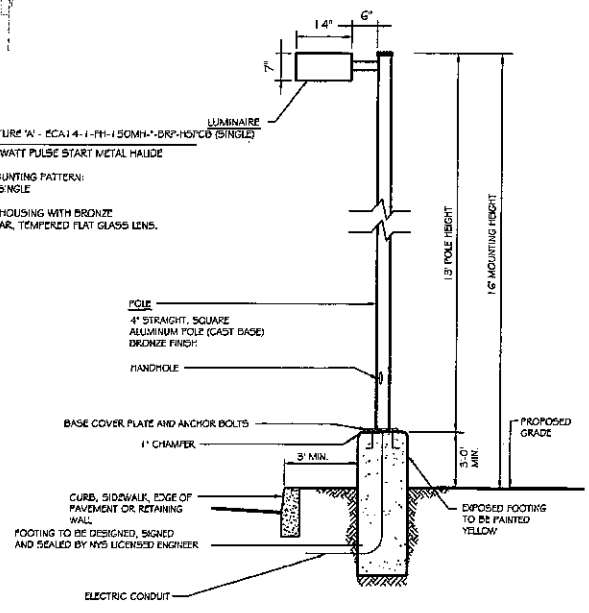
SITE PLAN APPROVED
 Planning Board, Town of Newburgh
 Orange County, New York
 6/14/2011
 Chairman

LIGHTING LEGEND



MODEL:
 ECA14-1-TH-150MH-DRP-NSPCB (SINGLE)
 BY EMCO LIGHTING (OR APPROVED EQUAL)
 150 WATT PULSE START METAL HALIDE
 TYPE IV HORIZONTAL WITH INTERNAL HOUSESIDE SHIELD
 14" MOUNTING HEIGHT
 * - VOLTAGE TO BE PROVIDED BY ELECTRICIAN
 POLE:
 4" STRAIGHT, SQUARE ALUMINUM POLE (CAST BASE)
 BY EMCO LIGHTING (OR APPROVED EQUAL)
 QUANTITY: 5

MODEL: FIXTURE 'A' - ECA14-1-TH-150MH-DRP-NSPCB (SINGLE)
 LAMP: 150 WATT PULSE START METAL HALIDE
 FIXTURE MOUNTING PATTERN:
 FIXTURE 'A' SINGLE
 ALUMINUM HOUSING WITH BRONZE FINISH, CLEAR, TEMPERED FLAT GLASS LENS.

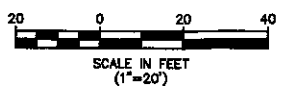


POLE MOUNTED FIXTURE DETAIL - FIXTURE A
 NOT TO SCALE

- NOTES:
- LUMINAIRES TO BE MANUFACTURED BY EMCO LIGHTING OR APPROVED EQUAL.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
 - FOOTING TO BE DESIGNED, SIGNED, AND SEALED BY A NYS LICENSED ENGINEER.
 - * - VOLTAGE TO BE PROVIDED BY ELECTRICIAN.

LIGHTING NOTES

- THESE PLANS ARE TO BE USED FOR LIGHTING PURPOSES ONLY.
- TYPICAL POLES, LUMINAIRES AND FIXTURES AS SUPPLIED BY EMCO LIGHTING OR APPROVED EQUAL.
- LAMPS ARE TO BE PULSE START METAL HALIDE. A LIGHT LOSS FACTOR OF 0.72 WAS USED.
- LUMINAIRES AND POLES ARE TO BE BRONZE.
- POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF THREE(3) FEET BEHIND CURBS OR RETAINING WALLS IN PARKING AREAS.
- POLE LOCATIONS ARE APPROXIMATE AND MAY VARY DUE TO SPECIFIC SITE CONDITIONS. THE LIGHTING CONTRACTOR SHALL FIELD VERIFY POLE LOCATIONS IN ORDER TO ACCOMMODATE UTILITIES AND PAVEMENT.
- LIGHTING SHOWN ON PLAN DEPICTS AVERAGE MAINTAINED FOOTCANDLE LEVELS AT GRADE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
- CONCRETE FOOTINGS FOR POLE MOUNTED LIGHTS TO BE DESIGNED, SIGNED AND SEALED BY A NYS LICENSED ENGINEER.
- ELECTRICAL DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.



COPYRIGHT © 2009, MASER CONSULTING P.A. ALL RIGHTS RESERVED.
 THIS DOCUMENT IS THE PROPERTY OF MASER CONSULTING P.A. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF MASER CONSULTING P.A. IS STRICTLY PROHIBITED.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY.

REV.	DATE	DRAWN BY	DESCRIPTION
1	06/29/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 2209, SUB-DIVISION 5, OF THE NEW YORK STATE EDUCATION LAW. THE CONTRACTOR IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS FURTHER A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD CONDITIONS. OCCURRENCES ARE NOT SUBSIDIARY TO THE CONTRACTOR'S OBLIGATIONS OR RESPONSIBILITIES.

Andrew B. Fetherston
ANDREW B. FETHERSTON
 NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073555

MASER CONSULTING P.A.
 Consulting, Municipal & Environmental Engineers
 Planners • Surveyors • Landscape Architects
 State of N.Y. Certificate of Authorization: 0000172

NEWBURGH OFFICE
 Suite 101
 1607 Route 300
 Newburgh, N.Y. 12550
 Phone (845) 564-4495
 Fax (845) 564-0278
 E-mail - solutions@maserconsulting.com

Regional Office
 Fred Blank, N.J.
 Clinton, N.J.
 Hamilton, N.J.
 Logan, N.J.
 Marlboro, N.J.
 Mt. Arlington, N.J.
 Chestnut Ridge, N.Y.
 Bethlehem, PA.

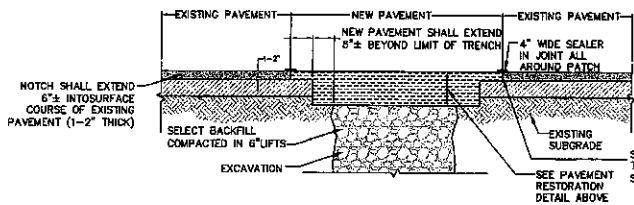
FINAL SITE PLAN LIGHTING PLAN
 FOR
KRISTOPHER J. NOTO
 SECTION 64, BLOCK 2, LOT P/O 8.2

JOB NUMBER: 06001328A	DATE: 03/29/10
SCALE: 1" = 20'	LATEST REVISION: 06/29/10
PROJECT NUMBER: NB000064	DESIGN BY: JED
SHEET NUMBER: 6 of 9	

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES - GAS, WATER, ELECTRICAL, BEFORE THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL 1-800-982-7882
2. EROSION CONTROL MEASURES WILL BE REQUIRED AS PER NYSDEC AND THE TOWN OF NEWBURGH.
3. AS BUILT PLANS SHALL BE REQUIRED AND CERTIFIED BY A N.Y. STATE LICENSED PROFESSIONAL SURVEYOR.
4. ALL PROPERTY DISTURBED IN THE R.O.W. OR ON PRIVATE LANDS, SHALL BE RESTORED TO NEW CONDITIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
6. THE SITE IMPROVEMENTS SHALL BE STAKED IN THE FIELD BY A N.Y. STATE LICENSED SURVEYOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY OF THE SITE DURING CONSTRUCTION, THE OWNER IS RESPONSIBLE FOR MAINTAINING A SAFE SITE THROUGH PROPER MAINTENANCE THEREAFTER.



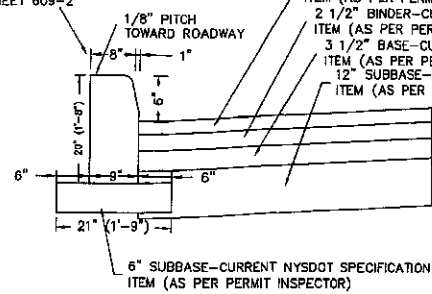
NOTES:

1. CONTRACTOR MUST PROVIDE CERTIFICATION THAT THE ROAD OPENING REPAIR WAS PERFORMED IN CONFORMANCE WITH THIS DETAIL. THIS MAY BE ACCOMPLISHED BY EITHER:
 - a. PROVIDE CERTIFICATION FROM A N.Y.S. LICENSED PROFESSIONAL ENGINEER CERTIFYING THAT THE MATERIALS AND CONSTRUCTION OF THE ROAD OPENING REPAIR CONFORM TO THE TOWN DETAIL.
 - OR
 - b. COORDINATE WITH THE TOWN ENGINEERING CONSULTANT AND/OR HIGHWAY SUPERINTENDENT TO SCHEDULE THEIR WITNESSING OF THE CONSTRUCTION. (THE TOWN WILL IN TURN BACK CHARGE THE CONTRACTOR FOR THE COST OF THE ENGINEERING CONSULTANTS SERVICES.) THE ENGINEERING CONSULTANT WILL PROVIDE THE REQUIRED CERTIFICATION.

ROAD OPENING REPAIR DETAIL
N.T.S.

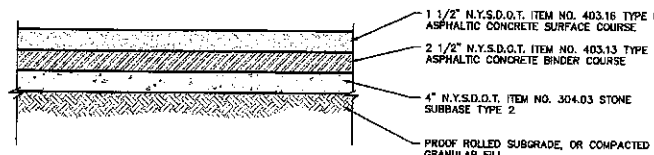
SHOULDER CROSS SLOPE
TYPICALLY 3/4" PER FOOT (6%)
VARIES 1/2" PER FOOT (4%)
TO 1" PER FOOT (8%)

TYPE 'BB' (BARRIER)
PORTLAND CEMENT CONCRETE
CURB NYS DOT STANDARD
SHEET 609-2



CURB AND SHOULDER DETAIL
PER N.Y.S.D.O.T. REQUIREMENTS
N.T.S.

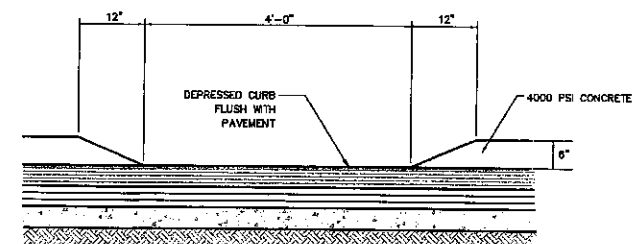
SEE PLAN FOR LIMITS OF CURB AND PAVEMENT



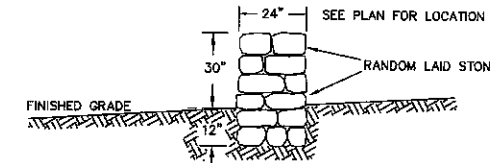
NOTE:

1. THIS PAVEMENT SECTION IS TO BE USED FOR DRIVEWAYS AND PARKING AREAS UNLESS SPECIFIED OTHERWISE ON THE PLANS.
2. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH LATEST EDITION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (N.Y.S.D.O.T.) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
3. SEE PLAN FOR SITE SPECIFIC CROSS SLOPES.

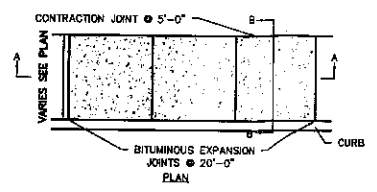
PAVEMENT SECTION
N.T.S.



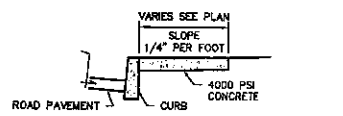
DEPRESSED CURB FOR DRAINAGE FLOW
N.T.S.



FREE STANDING WALL
N.T.S.



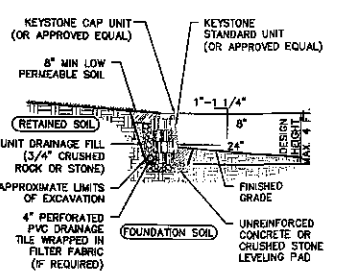
CONTRACTION JOINT
N.T.S.



SIDEWALK
N.T.S.

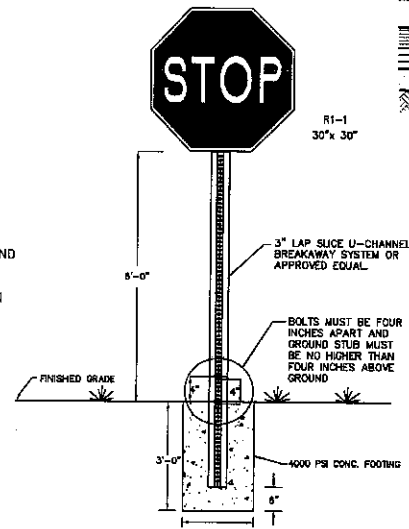
- NOTES:
1. A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET. CONTRACTION JOINTS SHALL BE INSTALLED EVERY 9 FEET (MAX).
 2. THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.
 3. DIMENSIONS SHOWN AS VARIABLE SHALL BE CONFIRMED BY THE ENGINEER.

CONCRETE SIDEWALK RAMP
N.T.S.



- NOTES:
1. MODULAR CONCRETE BLOCK WALL TO BE INSTALLED IN FIELD IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 2. CONTRACTOR TO PROVIDE SITE SPECIFIC SHOP DRAWINGS FOR EACH RETAINING WALL FOR APPROVAL PRIOR TO CONSTRUCTION.

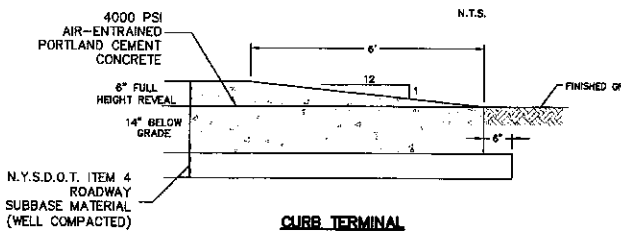
TYPICAL GRAVITY WALLS SECTION
N.T.S.



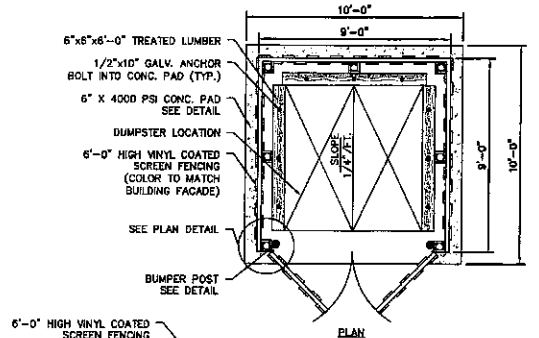
BREAKAWAY STOP SIGN WITH POST DETAIL
N.T.S.

- NOTES:
1. CONCRETE TO BE 4000 PSI AIR-ENTRAINED PORTLAND CEMENT CONCRETE
 2. SIX (6") INCH FACE TO BE PROVIDED
 3. PROVIDE PRE FORMED BITUMINOUS FIBER EXPANSION JOINTS, 1/2" THICK AT 20'-0" (MAX.) INTERVALS. PROVIDE DUMMY JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS.

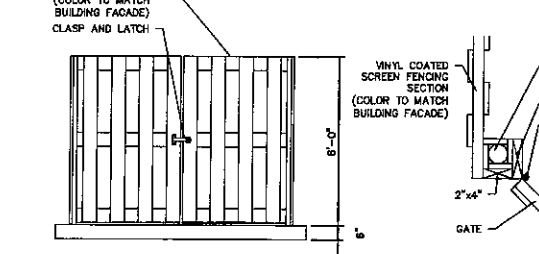
CONCRETE CURB OUTSIDE NYS DOT RIGHT-OF-WAY
N.T.S.



CURB TERMINAL ADOPTED FROM N.Y.S.D.O.T. STANDARD SHEET 609-2
N.T.S.

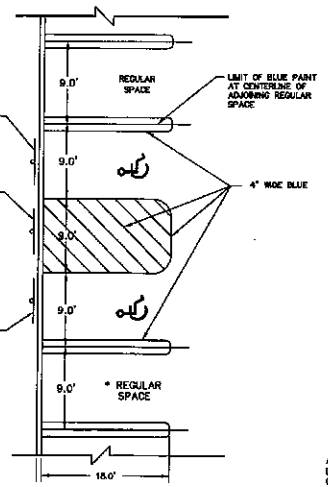


10'-0" X 10'-0" DUMPSTER ENCLOSURE DETAIL
N.T.S.

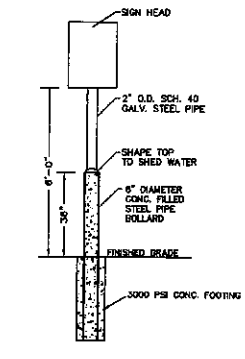


PROPOSED 10'x10' DUMPSTER SLAB
N.T.S.

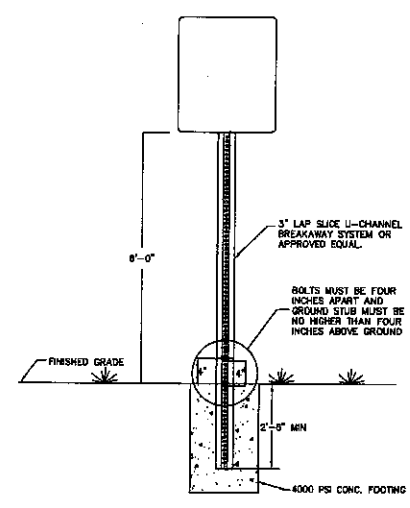
NOTE: 3/4" BIT. EXPANSION JOINTS WHERE PAD CONTACTS BUILDING, SIDEWALK, STEPS OR ABUTTING CONCRETE PAD



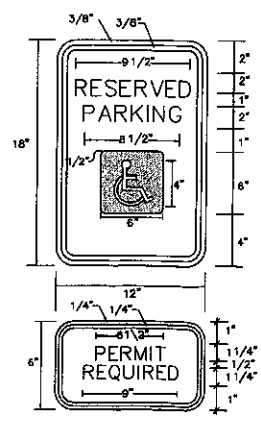
HANDICAPPED PARKING IN FRONT OF BUILDING
N.T.S.



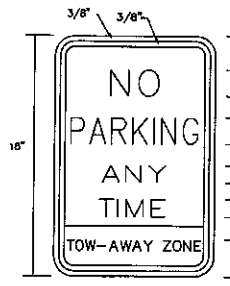
SIGN POST FOR HANDICAPPED PARKING IN PARKING LOT
N.T.S.



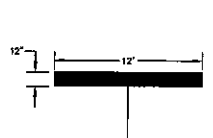
BREAKAWAY SIGN POST DETAIL
N.T.S.



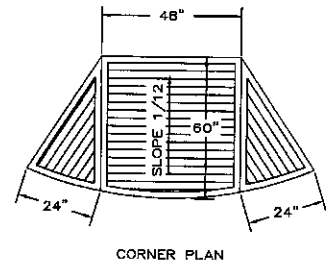
SIGN FOR HANDICAPPED PARKING SPACE
N.T.S.



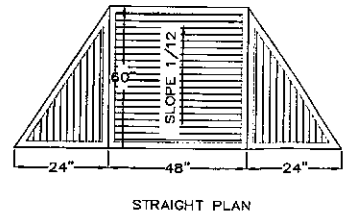
NO PARKING ANY TIME TOW-AWAY ZONE
N.T.S.



PAINTED STOP BAR
N.T.S.



CORNER PLAN



STRAIGHT PLAN



SECTION
6" BASE COURSE SHALL CONSIST OF COMPACTED 3/4" CRUSHED STONE

COPYRIGHT © 2009, MASER CONSULTING P.A. - ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MASER CONSULTING P.A.

REV.	DATE	DRAWN BY	DESCRIPTION
1	09/28/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION

UNAUTHORIZED ALTERATION TO A MAP OR PLAN IS A VIOLATION OF SECTION 7200, SUB-DIVISION 2, OF THE NEW YORK STATE ENVIRONMENTAL CONSERVATION LAW. THE CONTRACTOR IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS FURTHER A STATEMENT OF PROFESSIONAL OPINION BASED ON AVAILABLE INFORMATION AND SELECTED DATA. NO OTHER FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CONTRACTING AND NOT TRANSFERABLE TO OTHER PROJECTS OR SITES.

Andrew B. Fetherston
NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073335

MASER CONSULTING P.A.
Consulting, Municipal & Environmental Engineers
Planners • Surveyors • Landscape Architects
State of N.Y. Certificate of Authorization: 0000172

NEWBURGH OFFICE
Suite 101
1807 Route 300
Newburgh, N.Y. 12550
Phone (845) 564-4465
Fax (845) 564-0278
E-mail: solutions@maserconsulting.com

FINAL SITE PLAN CONSTRUCTION DETAILS FOR KRISTOPHER J. NOTO SECTION 64, BLOCK 2, LOT P/O 8.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

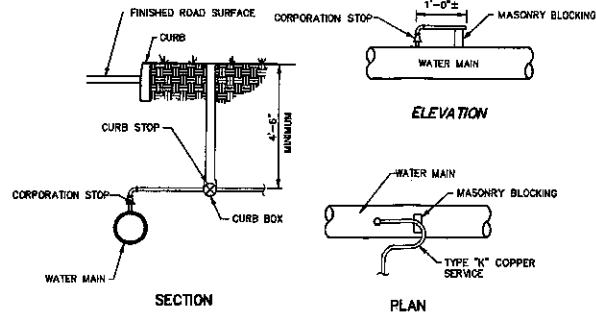
DATE: 03/28/10
LATEST REVISION: 09/29/10
DESIGN BY: JUS
SHEET NUMBER: 7 of 9

WATER SYSTEM NOTES

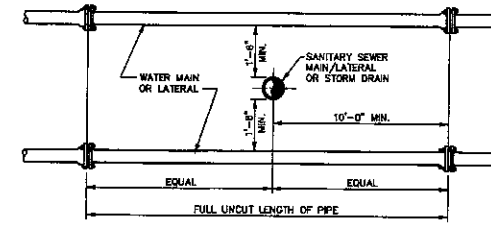
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE OOH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.5-01 OR LATEST REVISION FOR DUCTILE IRON PIPE. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON METALLOID SERIES 1120 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.6-87 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153.53 LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
- ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C500 LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL.
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-815 OR EQUAL. TAPPING VALVE SHALL BE RESILIENT WEDGE, MECHANICAL JOINT BY FLANGED END SUCH AS MUELLER T-2360-19 OR EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- WHERE WATER MAIN CROSSES BELOW A CULVERT OR OTHER CONDUIT, CONCRETE SUPPORT BLOCKS SHALL BE PLACED ON BOTH SIDES OF WATER MAIN TO ELIMINATE ANY IMPOSED LOADING ON WATER MAIN FROM THE CULVERT OR OTHER CONDUIT.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH ANWA STANDARDS AS WELL AS THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE TOWN OF NEWBURGH WATER DEPARTMENT.

SEWER SYSTEM NOTES

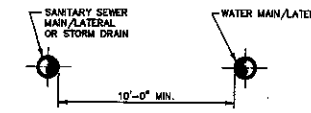
- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-83 OR LATEST REVISION. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212 OR LATEST REVISION. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE WITNESSED BY AND COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.



TYPICAL POTABLE WATER SERVICE DETAIL
N.T.S.



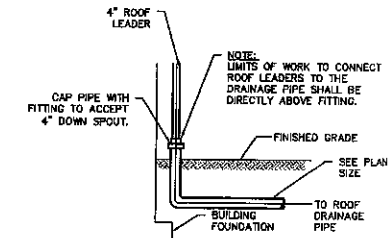
VERTICAL SEPARATION



HORIZONTAL SEPARATION

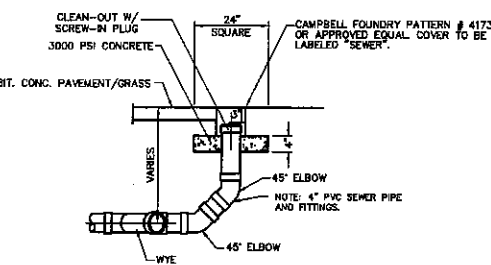
NOTE: NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.

SANITARY/STORM SEWER-WATER MAIN SEPARATION DETAIL
N.T.S.

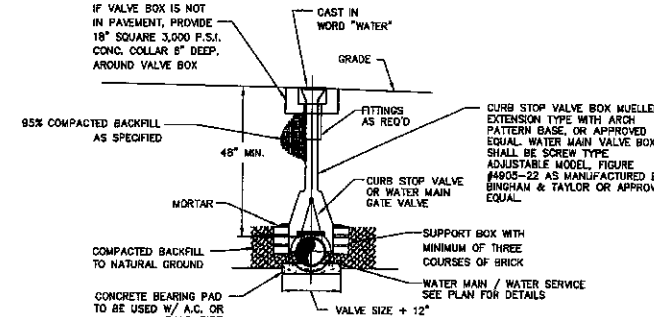


ROOF LEADER DETAIL
N.T.S.

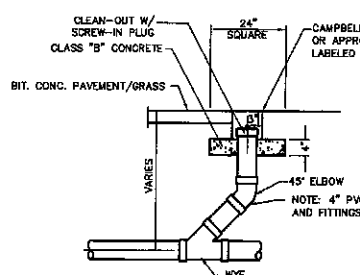
SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
John P. Eustace
Chairman
6/14/2011



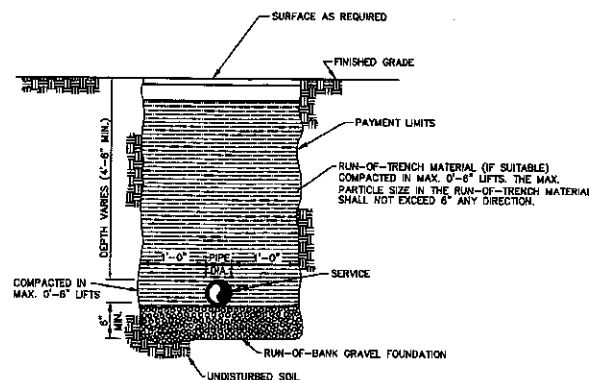
SANITARY SEWER CLEANOUT AT BEND
N.T.S.



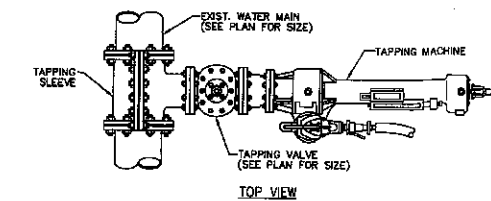
VALVE BOX DETAIL
N.T.S.



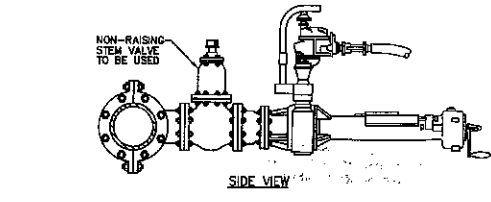
SANITARY SEWER CLEANOUT IN-LINE
N.T.S.



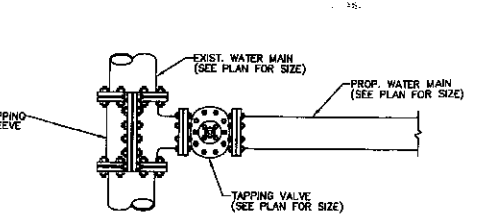
WATER MAIN TRENCH DETAIL
N.T.S.



TOP VIEW



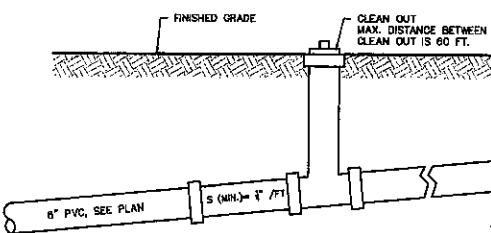
SIDE VIEW



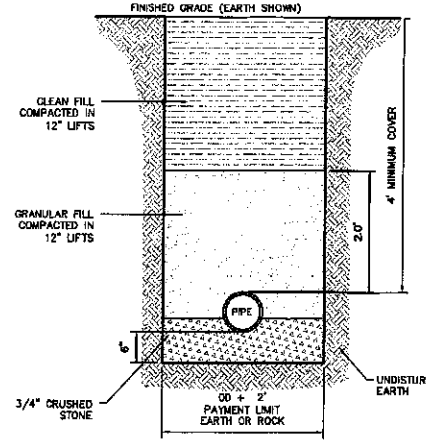
FINAL INSTALLATION

- NOTES:
- WET TAP VALVE CAN BE INSTALLED IN EITHER VERTICAL OR HORIZONTAL POSITION.
 - CONTRACTOR SHALL VERIFY DEPTH OF BURY, MATERIAL DIAMETER (O.D.) AND OPERATING PRESSURE OF EXISTING WATER MAIN PRIOR TO ORDERING OF WET TAP UNIT.

WET TAP DETAIL
N.T.S.



SANITARY SERVICE CONNECTION
N.T.S.



SANITARY SEWER TRENCH & PIPE BEDDING DETAIL
N.T.S.

REV.	DATE	DRAWN BY	DESCRIPTION
1	09/29/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7208, SUB-DIVISION 1 OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON EXISTING FIELD RECORDS AND OCCASIONAL CHECKS. AVAILABLE INFORMATION IS NOT TRANSFERRED TO OTHERS BY REPRODUCTION OR MISUSE OF THIS DOCUMENT.

Andrew B. Fetherston
ANDREW B. FETHERSTON
NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073555

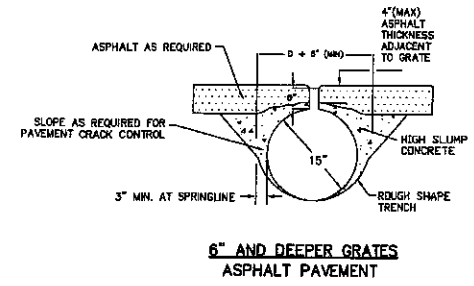
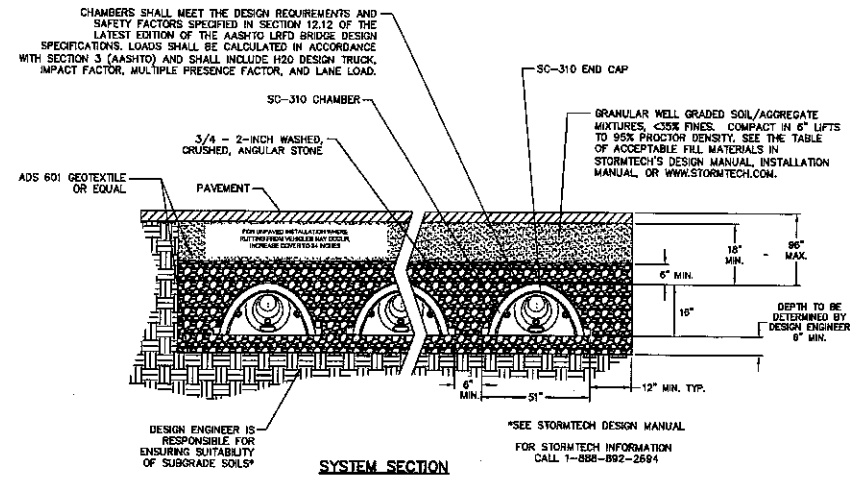
MASER CONSULTING P.A.
NEWBURGH OFFICE
Suite 101
1807 Route 300
Newburgh, N.Y. 12550
Phone: (845) 564-4455
Fax: (845) 564-0278
E-mail: solutions@maserconsulting.com

**FINAL SITE PLAN
UTILITY & STORMWATER DETAILS
FOR
KRISTOPHER J. NOTO
SECTION 64, BLOCK 2, LOT P/O 8.2**

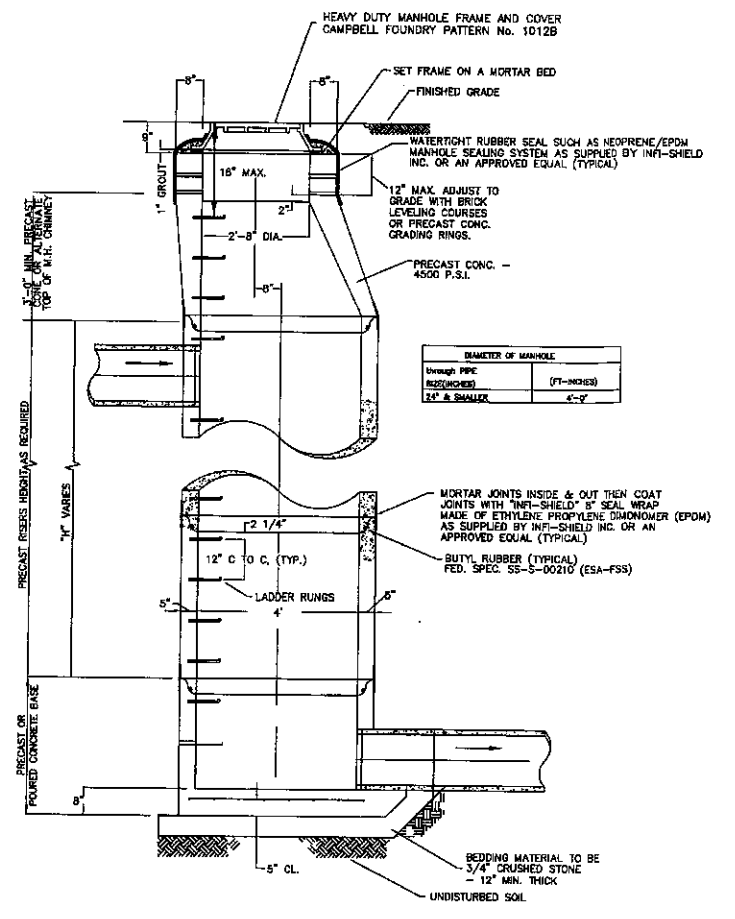
TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

DATE: 03/29/10
SCALE: AS SHOWN
PROJECT NUMBER: N9000966
SHEET NUMBER: 8 of 9

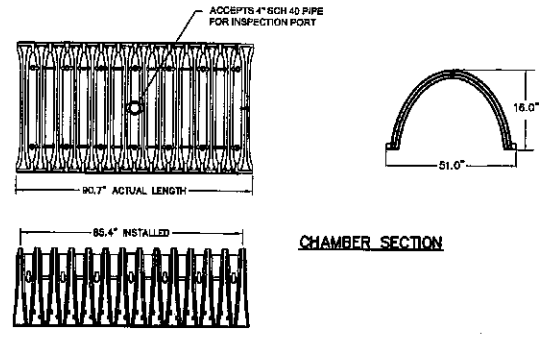
COPYRIGHT © 2009, MASER CONSULTING P.A. - ALL RIGHTS RESERVED.
 THIS DOCUMENT IS THE PROPERTY OF MASER CONSULTING P.A. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF MASER CONSULTING P.A.



- REQUIREMENTS:**
- 8" DEEP GRATING IS ACCEPTABLE FOR STANDARD HIGHWAY (H10 THROUGH H25) LOADS. HIGH SLUMP CONCRETE BACKFILL IS REQUIRED, WITH THE ENVELOPE EXTENDING A MINIMUM OF 3 INCHES BEYOND THE SPRINGLINE, AS SHOWN ABOVE. THE HIGH SLUMP CONCRETE MUST PROVIDE A MINIMUM 750 PSI COMPRESSIVE STRENGTH.
 - DURING INSTALLATION, RECESS THE TOP OF THE GRATE 1/4" BELOW THE FINISHED GRADE OF THE PAVEMENT.
 - PAVEMENT DESIGNS AS REQUIRED FOR LOADING CONDITIONS. FOR REINFORCED CONCRETE PAVEMENTS, CONTINUE THE REINFORCEMENT OVER THE SLOTTED DRAIN. FOR UNREINFORCED CONCRETE PAVEMENTS, MINIMUM SHRINKAGE STEEL IS RECOMMENDED.
 - SEE PLAN VIEW FOR LOCATION AND SIZING.



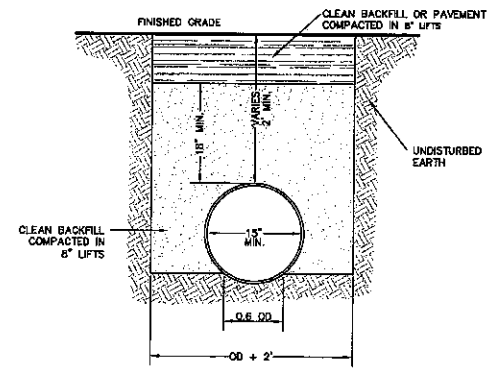
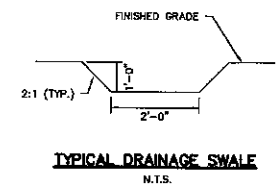
- STORMTECH NOTES:**
- CHAMBERS SHALL BE STORMTECH MC-310 OR APPROVED EQUAL.
 - CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
 - CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW.
 - THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
 - ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL CROSS SECTION IS BASED.
 - THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.



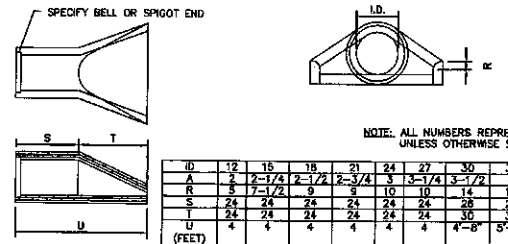
- CONTECH SLOTTED TRENCH DRAIN**
N.T.S.
- NOTES:**
- STORMWATER TREATMENT SYSTEM (SWTS) SHALL REMOVE 80% OF A SEDIMENT GRADATION WITH AN AVERAGE PARTICLE SIZE OF 240 MICRONS AT THE DESIGNATED TREATMENT FLOW RATE LISTED IN THE TABLE FOR EACH CORRESPONDING MODEL.
 - SWTS REMOVAL EFFICIENCY CLAIM SHALL BE CORROBORATED BY FULL SCALE LABORATORY TEST PERFORMANCE DATA.
 - SWTS MAINTENANCE RECOMMENDATION SHALL BE SUPPORTED BY FULL SCALE WASH-OUT TESTING.
 - SWTS SHALL PROVIDE INTERNAL BYPASS OF FLOWS THAT EXCEED THE TREATMENT FLOWRATE.
 - SWTS MAXIMUM HYDRAULIC CAPACITY MAY VARY DEPENDING UPON THE DEPTH OF FLOW OVER THE GRATE.
 - IF THE SWTS INCORPORATES THE OPTIONAL INLET PIPE, INVERTS IN AND OUT SHALL BE AT THE SAME ELEVATION AND 180° FROM EACH OTHER.
 - MINIMUM RIM TO INVERT DISTANCE MAY BE REDUCED DEPENDING UPON ACTUAL PIPE DIAMETER. CONTACT CONTECH STORMWATER SOLUTIONS FOR SITE SPECIFIC INFORMATION.
 - PIPE SIZE MAY BE SMALLER THAN THE MAXIMUM PIPE SHOWN ON THE TABLE. SEE SITE PLAN FOR PIPE SIZE.
 - PURCHASER SHALL NOT BE RESPONSIBLE FOR ASSEMBLY OF INTERNAL COMPONENTS.
 - ACCESS FRAME AND GRATED COVER SUPPLIED WITH SYSTEM, NOT INSTALLED. SWTS MAY ALSO HAVE A SOLID COVER AND INLET PIPE (NOT SHOWN).
 - PURCHASER TO PREPARE EXCAVATION AND PROVIDE LIFTING EQUIPMENT.
 - VORSENTRY HS BY CONTECH STORMWATER SOLUTIONS, PORTLAND, OR (800) 548-4667, SCARBOROUGH, ME (877) 907-6876; LINTHICUM, MD (866) 740-3318.

This CADD file is for the purpose of specifying stormwater treatment equipment to be furnished by CONTECH Stormwater Solutions and may only be transferred to other documents exactly as provided by CONTECH Stormwater Solutions. The block information, including the CONTECH Stormwater Solutions logo and the VortSentry HS Stormwater Treatment System designations and patent numbers, may be deleted if necessary. Revisions to any part of this CADD file without prior coordination with CONTECH Stormwater Solutions shall be considered unauthorized use of proprietary information.

THE VORSENTRY HS CONTROL SECTION SHALL BE STENCILED WITH THE CONTECH STORMWATER SOLUTIONS NAME AND LOGO. PIPE OPENINGS SHALL BE STENCILED "INLET" OR "OUTLET" AS APPROPRIATE.

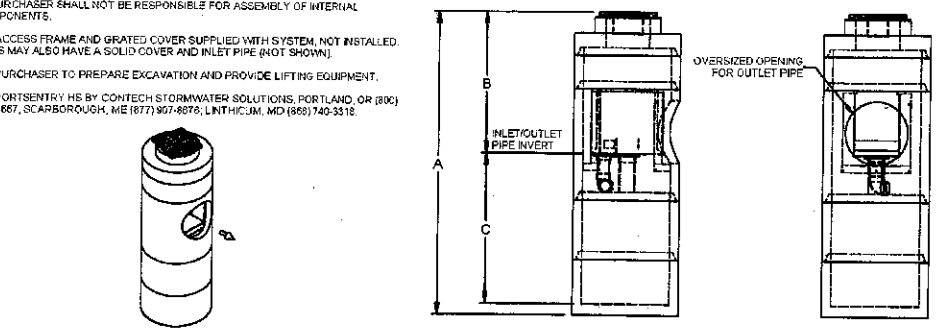


- NOTES:**
- ALL FILL BELOW IMPERVIOUS AREAS SHALL BE WITH SELECT GRANULAR SUBGRADE HISSDOT ITEM 203.00 FOR THE FULL DEPTH OF THE EXCAVATION. BACKFILL SHALL BE PLACED IN 6" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 - EXCAVATIONS IN EXISTING PAVED ROADWAYS SHALL BE COORDINATED WITH THE MUNICIPAL ENGINEER.
 - ALL EXCAVATION AND TRENCHING TO MEET OSHA REQUIREMENTS.



NOTE: ALL NUMBERS REPRESENT INCHES UNLESS OTHERWISE SPECIFIED

U	12	15	18	21	24	27	30	36	42	48	54	60
A	2	2-1/4	2-1/2	2-3/4	3	3-1/4	3-1/2	4	4-1/2	5	5-1/2	6
B	2	2-1/4	2-1/2	2-3/4	3	3-1/4	3-1/2	4	4-1/2	5	5-1/2	6
S	24	24	24	24	24	24	24	28	36	36	36	36
T	24	24	24	24	24	24	24	30	36	36	36	36
U	4	4	4	4	4	4	4	4	4	4	4	4
V	24	28	34	40	48	60	72	78	84	90	96	96
WT/FT (POD, HDS)	360	360	640	880	920	1200	1540	2100	5500	6300	6200	9300



CONTECH VORSENTRY HS 36-G STORMWATER TREATMENT SYSTEM
N.T.S.

VortSentry Model	Manhole Diameter (ID)		Total Treatment Flow Rate		Typical Total Distance Rim to Outside Bottom		Typical Distance Rim to Invert		Typical Depth Below Invert (Inside)		Approximate Minimum Distance Rim to Invert		Maximum Pipe Diameter (ID)	
	ft	mm	cfs	l/s	ft	m	ft	m	ft	mm	ft	mm	in	mm
HS36	3	900	0.55	15.6	10.16	3.10	4.08	1.24	5.5833	1702	3.00	0.91	18	450

SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
[Signature]
Chairman 6/14/2010

COPYRIGHT © 2008 MASER CONSULTING P.A. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF MASER CONSULTING P.A. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF MASER CONSULTING P.A. IS STRICTLY PROHIBITED.

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 203.00, SUB-DIVISION 4 OF THE NEW YORK STATE ENGINEERING LAW. IF YOU ARE NOT A REGISTERED PROFESSIONAL ENGINEER, YOU MUST OBTAIN A STATEMENT OF AUTHORITY FROM MASER CONSULTING P.A. BEFORE USING THIS DOCUMENT FOR ANY OTHER PROJECT. MASER CONSULTING P.A. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE USER ASSUMES ALL LIABILITY FOR ANY SUCH ERRORS OR OMISSIONS.

Andrew B. Fetherston
ANDREW B. FETHERSTON
NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073955

REV.	DATE	DRAWN BY	DESCRIPTION
1	09/29/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION

MASER CONSULTING P.A.
Consulting, Municipal & Environmental Engineers
Planners • Surveyors • Landscape Architects
State of N.Y. Certificate of Authorization: 0000172
E-mail: solutions@maserconsulting.com

NEWBURGH OFFICE
Suite 101
1607 Route 900
Newburgh, N.Y. 12550
Phone (845) 564-4495
Fax (845) 564-0278

Regional Offices
Red Bank, N.J.
Clark, N.J.
Hampton, N.J.
Logan, N.J.
Marmora, N.J.
Mt. Arlington, N.J.
Chestnut Ridge, N.Y.
Bethlehem, PA.

FINAL SITE PLAN
STORMWATER DETAILS
FOR
KRISTOPHER J. NOTO
SECTION 64, BLOCK 2, LOT P/O 8.2

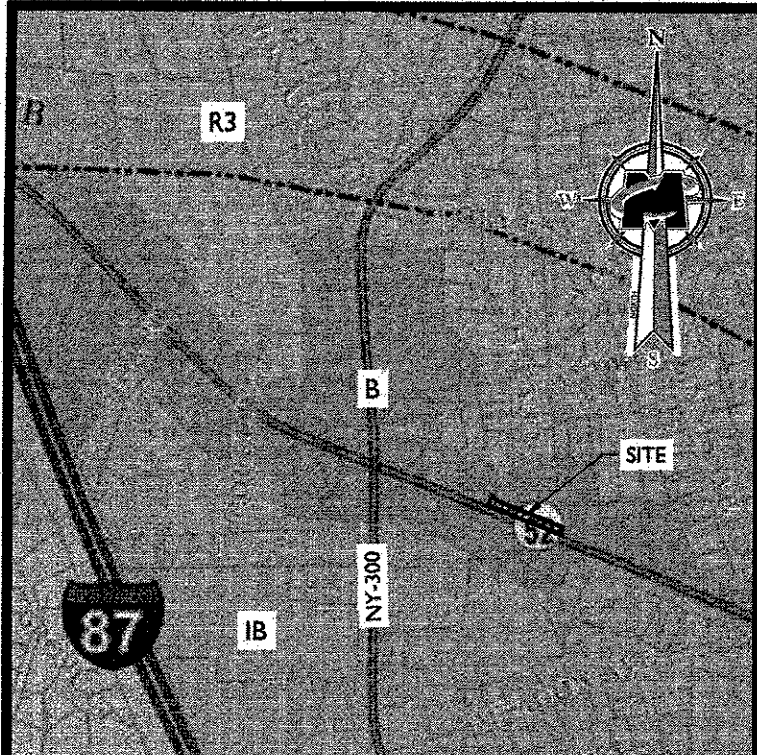
JOB NUMBER	DATE
06001525A	05/29/10

SCALE	LATEST REVISION
AS SHOWN	09/29/10

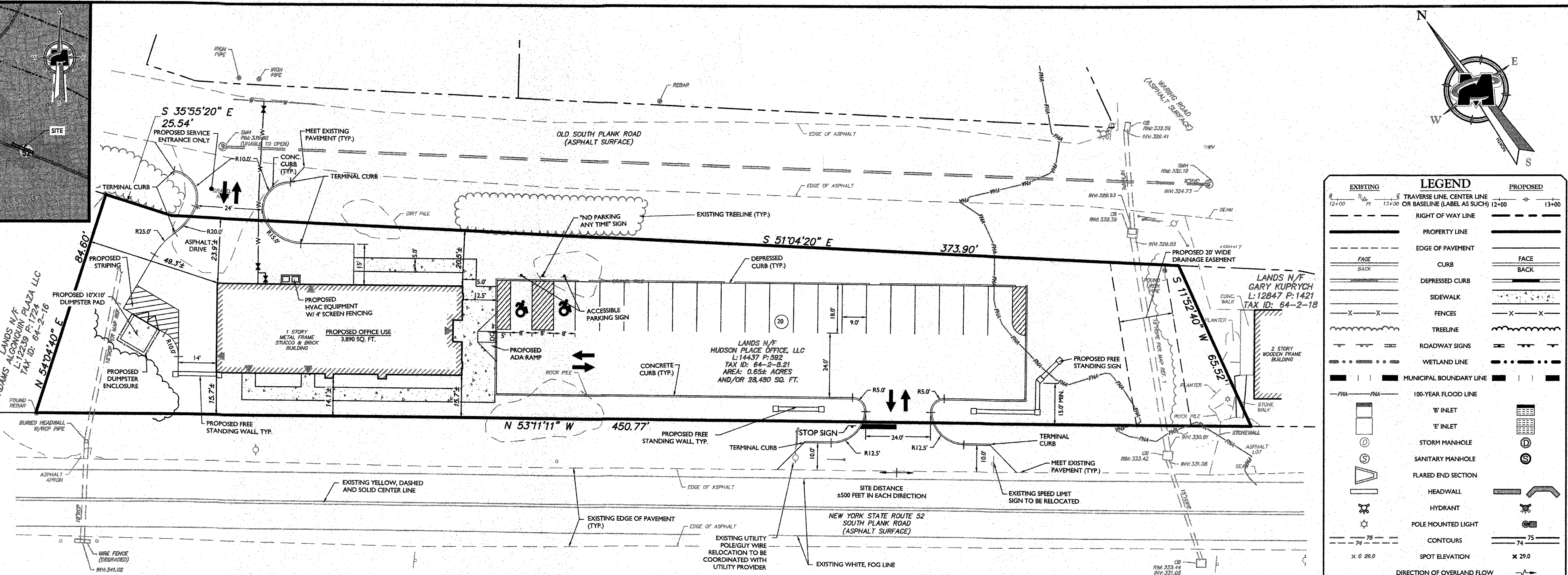
INDEX NUMBER	DESIGN BY
NB000966	JJS

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

9 of 9



VICINITY MAP
SCALE: 1" = 1,000'



LAYOUT PLAN

EXISTING		PROPOSED	
	RIGHT OF WAY LINE		RIGHT OF WAY LINE
	PROPERTY LINE		PROPERTY LINE
	EDGE OF PAVEMENT		EDGE OF PAVEMENT
	CURB		CURB
	DEPRESSED CURB		DEPRESSED CURB
	SIDEWALK		SIDEWALK
	FENCES		FENCES
	TREELINE		TREELINE
	ROADWAY SIGNS		ROADWAY SIGNS
	WETLAND LINE		WETLAND LINE
	MUNICIPAL BOUNDARY LINE		MUNICIPAL BOUNDARY LINE
	100-YEAR FLOOD LINE		100-YEAR FLOOD LINE
	"8" INLET		"8" INLET
	"15" INLET		"15" INLET
	STORM MANHOLE		STORM MANHOLE
	SANITARY MANHOLE		SANITARY MANHOLE
	FLARED END SECTION		FLARED END SECTION
	HEADWALL		HEADWALL
	HYDRANT		HYDRANT
	POLE MOUNTED LIGHT		POLE MOUNTED LIGHT
	CONTOURS		CONTOURS
	SPOT ELEVATION		SPOT ELEVATION
	DIRECTION OF OVERLAND FLOW		DIRECTION OF OVERLAND FLOW
	TOP OF CURB ELEVATION		TOP OF CURB ELEVATION
	BOTTOM OF CURB ELEVATION		BOTTOM OF CURB ELEVATION
	TOP OF DEPRESSED CURB ELEVATION		TOP OF DEPRESSED CURB ELEVATION

BULK TABLE:

	REQUIRED	PROVIDED	PROVIDED
MINIMUM:			
LOT AREA	15,000 SQ. FT.	28,480 SQ. FT.	OK
LOT WIDTH	100 FEET	420 FEET	OK
LOT DEPTH	125 FEET	±71 FEET	VARIANCE RECEIVED*
FRONT YARD (N.Y.S. RT. 52)	60 FEET	14.1 FEET	VARIANCE RECEIVED FOR 15.5' (AS-BUILT CONDITION 14.1', DIFFERENCE OF 1.4")
FRONT YARD (OLD SOUTH PLANK RD.)	40 FEET	20.5 FEET	VARIANCE RECEIVED FOR 20.7' (AS-BUILT CONDITION 20.5', DIFFERENCE OF 0.2")
SIDE YARD			
ONE	15 FEET	49.3 FEET	OK
BOTH	30 FEET	294.4 FEET	OK
REAR YARD	30 FEET	N/A	OK
MAXIMUM:			
BUILDING HEIGHT	35'	±26.2'	OK
LOT BUILDING COVERAGE (W/SEWER & WATER)	48%	10.5% (2,990 SQ. FT.)	OK
LOT SURFACE COVERAGE (W/SEWER & WATER)	85%	74.2% (21,134 SQ. FT.)	OK

* ZONING VARIANCE GRANTED SEPTEMBER 25, 2008 FOR THE ITEMS LISTED ABOVE. UPDATED VARIANCE WILL BE REQUIRED FROM THE ZONING BOARD OF APPEALS.

OWNER:
HUDSON PLACE OFFICE, LLC
P.O. BOX 14, 2317 MAIN STREET
BRIDGEHAMPTON, NY 11931

APPLICANT:
FARRELL BUILDING COMPANY
P.O. BOX 14, 2317 MAIN STREET
BRIDGEHAMPTON, NY 11931

PARKING REQUIREMENTS:

REQUIRED:
OFFICE USE PARKING = 1 SPACE PER 200 SQ. FT. FLOOR AREA = 1 SPACE x 3,890/200 SQ. FT. = 20 SPACES
20 PARKING SPACES REQUIRED

PROVIDED:

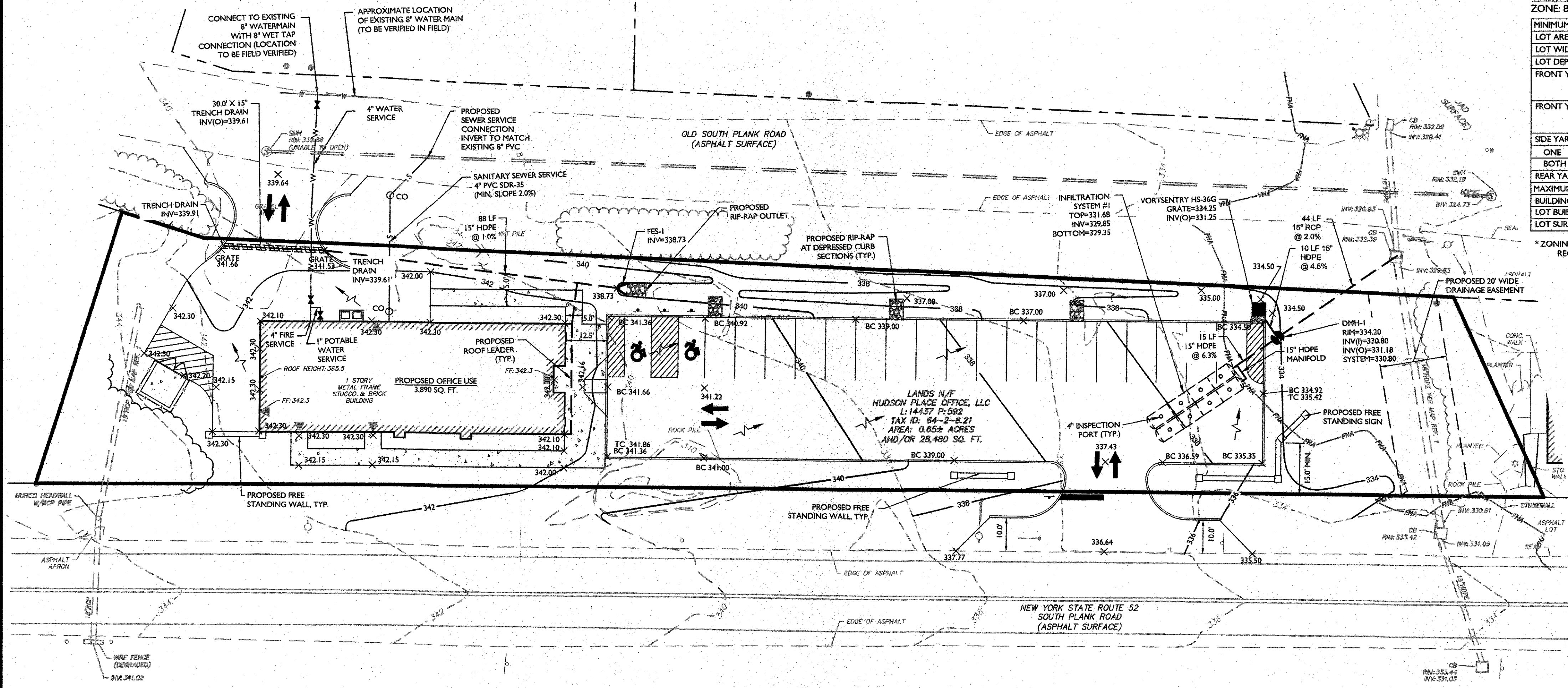
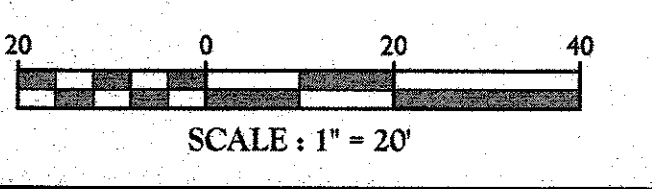
20 TOTAL PARKING STALLS (INCLUDING 2 HANDICAPPED SPACES)

NOTES:

- TAX LOT 64, BLK 2, LOT 8.21.
- PROJECT SITE 28,480 S.F. (±0.65 ACRES)
- ZONE: B (BUSINESS DISTRICT)
- PROPOSED USE: OFFICE BUILDING
- RECORD OWNER: HUDSON PLACE OFFICE, LLC
- APPLICANT: FARRELL BUILDING COMPANY
- FIRE DISTRICT: ORANGE LAKE
- SCHOOL DISTRICT: NEWBURGH
- THE 100 YEAR FLOOD PLAIN SHOWN HEREON IS TAKEN FROM THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NO. 360627 0139E, EFFECTIVE DATE: AUGUST 3, 2009; PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- ON SITE SOILS: UH (UDORTHENT) REFERENCED FROM THE SOIL SURVEY OF ORANGE COUNTY, NEW YORK
- SITE LANDSCAPE LIGHTING, AND EROSION & SEDIMENT CONTROL IMPROVEMENTS FOR THE PROJECT SITE SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED SITE PLANS DATED JUNE 14, 2011. THE CONTRACTOR SHALL PROVIDE THE PROJECT ENGINEER WITH THE NECESSARY SHOP DRAWINGS FOR REVIEW AND APPROVAL BEFORE INSTALLATION. FIELD ADJUSTMENTS MAY BE NECESSARY BASED ON FINAL SITE CONSTRUCTION AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES. ANY MODIFICATIONS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COORDINATE ANY DISCREPANCIES WITH THE PROJECT ENGINEER.

REFERENCE:

1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOW HEREON REFERENCED FROM A MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY FOR HUDSON PLACE OFFICE, LLC" PREPARED BY MASER CONSULTING, P.A. DATED 12/28/2010.



GRADING, DRAINAGE & UTILITY PLAN

MASER CONSULTING, P.A.
Customer Loyalty Through Client Satisfaction
www.maserconsulting.com
Engineers • Planners • Surveyors
Landscape Architects • Environmental Scientists

Office Locations:

- Red Bank, NJ
- Clinton, NJ
- Egg Harbor, NJ
- Farmville, VA
- Laurens, SC
- Albany, NY
- New Windsor, NY
- Weschester, NY
- Charlotte, NC
- Raleigh, NC
- Lehigh Valley, PA
- Easton, PA
- Philadelphia, PA
- Pittsburgh, PA
- Tampa, FL
- Orlando, FL
- Miami, FL
- Jacksonville, FL
- Sebring, VA
- Norfolk, VA
- Abingergo, NM
- Columbia, MD

State of N.Y. Certificate of Authorization: 0008571 / 0008821

811 PROTECT YOURSELF!
ALL STATES REQUIRE NOTIFICATION OF UTILITY LOCATIONS. ON ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE NOTIFY IN ANY STATE.
Know what's below.
Call before you dig.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DESCRIPTION

LANDSCAPE ARCHITECT SEALS
JUSTIN E. DATES
NEW YORK REGISTERED
LANDSCAPE ARCHITECT - LICENSE NUMBER: 001964

AMENDED SITE PLAN
FOR
FARRELL BUILDING COMPANY
SECTION 64
BLOCK 2
LOT 8.21
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK STATE

NEW WINDSOR OFFICE
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
Fax: 845.567.1025

SCALE: AS SHOWN DATE: 01/22/2019 DRAWN BY: CDR CHECKED BY: JED
PROJECT NUMBER: 060013298 DRAWING NAME: C-GRAD
SHEET TITLE: SITE PLAN
SHEET NUMBER: 1 of 1

GENERAL NOTES

LUMBER

- ALL LOAD BEARING DIMENSION LUMBER SHALL BE IDENTIFIED BY A GRADE MARK OF AN APPROVED INSPECTION AGENCY. ALL JOISTS, GIRDERS, INTERIOR AND EXTERIOR STUD WALLS SHALL BE SPF OR BETTER.
- ALL 2" LUMBER SHALL BE SEASONED TO 19% MAXIMUM MOISTURE CONTENT.
- ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED PER ANFA C1-C4, C4, C5, C18, C22-C24, C28, P1-P3.
- GLUE-LAMINATED MEMBERS SHALL BE DOUGLAS FIR-LARCH OR EQUAL, CONFORMING WITH THE AITC 117-82 AND PS-56-75 FABRICATED WITH KET-USE ADHESIVE.
- ALL PLYWOOD SHALL BE IDENTIFIED BY GRADE MARK OF AN APPROVED INSPECTION AGENCY & SHALL BE STANDARD EXPOSURE 1, D-GRADE, APA RATED UNLESS OTHERWISE SPECIFIED ON DRAWINGS.
- LIGHT TIMBER DECKING SHALL BE CONSTRUCTED WITH 2" TONGUE AND GROOVE PLANK COMMERCIAL DECKING GRADE MARKED BY AN APPROVED INSPECTION AGENCY. DECKING SHALL BE LAID IN ACCORDANCE WITH SECTION 2517 (E3) UBC.
- ALL LUMBER SHALL HAVE A MIN. PD AND E AS FOLLOWS:

BEAMS/GIRDERS	HEADERS	TYP. LUMBER - USE EQUIVALENT OR BETTER
JOISTS, RAFTERS, TRIMMERS	STUDS	(SPF #1) (SPF #2)
- WOOD JOISTS SHALL HAVE THE APA-EP5 FRI TRADEMARK. CONTRACTOR TO FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS, DETAILS, AND SPECIFICATIONS - NO EXCEPTIONS. WOOD JOISTS SHALL BE USED IN CONJUNCTION WITH PARTNER MATERIALS SUCH AS APA RIM BOARDS, SQUARE BLOCKS, ETC.
- LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS ARE TO BE 20E WITH A BASE PD-2850. EXCEPT FOR CUTTING TO LENGTH, LVL BEAMS ARE NOT TO BE CUT, DRILLED, OR NOTCHED EXCEPT AS NOTED IN MANUFACTURER'S LITERATURE. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDATIONS AND DETAILS IN INSTALLATION CONNECTIONS PER MANUFACTURER.

FRAMING

- ALL STUD WALLS SHOWN ON DRAWINGS SHALL HAVE 2X4 STUDS INTERIOR, 2X6 EXTERIOR, FLAGED 16" O.C. EXCEPT WHERE SHOWN.
- TOP PLATES SHALL BE DOUBLED ON ALL STUD WALLS. END JOINTS IN TOP PLATES SHALL BE OFFSET MIN. 24". STUDS SHALL HAVE FULL BEARING ON 2X OR LARGER PLATE OR SILL HAVING GREATER THAN OR EQUAL TO WIDTH OF STUDS.
- BEAMS, GIRDERS, AND JOISTS SUPPORTING BEARING WALLS OR OTHER CONCENTRATED LOADS SHALL NOT BE NOTCHED. JOISTS, EXCEPT AS ABOVE, MAY BE NOTCHED NO DEEPER THAN 1/4" THE DEPTH, AT TOP EDGE ONLY, PROVIDED SUCH NOTCH IS LOCATED WITHIN 1/8" TO 1/4" OF SPAN FROM FACE OF SUPPORT. SAWCUTS FOR NOTCHES SHALL NOT OVERRUN DEPTH OF NOTCH. HOLES IN JOISTS, BEAMS AND GIRDERS SHALL NOT BE LARGER IN DIAMETER THAN 1/10 THE DEPTH OF THE MEMBER AND SHALL BE LOCATED WITHIN CENTER HALF OF THE SPAN. ALL HOLES SHALL BE CENTERED WITHIN DEPTH OF MEMBER. HOLES AND NOTCHES IN STUDS SHALL BE LOCATED WITHIN 1/3 OF HEIGHT FROM EITHER TOP OR BOTTOM BUT NO CLOSER THAN 8" FROM PLATES. HOLES & NOTCHES IN STUDS SHALL NOT EXCEED 1" IN DIAMETER OR DEPTH. STUDS IN EXTERIOR WALLS SHALL NOT BE NOTCHED.

- INSTALL ALL HORIZONTAL MEMBERS WITH CROWN UP.
- ALL RAFTERS SHALL BE NOTCHED FOR RILL BEARING AT ALL SUPPORTS. THE ENDS OF EACH RAFTER OR CEILING JOIST SHALL HAVE MINIMUM BEARING 1/2" ON WOOD OR 3" ON CONCRETE OR MASONRY.
- ALL JOISTS SHALL HAVE MINIMUM OF 2" BEARING AT WOOD SUPPORTS. LAPPING JOISTS SHALL HAVE 6" LAPS CENTERED OVER INTERIOR SUPPORTS. ALL SUPPORTS ON CONCRETE OR MASONRY NOT BE LESS THAN 3".
- LEDGERS AND STUD WALL FOUNDATION SILL PLATES SHALL BE BOLTED TO CONCRETE WITH ANCHOR BOLTS.
- PROVIDE SOLID WOOD BLOCKING BELOW ALL HEADERS, BEAMS, LINTELS, ETC. PROVIDE 3/8" DIA. LAG BOLTS 2' O.C. AT ALL DECK LEDGES OF ADEQUATE LENGTHS TO EMBED 3" MIN. INTO STRUCTURAL FRAMING.
- PROVIDE CROSS BRACINGS BETWEEN ALL JOISTS IN SPANS EXCEEDING 8 FEET.
- ALL HEADERS SHALL BE (2) 2X10 WITH MINIMUM 2 JACK STUDS EACH SIDE UNLESS OTHERWISE SPECIFIED ON DRAWINGS.
- CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS HAVE BEEN PERMANENTLY CONNECTED TOGETHER.
- FRAMING CONTRACTOR SHALL INSTALL BLOCKING FOR RAILINGS, CABINETS, LADDERS FOR INSULATION AT INTERSECTING WALLS, STRONGBACKS IN CEILING OF GABLE AND HIP ROOFS, AND SHIM BETWEEN STAIR STRINGERS.
- INSTALL FIRE STOPPING BETWEEN FLOOR JOISTS AT 10' INTERVALS AND IN WALLS AT 8' INTERVALS.

FRAMING CONNECTIONS

- ANCHOR ALL SUDS AT DOOR OPENINGS, ENDS AND CORNERS OF WALLS WHICH ARE SHEATHED WITH PLYWOOD AND OR GYPSUM BOARD TO BOTTOM PLATE WITH 2 SIMPSON A-35 FRAMING ANCHORS.
- ALL MANUFACTURED CONNECTION HARDWARE SHALL BE INSTALLED AND FULL NAILED IN CONFORMANCE TO MANUFACTURER'S INSTRUCTIONS AND APPLICABLE ICBO APPROVALS.
- ALL STEEL CONNECTION ASSEMBLIES DETAILED ON DRAWINGS SHALL BE FABRICATED FROM ASTM A50 STEEL IN CONFORMANCE WITH APPLICABLE REQUIREMENTS OF AISC "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" HOLDING SHALL CONFORM TO AISI D11.
- INSTALL LAG SCREWS IN DRILLED LEAD HOLES WITH A DIAMETER EQUAL TO 3/4 OF THE SHANK DIA. (LAG SCREWS SHALL NOT BE HAMMERED IN) WAX OR SOAP LAG SCREWS. PROVIDE WASHERS UNDER HEADS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED.
- BOLT HOLES SHALL BE DRILLED 1/16" LARGER THAN BOLT DIAMETER. PROVIDE WASHERS UNDER ALL BOLT HEADS AND NUTS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED. IN NO CASE SHALL MISALIGNMENT BE ALLOWED. BOLTS SHALL BE A307 BOLTS. NUTS SHALL BE TIGHTENED 2/3.

WINDOWS AND DOORS

- FRAMING CONTRACTOR SHALL INSTALL FIELD MADE FLASHING UNDER DOORS & SHALL CAULK SILLS & FLANGES WHEN INSTALLING.
- ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- INSTALL FIELD BENT DRIP EDGE ABOVE ALL DOORS & WINDOWS. CAULK BETWEEN ALL CHANNELS & ADJUST DOOR & WINDOW FRAMES.

SHEATHING

- ALL PLYWOOD WALL SHEATHING SHALL BE APPLIED AS FOLLOWS: CENTER VERTICAL JOINTS OVER STUDS AND CENTER HORIZONTAL JOINTS OVER 2" BLOCKING OR PLATE. NAIL TOP OF PANELS TO DOUBLE TOP PLATE AND NAIL BOTTOM OF PANELS TO ANCHORED SILL PLATE. APPLY GYPSUM BOARD SO THAT END JOINTS OF ADJACENT COURSES DO NOT OCCUR OVER THE SAME STUD.
 - PLYWOOD SUB-FLOOR AND ROOF SHEATHING: INSTALL WITH FACE GRAIN AT RIGHT ANGLES TO SUPPORTS, CONTINUOUS OVER TWO (2) OR MORE SPANS). ALLOW MINIMUM SPACE 1/16" BETWEEN 5/16" TO 1/2" 6d COMMON (8d FOR ROOF) OR 1-1/2" RING SHANK NAILS 6" O.C. @ EDGES AND 8" O.C. EACH WAY IN FIELD 5/8" TO 3/4" 6d COMMON OR 1-1/2" RING SHANK NAILS 6" O.C. @ EDGES & 8" O.C. EACH WAY IN FIELD
- BUILDING FELT -
 - COVER SURFACES BEHIND SIDING, SHINGLES, AND WHERE INDICATED ON DRAWINGS WITH ASPHALT SATURATED, NON-PERFORATED, FELT WITHOUT WRINKLES OR BUCKLES. LAP HORIZONTAL JOINTS 3", 6" AT VERTICAL JOISTS AND CARRY INTO OPENINGS, UP WALLS 12" AND DOWN SIDES 6" MINIMUM. LOGATE END LAPS AT LEAST 18" FROM INTERNAL AND EXTERNAL CORNERS.
 - ALL ROOFS WITH ASPHALT SHINGLES AND SLOPES BETWEEN 3/8 AND 3/4 SHALL HAVE DOUBLE UNDERLAYMENT APPLICATION.

INSULATION

- MINIMUM INSULATION LEVELS ARE DESCRIBED IN THE "BUILDING ENVELOPE THERMAL COMPONENT CRITERIA CHART". THIS CHART HAS BEEN SPECIFICALLY DESIGNED FOR THIS PROJECT IN A SPECIFIC LOCATION, BASED ON ONE OF THE ACCEPTABLE APPROACHES DESCRIBED IN THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
- COLD WALLS: PORTION OF BUILDING BETWEEN LIVING SPACE AND UNHEATED GARAGE, STORAGE ROOM AND PORTION OF WALL ABOVE CEILING OF AN ADJACENT SECTION OF A SPLIT-LEVEL DWELLING TO BE INSULATED SAME AS ROOF, WALLS, OR FLOOR OF DWELLING.

VAPOR BARRIERS: EITHER "A", "B", "C", "D" IS MANDATORY.

- ALL WALLS AND CEILINGS TO BE PAPER-BACKED ONE SIDE INSULATION
 - FOIL-BACKED GYPSUM BOARD ON THE INSIDE SURFACE OF EXTERIOR WALLS WITHOUT FOIL-BACKED INSULATION
 - POLYETHYLENE APPLIED ACROSS THE INSIDE OF STUDS WITHOUT FOIL-BACKED INSULATION
 - IN CRANE SPACES PROVIDE 6 MIL BACK POLYETHYLENE SHEETS OR "MOISTOP" OVER ENTIRE GROUND AREA AND UP THE EXTERIOR FOUNDATION WALLS TO THE MUDSILLS. WALL INSULATION (IF SHOWN ON DRAWINGS) TO BE APPLIED OVER THE POLYETHYLENE VAPOR BARRIER. PROVIDE 12" MIN. LAPS BETWEEN TWO SECTIONS OF VAPOR BARRIER AND TAPE TIGHT.
4. FIRE HAZARDS: WHEN PLASTIC FOAMS ARE USED IN ANY INTERIOR APPLICATIONS A FIRE BARRIER MUST BE APPLIED OVER THE UNPROTECTED FOAM SURFACE. COVERINGS USED FOR PROTECTION SHOULD BE CHOSEN FOR THEIR FIRE PROTECTION OF THE FOAM, I.E. GYPSUM WALLBOARD

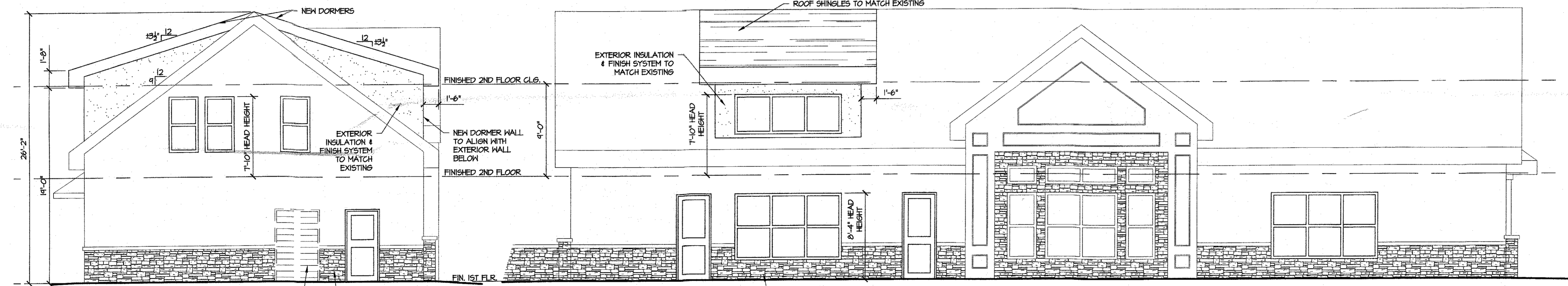
GYPSUM DRYWALL

- GYPSUM BOARD WORK AND MATERIALS SHALL MEET ALL REQUIREMENTS OF ANSI A-1 FOR THE "APPLICATION AND FINISHING OF WALLBOARD" JOINT COMPOUND SYSTEM MIXED, APPLIED AND FINISHED IN COMPLIANCE WITH MANUFACTURER'S PRINTED DIRECTIONS TO BE INVISIBLE AFTER FINISHED, INCLUDING ALL METAL CORNER BEADS AND TRIM.
- GYPSUM WALLBOARD ON STUD WALLS: COOLER NAILS AT 7" O.C. ALL STUDS, PLATES AND BLOCKING, USE 5d NAILS WITH 1/2" WALLBOARD AND 6d NAILS WITH 5/8" WALLBOARD. SCREWS SHALL BE TYPE N OR S AND SHALL PENETRATE THE WOOD NOT LESS THAN 3/4".

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER 8 NYCRR 64.56

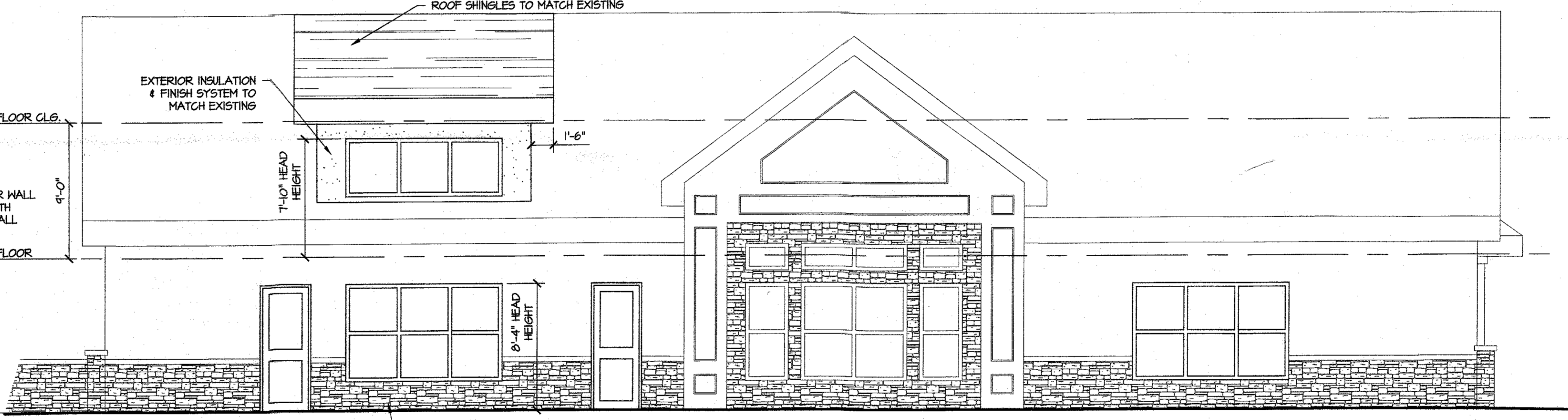
ELEVATION NOTES

- BUILDER SHALL VERIFY ALL EXISTING CONDITIONS. EXISTING CONDITIONS HAVE BEEN APPROXIMATED FROM BEST INFORMATION AVAILABLE FOR PURPOSES OF THESE ELEVATIONS. THE INTENT OF THE DESIGN IS SHOWN HERE - BUILDER TO ADAPT AS REQUIRED.
- NEW STRUCTURE AND AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE FINISH MATERIALS INCLUDING SOFFIT, TRIM, ETC. TO MATCH EXISTING FINISHES.
- DESIGN INTENTIONS ARE ILLUSTRATED BY ELEVATIONS AND ARE TO BE FOLLOWED.
- BUILDER SHALL MATCH EXTERIOR SIDING, SOFFIT AND FASCIA DETAILS AND TRIM AS CLOSELY TO EXISTING AS POSSIBLE.



REAR ELEVATION

SCALE: 3/16" = 1'-0"

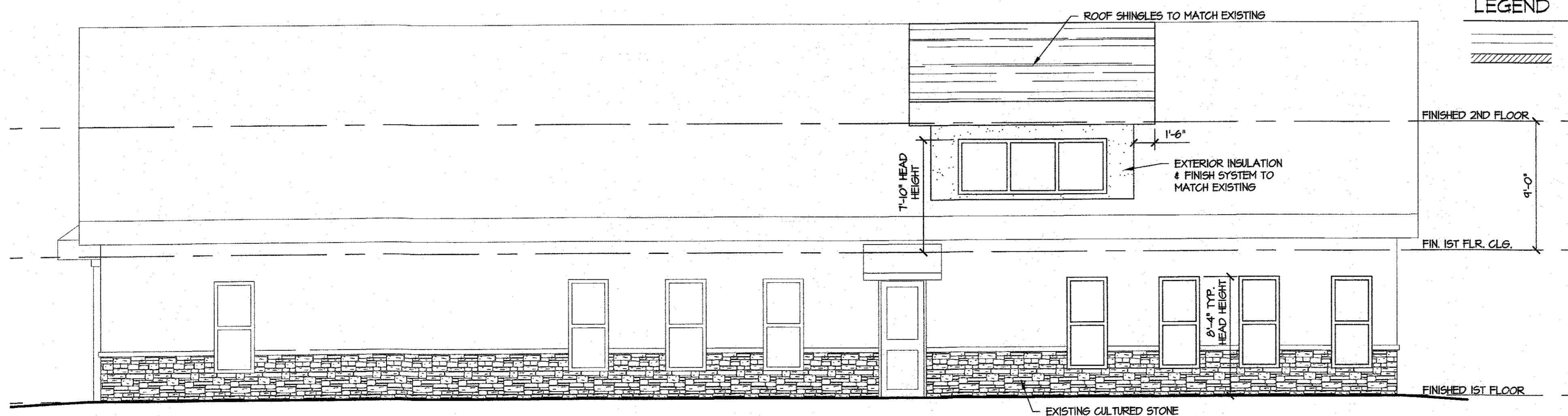


LEFT ELEVATION

SCALE: 3/16" = 1'-0"

LEGEND

- EXISTING TO REMAIN
- NEW FRAME CONSTRUCTION



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS



LINDA J. ZWART
ARCHITECT

31 MEADOWOOD ROAD
MONTGOMERY, NY 12544
845-361-2464

LICENSED, NEW YORK STATE

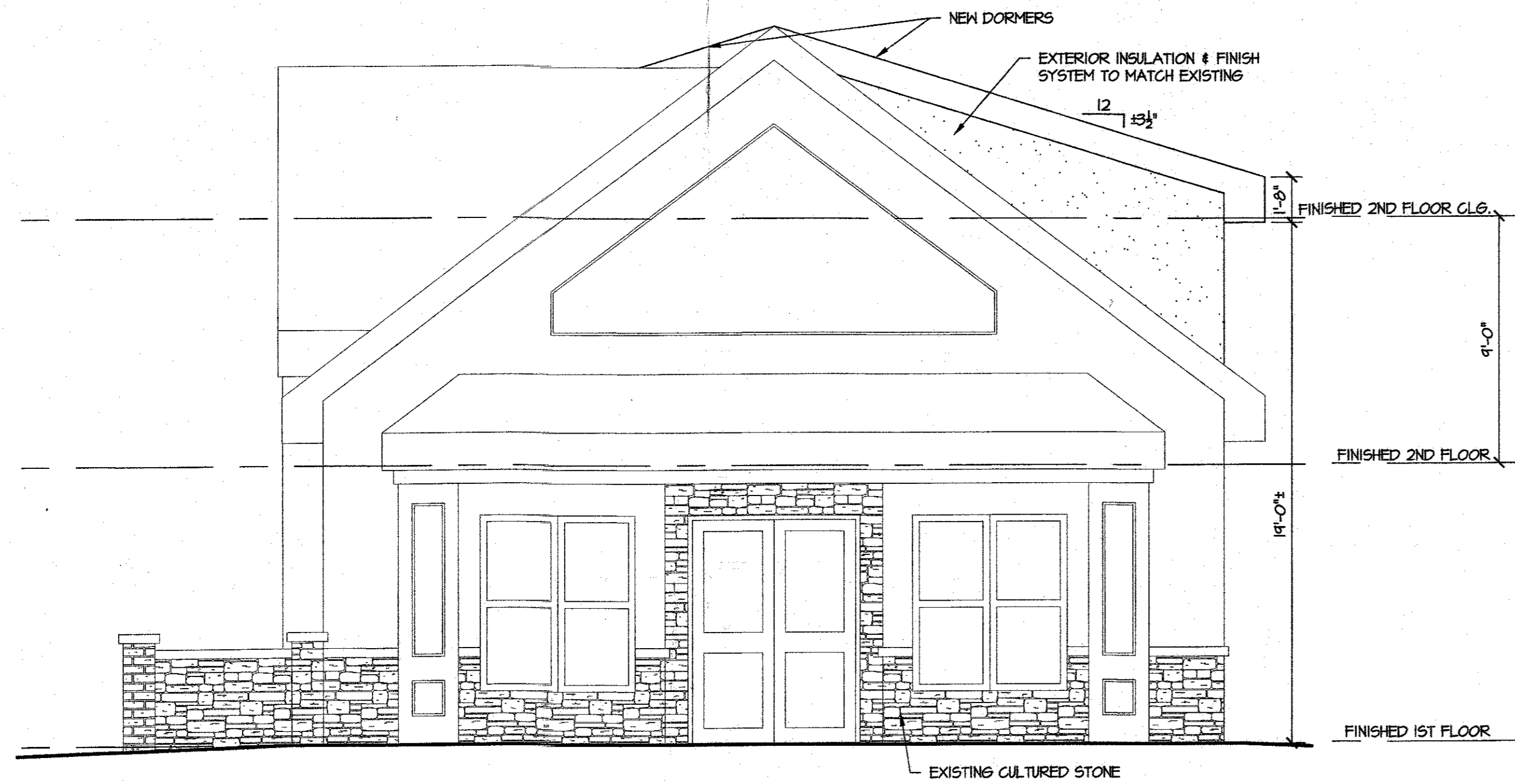
S/B/L/ 64/2/P08.2
SOUTH PLANK ROAD
ADDITION & ALTERATION OF EXISTING SPACE FOR
FARRELL BUILDING COMPANY

TOWN OF NEWBURGH
COUNTY OF ORANGE, NY

GENERAL NOTES & ELEVATIONS

DATE: 01 OCT 2018
JOB# 1825

2 OF 6

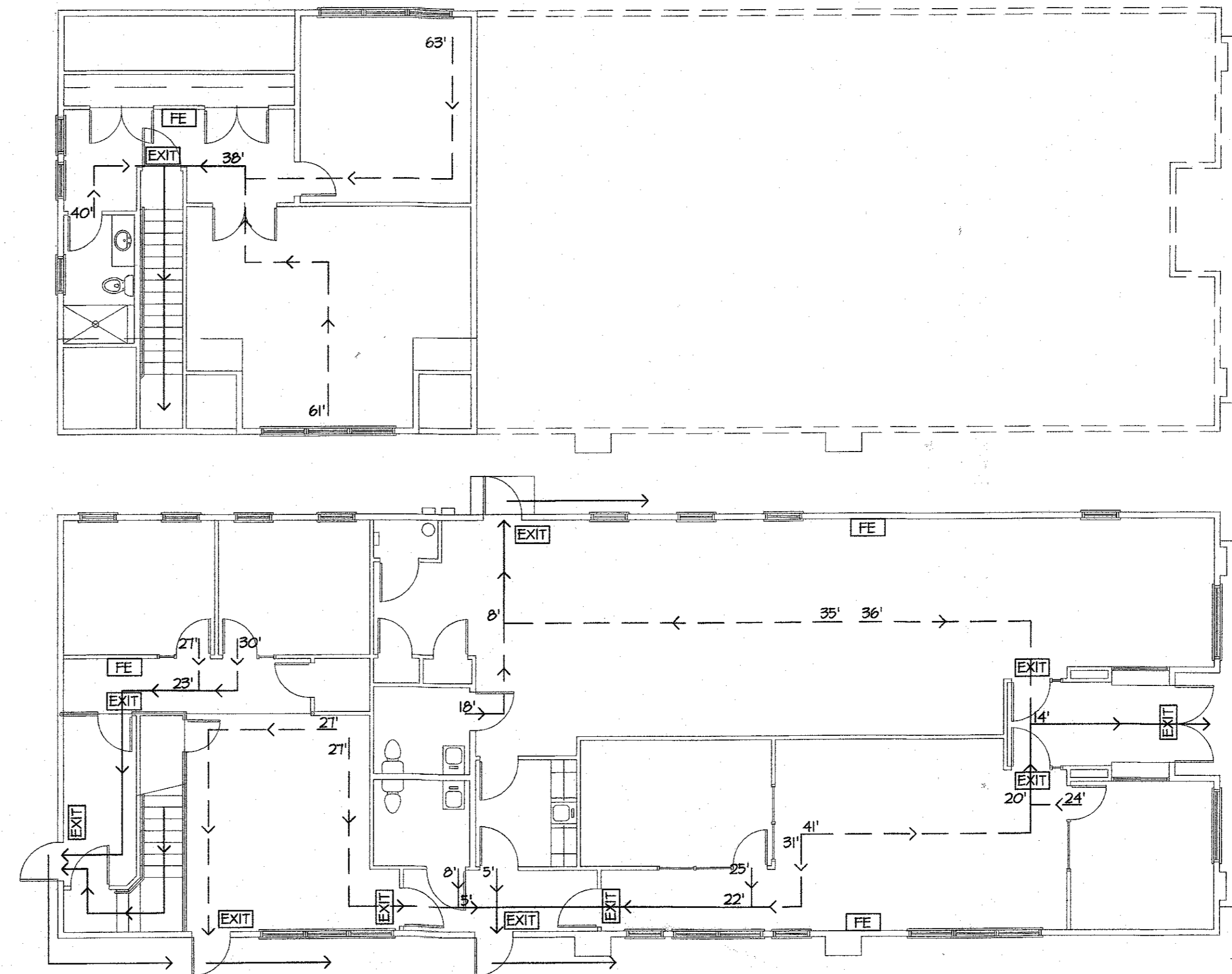


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

LEGEND

NEW CONSTRUCTION
EXISTING



LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

LEGEND

60' TOTAL EXIT TRAVEL DISTANCE
60' COMMON PATH OF TRAVEL
FE FIRE EXTINGUISHER
EXIT EXIT SIGN
EXT EXTERIOR PATH OF TRAVEL

ALL FIRE EXTINGUISHERS IN SHALL BE INSTALLED IN SEMI-RECESSED WALL CABINETS
FIRE EXTINGUISHERS SHALL BE A MINIMUM 2A RATED, 5 LB. UNIT TYPICAL OF KIDDE MODEL 5MB-6H-KFF OR ACCEPTABLE EQUAL

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYCRR 64.5b

SQUARE FOOTAGE

EXISTING	
1ST FLOOR	2475 SF
NEW CONSTRUCTION	
2ND FLOOR	845 SF
TOTAL AREA	3320 SF

SCOPE OF WORK

CHANGE OF USE FROM ASSEMBLY WITHOUT FIXED SEATS TO BUSINESS.
EXTERIOR CHANGES WILL INCLUDE TWO NEW 2ND FLOOR DORMERS.
INTERIOR CHANGES WILL INCLUDE BUILD OUT FOR 3 OFFICE SUITES

LIST OF DRAWINGS

- FRONT ELEVATION, CODE REQS & LIFE SAFETY PLAN
- ELEVATIONS, GENERAL NOTES
- FIRST FLOOR PLAN & SCHEDULES
- SECOND FLOOR PLANS & WALL SECTIONS
- 1ST FLOOR ELECTRICAL & LIGHTING PLANS
- PLUMBING PLANS

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS

CODE REQUIREMENTS

CHANGE OF USE: PRIMARY OCCUPANCY FROM ASSEMBLY WITHOUT FIXED SEATING (A-2) TO BUSINESS (B)
CONSTRUCTION TYPE: VB, SPRINKLERED

ALLOWED (TABLE 503)	PROPOSED
MAX HEIGHT: 40, 3 STORIES	26, 2 STORY
AREA: 21,000 SF	3940 SF

506 AREA MODIFICATIONS:
INCREASES ALLOWED BUT NOT REQUIRED

FIRE RESISTANCE RATINGS:
TABLE 601 THERE IS NO FIRE RESISTANCE RATING REQUIRED FOR BUILDING ELEMENTS IN TYPE VB CONSTRUCTION
TABLE 602 FIRE RESISTANCE RATING FOR EXTERIOR WALLS IN GROUP VB WITH A FIRE SEPARATION DISTANCE OF GREATER THAN 30' = 0

FIRE RESISTANCE RATED CONSTRUCTION:
TABLE 705.0 THERE IS NO LIMIT TO EXTERIOR WALL OPENINGS
706 FIRE WALLS ARE NOT REQUIRED
707 FIRE BARRIERS ARE NOT REQUIRED
718.4 DRAFTSTOPPING IN ATTIC IS NOT REQUIRED

CHAPTER 8 INTERIOR FINISHES

TABLE 803.5 INTERIOR WALL & CEILING FINISH REQUIREMENTS BY OCCUPANCY (SPRINKLERED)

GROUP	VERTICAL EXITS & EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS & OTHER EXITS	ROOMS & ENCLOSED SPACES
B	B	C	C

CHAPTER 9 FIRE PROTECTION SYSTEM

906 PORTABLE FIRE EXTINGUISHERS ARE REQUIRED
ORDINARY HAZARD OCCUPANCY PER NFPA 101
MAX. 75' TRAVEL DISTANCE TO EXTINGUISHER
MAX. 11,250 SF FLOOR AREA PER EXTINGUISHER
MIN. 2A RATED EXTINGUISHER
MAX. FLOOR AREA OF BOOFS/RAFT OF "A"
907.2.1 AN AUTOMATIC FIRE ALARM AND DETECTION SYSTEM IS REQUIRED IN COORDINATION OF AUTOMATIC SPRINKLER SYSTEM AND MANUAL FIRE ALARM SYSTEM REQUIRED
908 EMERGENCY ALARM SYSTEM NOT REQUIRED
909 SMOKE CONTROL SYSTEM NOT REQUIRED
910 SMOKE AND HEAT VENTS NOT REQUIRED
911 FIRE COMMAND CENTER NOT REQUIRED

CHAPTER 10 MEANS OF EGRESS

TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES / OCCUPANT

OCCUPANCY/USE	FLOOR AREA (SF/OCCUPANT)	GROSS AREA (SF)	OCCUPANT LOAD
BUSINESS	100	1ST FLOOR 2445 2ND FLOOR 845	30 1
TOTAL:			31

1005 EGRESS WIDTH / OCCUPANT SERVED
STAIRWAY: REQUIRED WIDTH = 3', PROVIDED = 40"
DOOR/CORRIDOR: REQUIRED WIDTH = 6', PROVIDED = 36" OR GREATER

TABLE 1006.2.1 MAXIMUM COMMON PATH OF EGRESS TRAVEL FOR BUSINESS WITH SPRINKLER SYSTEM = 75'

TABLE 1006.2.2 MAXIMUM COMMON PATH OF EGRESS TRAVEL FROM FIRST STORY ABOVE GRADE WITH ONE EXIT FOR BUSINESS = 75'

1011.2 EXCEPTION 1 - STAIRWAYS SERVING OCCUPANT LOAD ≤ 50 SHALL BE ≥ 36"

1005 STAIR RISER HEIGHT SHALL BE 7" MAX AND 4" MIN, TREAD WIDTH SHALL BE 11" MINIMUM

1023 INTERIOR EXIT STAIRWAY
INTERIOR STAIR AS PART OF EGRESS COMPONENT SHALL BE ENCLOSED WITH 1 HR FIRE RATING

1104 ACCESSIBILITY
THE SECOND FLOOR HOUSES ONLY 2 OFFICES - TOTAL OCCUPANCY WILL NOT EXCEED 5 PEOPLE WITHOUT PUBLIC USE SPACE THEREFORE 2ND FLOOR DOES NOT NEED TO BE ACCESSIBLE

CHAPTER 16 STRUCTURAL DESIGN

1602 DEAD LOADS:
FLOOR DEAD LOAD = 15 PSF
ROOF DEAD LOAD = 15 PSF

TABLE 1604.5, CATEGORY I, IMPORTANCE FACTORS:
SEISMIC FACTOR = 1.00
SNOW FACTOR = 1.0
WIND FACTOR = 1.00

TABLE 1607.1 UNIFORMLY DISTRIBUTED LIVE LOADS
OFFICES 20 PSF
STAIRS 100 PSF
CORRIDORS ABOVE 1ST FLOOR 80 PSF

1608 SNOW LOADS:
GROUND SNOW LOADS = 30 PSF (NEWBURGH, NY)
TERRAIN CATEGORY: B
SNOW EXPOSURE FACTOR = 1.0
THERMAL FACTOR = 1.0
SLOPED ROOF SNOW LOAD = 21.5 PSF
UNBALANCED SNOW LOAD FOR HIP AND GABLE ROOFS = 28 PSF

1609 WIND LOADS
3 SECOND GUST WIND SPEED = 90 MPH (NEWBURGH, NY)
EXPOSURE CATEGORY: B

1615 EARTHQUAKE LOADS
SEISMIC USE GROUP = I
SPECTRAL RESPONSE COEFFICIENTS S_{ds} = .52 S_{d1} = .14
SITE CLASS = D
BASIC SEISMIC-FORCE-RESISTING SYSTEM
DESIGN AND BASE SHEAR = 4.82

GENERAL NOTES

- DO NOT SCALE DIMENSIONS
- THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE AND THE 2015 ENERGY CONSERVATION CONSTRUCTION CODE. SEE "BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION.
- ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE BUILDING CODE OF NEW YORK STATE AND THE ENERGY CONSERVATION CODE OF NEW YORK STATE.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN, AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE.
- WORK THESE DRAWINGS IN CONJUNCTION WITH THE SPECIFICATIONS, ETC. ARCHITECTURAL DRAWINGS WILL NOT INCLUDE REQUIRED MECHANICAL PENETRATIONS, CUT OUTS, ETC.
- CALL UNDERGROUND UTILITY CALL CENTER 48 HOURS PRIOR TO THE START OF ANY EXCAVATION. VERIFY AND PROTECT EXISTING UTILITIES.
- ALUMINUM ENTRANCE UNITS AND STOREFRONT AS ILLUSTRATED TO BE THERMAL BREAK IN DARK BRONZE ANODIZED FINISH.
- MECHANICAL ROOMS SHALL BE VENTED TO EXTERIOR TO PROVIDED SUFFICIENT COMBUSTION AIR PRESCRIBED BY HEATING UNIT MANUFACTURER.
- ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH SECTION 714 OF THE BUILDING CODE OF NYS WITH FLAME SPREAD INDEX OF ≤ 25 AND A SMOKE DEVELOPED INDEX OF ≤ 450. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION.
- SPRAY FOAM INSULATION SYSTEMS FOR THIS PROJECT SHALL BE TYPICAL OF SYSTEMS II-001 & II-002, AS MANUFACTURED BY NCFI POLYURETHANES. THESE SYSTEMS MEET ALL REQUIREMENTS OF THE BUILDING CODE OF NYS SECTION 2603
- ALL SPACES TO BE FULLY SPRINKLERED IN ACCORDANCE WITH NYS BUILDING CODE AND NFPA 13
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID.
A. IF ALTERED
B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED
C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT/OWNER.
- STAIR TREAD MINIMUM WIDTH SHALL BE 11" PLUS 1/8" NOSING FOR A CLOSED STAIRWAY. MAXIMUM RISER HEIGHT SHALL BE 7". TOLERANCE ON TREAD AND RISER SHALL NOT EXCEED 1/8" MINIMUM HEADROOM OVER ANY PORTION OF THE FIXED STAIRWAY SHALL NOT BE LESS THAN 6'-8". ALL STAIRS SHALL HAVE CONTINUOUS RAILINGS 2'-10" TO 3'-2" ABOVE NOSING.



LINDA J. ZWART
ARCHITECT

31 MEADOWOOD ROAD
MONTGOMERY, NY 12544
845-361-2164

LICENSED, NEW YORK STATE

S/B/L/ 64/2/P08.2
SOUTH PLANK ROAD

ADDITION & ALTERATION OF EXISTING SPACE FOR:
FARRELL BUILDING COMPANY

TOWN OF NEWBURGH
COUNTY OF ORANGE, NY

FRONT ELEVATION
CODE REQUIREMENTS

DATE: 31 OCT 2018

JOB# 1825