



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

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Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: MCDONALDS ROUTE 32-NORTH PLANK ROAD
PROJECT NO.: 17-26
PROJECT LOCATION: SECTION 1, BLOCK 1.1, LOT 76
REVIEW DATE: 30 OCTOBER 2017
MEETING DATE: 02 NOVEMBER 2017
PROJECT REPRESENTATIVE: HARRIS BEACH/BOHLER ENGINEERING- WARREN NJ

1. A demolition permit is required from the Town of Newburgh Building Department. Reference to this requirement shall be placed on the demolition plan sheet C-3.
2. Variances are required as identified in the submission letter. Front yard setback Route 32 60 feet required, 57.1 foot proposed. Exit/entrance for off street parking within 150 feet of an intersection 150 feet required, 120.8 proposed Town Code 185-13(D)(6)(b). One off street loading site required, 0 proposed Town Code section 185-13 (B) (6). Drive thru aisle exiting to New York State Route 32 " drive thru aisles are prohibited to exit directly to state highways Town Code 185-42(L).
3. Lead agency circulation is required as project fronts on New York State Route 32.
4. The approval title block on sheet C-1 should only have the Planning Board Chairperson's signature block, board secretary and municipal engineer to be removed.
5. The proposed signage identified on the plan is in excess of the 766.49 sq. ft. identified in the permitted signage total signage identified as 833.1 this is an additional variance required.
6. Standard Town of Newburgh double striped parking spot details should be added to the plan sheets. All parking spaces in the Town of Newburgh must comply with the double striped requirement.

7. Consideration for a cross walk between the southern parking spots and the structure should be undertaken. All pedestrians from the south portion of the site must cross in front of the drive thru window aisles.
8. Referral to County Planning is required.
9. Water service must comply with Town of Newburgh's requirements permitting one tap to provide both fire flow and potable water. Valve arrangements must be such that if fire flow water is terminated to the structure the potable water is similarly terminated. Standard detail can be provided.
10. Sizing for the proposed grease trap in compliance with the NYSDEC requirements should be submitted.
11. Detail of the proposed sanitary cleanout at the connection of the sanitary line, grease trap line and transition to 6 inch pipes should be provided.
12. A stormwater pollution prevention plan in compliance with NYSDEC and Town of Newburgh requirements should be provided for the project. It is noted that all flow is directed towards a 12 inch HDPE pipe crossing under Gidney Avenue. Capacity of the 12 inch CMP should be identified in a storm water management report.
13. A 15 inch flared end section is depicted on the proposed 18 in RCP pipe. This should be clarified.
14. Site lighting plan identifies 20 foot high lighting poles which are higher than the pedestrian scale lighting suggested by the design guidelines. Planning Board's comment on height of lighting should be received with guidance to the Applicant's representative as to compliance with the design guidelines or a request for a waiver of the pedestrian scale lighting.
15. Erosion control plan contains a curbed inlet filter. This detail does not meet requirements of the NYSDEC's blue book. Covering of storm grates with filter fabric is not an appropriate erosion control methodology.
16. The anti-tracking pad at the construction entrance is identified in an area where existing asphalt pavement is to remain. This should be further evaluated for placement of the stabilized construction entrance.
17. Detail 12 on sheet C-13 should be modified to Towns standard striping detail. Similar comment for sheet C-14 detail number 5.
18. Standard Town of Newburgh water and sewer notes must be added to the Plan sheets.
19. Concrete thrust blocks are depicted on detail sheet. Retained joint pipe is required to be utilized in Town of Newburgh. Restrained joint pipe schedule should be added to the plans. Standard water notes must be added to the plans as well.

20. The survey depicts ownership to the centerline or greater than in the Town Roads. Mike Donnelly's comments regarding the need for roadway dedication parcels for a site plan should be received.

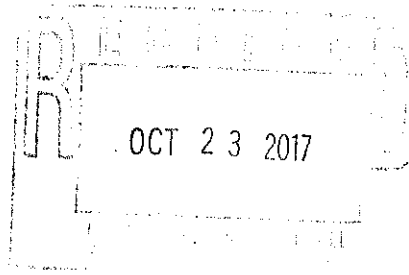
Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

HARRIS BEACH PLLC
ATTORNEYS AT LAW

October 11, 2017

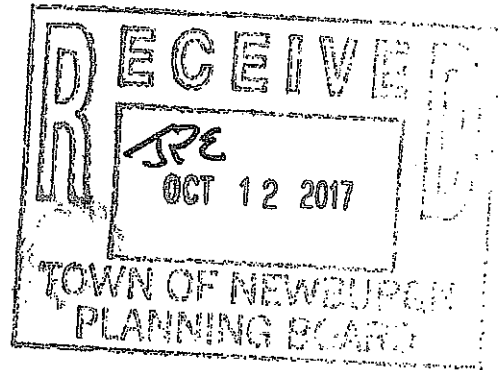


445 HAMILTON AVENUE, SUITE 1206
WHITE PLAINS, NY 10601
(914) 683-1200

DARIUS P. CHAFIZADEH
PARTNER
DIRECT: (914) 683-1212
FAX: (914) 683-1210
DCHAFIZADEH@HARRISBEACH.COM

VIA FEDERAL EXPRESS

Honorable John P. Ewasutyn
Town of Newburgh
Planning Board Chairman
308 Gardnertown Road
Newburgh, New York 12550



Re: **McDonald's Restaurant/31-0145/01712**
65 North Plank Road (Route 32)
Block 1, Lot 1.1., Section 76
Town of Newburgh
Orange County, New York (the "Property")

Dear Chairman Ewasutyn:

This firm serves as counsel to the McDonald's USA, LLC ("McDonald's") relative to the above-referenced Property.

A. Project Description

As per my office's discussion with you, McDonald's proposes to rebuild and improve the existing McDonald's restaurant located on the Property. The Property is located in the "B" Zoning District. McDonald's proposes the following improvements: the demolition of the existing building and the construction of a new 5,206 SF building with 138 indoor seats.

The related improvements include a two (2) lane, side-by-side drive thru system, modifications to the parking area to include seventy (70) parking spaces plus three (3) short-term spaces, repaving of the parking area, as well as upgrades to the site drainage, utilities, lighting, signage, and landscaping. The improvements will also result in a decrease of 0.11 acres of impervious surfaces for a total coverage of 1.6 acres.

One (1) set of the plans are enclosed herewith for your review. We will have sixteen (16) sets of plans (along with other required application materials) when your office schedules our initial meeting for filing with the Town's Planning Department.

B. Approvals Required

Based on our review of the Newburgh Town Code, it is believed that McDonald's will need the following approvals:

1. **Site Plan Approval** from the Planning Board pursuant to Town Code § 185-56 *et seq.*
2. **Five (5) Area Variances from the Board of Appeals:**
 - (i) Front-yard setback for the location of the roof canopy that faces North Plank Road – State Highway, Route 32. Permitted: 60' and Proposed: 57.1'.¹
 - (ii) Maximum Area of directional sign: 3SF required and 4SF proposed.
 - (iii) The exit/entrance for off-street parking in within 150' of the intersection. *See* Town Code § 185-13 (D)(6)(b). Proposed is 120.8'.
 - (iv) No loading space is provided and one (1) is required. *See* Town Code § 185-13(B)(6).
 - (v) The proposed Drive-Through Aisle exits onto all three roads to which the Property has access, including Route 32. Drive-Through Aisles are prohibited to exit directly onto Route 32. *See* Town Code § 185-42(1).
3. **Architectural Review Board Approval** pursuant to Town Code § 185-59(C).

C. **Fees For Site Plan Review**

We have also estimated the initial fees owed the Town for the site plan review/escrow review and have determined that the amount due and owed is \$5,350.

1. Public Hearing Fee: \$150
2. Site plan Review Fee: \$3,000 [5,206 sq. ft.: \$1,500 + \$250(6)].
3. Initial Escrow Fee: \$2,200 [5,206 sq. ft.: \$1,000 + \$200(6)].

Total owed: \$5,350.

In this estimate is agreeable, we will have three (3) separate checks made out to the "Town of Newburgh" in the following amounts: (1) \$150; (2) \$3,000; and (3) \$2,200.

¹ The Building is set back 60' in compliance with the Code; however, the canopy is setback 57.1'. *See* Town Code § 185-18C.4B. (Front yard setback abutting county and state highways shall be 60'). In a "B" zone, the setback requirement is 40' for all other roads. *See* Town Code, Schedule 7.

Honorable John P. Ewasutyn
Town of Newburgh
October 11, 2017
Page 3

HARRIS BEACH ^{PLLC}
ATTORNEYS AT LAW

D. Conclusion

Finally, we are available evenings for an initial meeting with you to be scheduled at your convenience. We are available on October 20, October 23, October 25, October 30, November 1 and November 3.

Thank you for your time and attention to this matter and we look forward to meeting with you.

RESPECTFULLY SUBMITTED,



DARIUS P. CHAFIZADEH

Enclosures

cc: Brad Bohler, P.E. (Bohler Engineering/Project Engineer)
William Weisgerber (Construction Manager/McDonald's Corporation)

HARRIS BEACH PLLC
ATTORNEYS AT LAW

445 HAMILTON AVENUE, SUITE 1206
WHITE PLAINS, NY 10601
(914) 683-1200

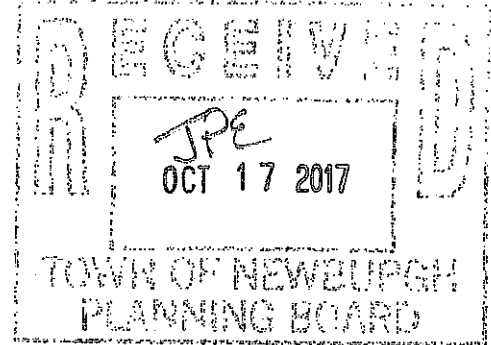
DARIUS P. CHAFIZADEH
PARTNER
DIRECT: (914) 683-1212
FAX: (914) 683-1210
DCHAFIZADEH@HARRISBEACH.COM

October 16, 2017

VIA FEDERAL EXPRESS

Hon. Chairman John P. Ewasutyn
& Members of the Planning Board of the Town of Newburgh
Town of Newburgh
308 Gardnertown Road
Newburgh, New York 12550

**Re: McDonald's Restaurant/31-0145/01712
65 North Plank Road (Route 32)
Block 1, Lot 1.1., Section 76
Town of Newburgh
Orange County, New York (the "Property")
Planning Board Project No. 2017-26**



Dear Chairman Ewasutyn:

This firm represents the applicant, McDonald's USA, LLC (hereinafter the "Applicant"), in its application for site plan approval to rebuild the McDonald's restaurant located on the above-referenced Property. Specifically enclosed herewith are the following submissions in furtherance of the Applicant's proposed project requiring site plan approval:

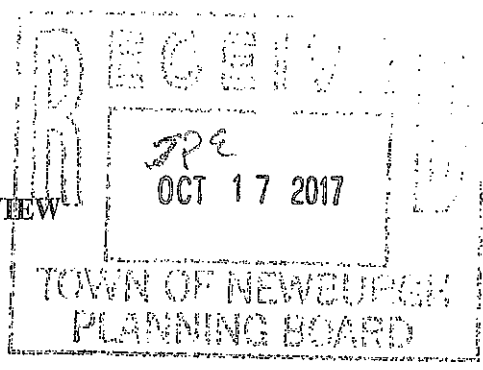
One (1) executed copy of the appropriate application/forms, including:

- Application for Site Plan Review
- Checklist for Major/Minor Site Plan
- Fee Law Summary
- Lake Creek Properties, LLC Proxy and Owner Certification
- Lingo Associates, LLC Proxy and Owner Certification
- Certificate and Acknowledgment
- Planning Board Disclaimer Statement to Applicants
- Disclosure Addendum

Sixteen (16) sets of the following:

- Signed and sealed Site Plan documents prepared by Bohler Engineering, dated August 15, 2017, which include the ALTA/ACSM Land Title Survey prepared by

TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW



RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

DATE RECEIVED: _____ TOWN FILE NO: 2017-26
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

McDonald's

2. Owner of Lands to be reviewed:

Name c/o CRE Asset Management, LLC
Address 5 Brewster Street, #368
Glen Cove, NY 11542
Phone _____

3. Applicant Information (If different than owner):

Name McDonald's USA, LLC
Address 111 Wood Ave South, Suite 400
Iselin, NJ 08830
Representative Bill Weisgerber
Phone 908-432-0233
Fax 732-623-8504
Email William.Weisgerber@us.mcd.com

4. Subdivision/Site Plan prepared by:

Name Bohler Engineering
Address 35 Technology Drive
Warren, NJ 07059
Phone/Fax 908-668-8300/908-754-4401

5. Location of lands to be reviewed:

65 North Plank Road

6. Zone B
Acreage 2.8

Fire District Cronomer
School District Enlarged Newburgh City School District

7. Tax Map: Section 76 Block 1 Lot 1.1

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 1
Lot line change No
Site plan review Yes
Clearing and grading No
Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) None

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature [Signature] Title 6/27/17

Date: [Signature]

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

McDonald's - Rebuild

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)


II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

11. Surveyor,s Certification
12. Surveyor's seal and signature
13. Name of adjoining owners
14. ^{N/A} Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. ^{N/A} Flood plain boundaries
16. ^{N/A} Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. Metes and bounds of all lots
18. Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. Show existing or proposed easements (note restrictions)
20. Right-of-way width and Rights of Access and Utility Placement
21. ^{N/A} Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. Lot area (in sq. ft. for each lot less than 2 acres)
23. ^{N/A} Number of lots including residual lot
24. ^{N/A} Show any existing waterways
25. ^{N/A} A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. Show topographical data with 2 or 5 ft. contours on initial submission

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33. X Estimated or known cubic yards of material to be excavated and removed from the site
34. X Estimated or known cubic yards of fill required
35. N/A The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
-
-
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
-
-
38. X List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: 
Licensed Professional
Bradford A. Bohler, P.E.
Date: 8/11/2017

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date): August 11, 2017

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

MULLEN WEISBERGER

APPLICANT'S NAME (printed)

[Handwritten Signature]

APPLICANTS SIGNATURE

6/21/17

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Lake Creek Properties, LLC, DEPOSES AND SAYS THAT HE/SHE

RESIDES AT 3690 Lake Creek Drive, Jackson

IN THE COUNTY OF Teton

AND STATE OF Wyoming

AND THAT HE/SHE IS THE OWNER IN FEE OF _____
65 North Plank Road, Newburgh, NY 12550

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Bohler Engineering IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 8/4/12


OWNERS SIGNATURE

Christopher Cushman
OWNERS NAME (printed)

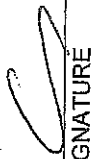

WITNESS' SIGNATURE

NAMES OF ADDITIONAL
REPRESENTATIVES

Gloria Bazy
WITNESS' NAME (printed)

OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF SECTION 76, BLOCK 1,
LOT 1.1 AND CONSENT TO THE FILING OF THIS APPLICATION.


SIGNATURE

8/4/12
DATE

(LAKE CREEK PROPERTIES, LLC, A NEW YORK
LIMITED LIABILITY COMPANY (AS TO 75% INTEREST))

PROXY

(OWNER) Lingo Associates, LLC, DEPOSES AND SAYS THAT HE/SHE

RESIDES AT 3690 Lake Creek Drive, Jackson

IN THE COUNTY OF Teton

AND STATE OF Wyoming

AND THAT HE/SHE IS THE OWNER IN FEE OF _____

65 North Plank Road, Newburgh, NY 12550

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

PLANNING BOARD AND Bohler Engineering IS AUTHORIZED

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: _____

8/4/17


OWNERS SIGNATURE

Christoph Gishman
OWNERS NAME (printed)


WITNESS' SIGNATURE

NAMES OF ADDITIONAL
REPRESENTATIVES

Gloria Baza
WITNESS' NAME (printed)

OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF SECTION 76, BLOCK 1,
LOT 1.1 AND CONSENT TO THE FILING OF THIS APPLICATION.



SIGNATURE

(LINGO ASSOCIATES, LLC, A FLORIDA
LIMITED LIABILITY COMPANY (AS TO 25% INTEREST))

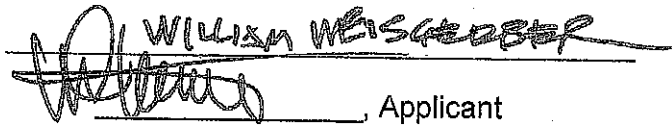


DATE


Certificate and Acknowledgement

The undersigned applicant represents, warrants, covenants and agrees that it shall notify all successors, assigns, purchasers and transferees of applicant's interest in the subject property, or rights to develop the subject property, or membership interests in the applicant, of the deferral of the payment of the Recreation Fee in Lieu of Parkland and the delivery of the performance security for landscaping improvements and the conditions thereof and that it shall cause those conditions to be binding upon all such successors, assigns, purchasers and transferees.

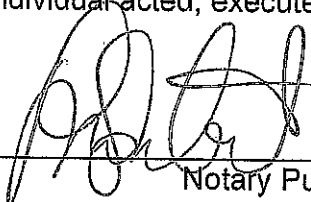
The applicant agrees for itself and all successors, assigns, purchasers and transferees, that in the event of any failure to comply with any of terms and conditions of the deferral of payment of the Recreation Fee in Lieu of Parkland and the delivery of the performance security for landscaping improvements pursuant to the Town Board of the Town of Newburgh resolution dated July 15, 2009 by the applicant, its successors, assigns, purchasers or transferees, the Town of Newburgh, in addition to all other remedies, shall be entitled to (a) issue a stop work order for any and all work commenced on the Subject Property and (b) withhold or revoke any and all building permits issued for the Subject Property.


_____, Applicant

PAGE 1 of 2

NEW JERSEY 
STATE OF NEW YORK
COUNTY OF SOMERSET :ss.:

On the 27th day of JUNE in the year 2017
before me the undersigned, a Notary Public in and for said State, personally
appeared WILLIAM WEISGERBER, personally known to me or proved to me on the
basis of satisfactory evidence to be the individual whose name is subscribed to
the within instrument and acknowledged to me that she executed the same in her
capacity, and that by her signature on the instrument, the individual, or the
person upon behalf of which the individual acted, executed the instrument.



Notary Public

PATRICIA M. ANTOL
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires March 13, 2019

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

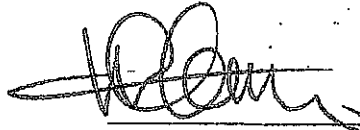
The applicant hereby acknowledges, consents, and agrees to the above.

6/27/17

DATED

WILLIAM WEISGERBER

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

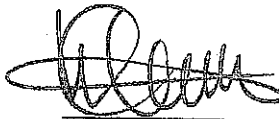
 X NONE

 NAME, ADDRESS, RELATIONSHIP OR INTEREST
(financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

- TOWN BOARD
- ✓ PLANNING BOARD
- ZONING BOARD OF APPEALS
- ZONING ENFORCEMENT OFFICER
- BUILDING INSPECTOR
- OTHER

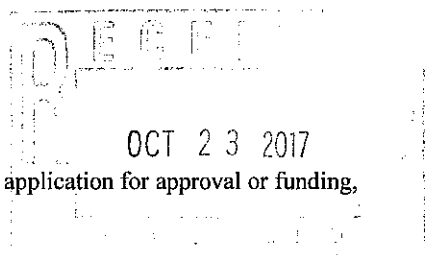
6/27/17
DATED


INDIVIDUAL APPLICANT

McDonald's USA, LLC
CORPORATE OR PARTNERSHIP APPLICANT

BY: William Weisgerber (ACM)
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)

**Full Environmental Assessment Form
Part 1 - Project and Setting**



Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: McDonald's Restaurant		
Project Location (describe, and attach a general location map): 65 North Plank Road, Section 76; Block 1; Lot 1.1, Town of Newburgh, Orange County, New York		
Brief Description of Proposed Action (include purpose or need): Proposed rebuild and improvements to the existing McDonald's Restaurant on the subject site. Proposed improvements include the demolition of the existing building and construction of a new 5,311 SF building with 107 indoor seats. Related improvements will include a two (2) lane drive-thru system, modifications to the parking area, repaving of the parking area, as well as upgrades to the site drainage, utilities, lighting, signage, and landscaping. A total of 72 parking spaces are proposed. The improvements will result in an overall decrease of approximately 3,500 SF in impervious surfaces for a total lot coverage of 1.62-acres or 58%.		
Name of Applicant/Sponsor: Bohler Engineering / Bradford A. Bohler, P.E.	Telephone: (908) 668-8300	E-Mail: bbohler@bohlereng.com
Address: 35 Technology Drive		
City/PO: Warren	State: NJ	Zip Code: 07059
Project Contact (if not same as sponsor; give name and title/role): Lauren Monaghan, P.E. (Bohler Engineering)	Telephone: (908) 668-8300	E-Mail: lmonaghan@bohlereng.com
Address: 35 Technology Drive		
City/PO: Warren	State: NJ	Zip Code: 07059
Property Owner (if not same as sponsor): Lake Creek Properties, LLC / Lingo Associates, LLC	Telephone:	E-Mail:
Address: 3690 Lake Creek Drive		
City/PO: Jackson	State: WY	Zip Code: 83014

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Site Plan Approval Architectural Review	To be submitted To be submitted
c. City Council, Town or <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals	Variances	To be Submitted
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Building Department	To be submitted
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No	County Food Service	To be submitted
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?

 B (Business) Zone

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____
 Newburgh Enlarged City School District

b. What police or other public protection forces serve the project site?

 Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?

 Cronomer Valley Fire Department

d. What parks serve the project site?

 N/A

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?
 Existing McDonald's Restaurant - Commercial

b. a. Total acreage of the site of the proposed action? _____ 2.8 acres
 b. Total acreage to be physically disturbed? _____ ±0.9 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 2.8 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____ N/A
 iv. Minimum and maximum proposed lot sizes? Minimum _____ N/A _____ Maximum _____ N/A _____

e. Will proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ 3 months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____ 1

ii. Dimensions (in feet) of largest proposed structure: _____ 20.25' height; _____ 45.7' width; and _____ 113.8' length

iii. Approximate extent of building space to be heated or cooled: _____ 5206 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ 2,220 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: Town of Newburgh
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ 2,200 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
 Sanitary and kitchen wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: Town of Newburgh
- Name of district: Crossroads
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will line extension within an existing district be necessary to serve the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

- iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

- v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

- vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

N/A

- e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

- i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or _____ acres (impervious surface)

_____ Square feet or _____ acres (parcel size)

- ii. Describe types of new point sources. _____

- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

- If to surface waters, identify receiving water bodies or wetlands: _____

- Will stormwater runoff flow to adjacent properties? Yes No

- iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

- f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

- g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

- ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction: Typically

- Monday - Friday: _____ 7am-3pm _____
- Saturday: _____ 7am-3pm _____
- Sunday: _____ TBD _____
- Holidays: _____ TBD _____

ii. During Operations:

- Monday - Friday: _____ 24 hr drive-thru / 6am-11pm inside _____
- Saturday: _____ 24 hr drive-thru / 6am-11pm inside _____
- Sunday: _____ 24 hr drive-thru / 6am-11pm inside _____
- Holidays: _____ 24 hr drive-thru / 6am-11pm inside _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Perimeter of site facing inward, building mounted lights. Pole lights = 20' high, building lights = 15.5'
Pole lights are approximately 18' away from the Citgo to the north.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ 3 tons per _____ month (unit of time)
 • Operation : _____ 3 tons per _____ month (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: Temporary soil stockpiles

 • Operation: Recycling of materials accepted by local facilities

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: Taylor Recycling

 • Operation: Taylor Recycling

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

 N/A

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.69 acres	1.59 acres	-0.1 acres
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Grass/landscaped area</u>	1.09 acres	1.2 acres	+0.11 acres

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____
 N/A
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): _____
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____
 N/A

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ ~12-20+ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Pittsfield gravelly loam, (PTC)	_____	~10 %
Udorthents, smoothed (UH)	_____	~90 %
	_____	_____ %

d. What is the average depth to the water table on the project site? Average: _____ ~15-18+ feet

e. Drainage status of project site soils: Well Drained: _____ 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 90 % of site
 10-15%: _____ 5 % of site
 15% or greater: _____ 5 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ N/A _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
<i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____	
<i>ii.</i> Source(s) of description or evaluation: _____	
<i>iii.</i> Extent of community/habitat:	
<ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site: _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
<i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
<i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

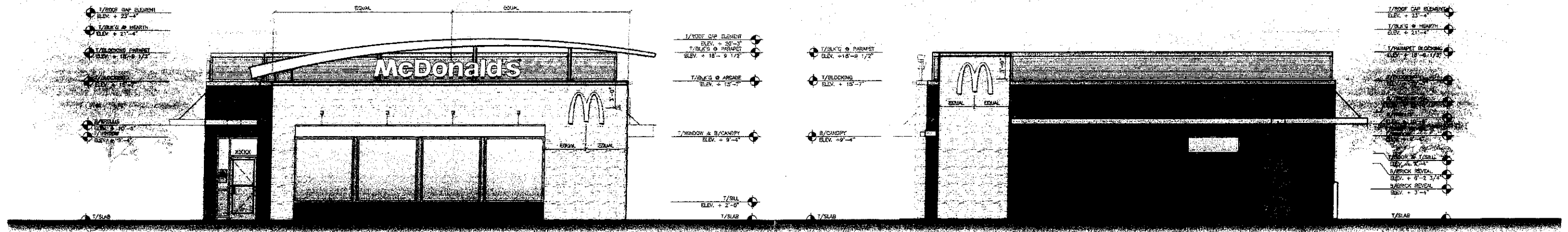
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Bradford A. Bohler, P.E. Date _____

Signature _____ Title Associate

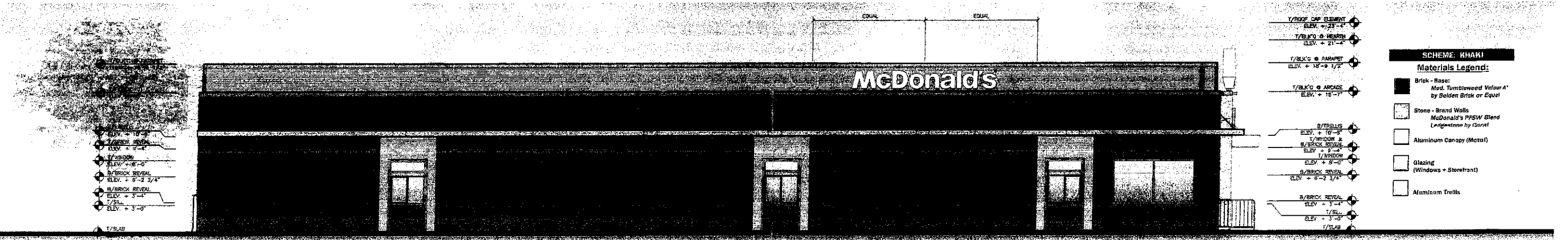


Front Elevation

Rear Elevation



Non-Drive-Thru Side Elevation



SCHEME: KHAKI

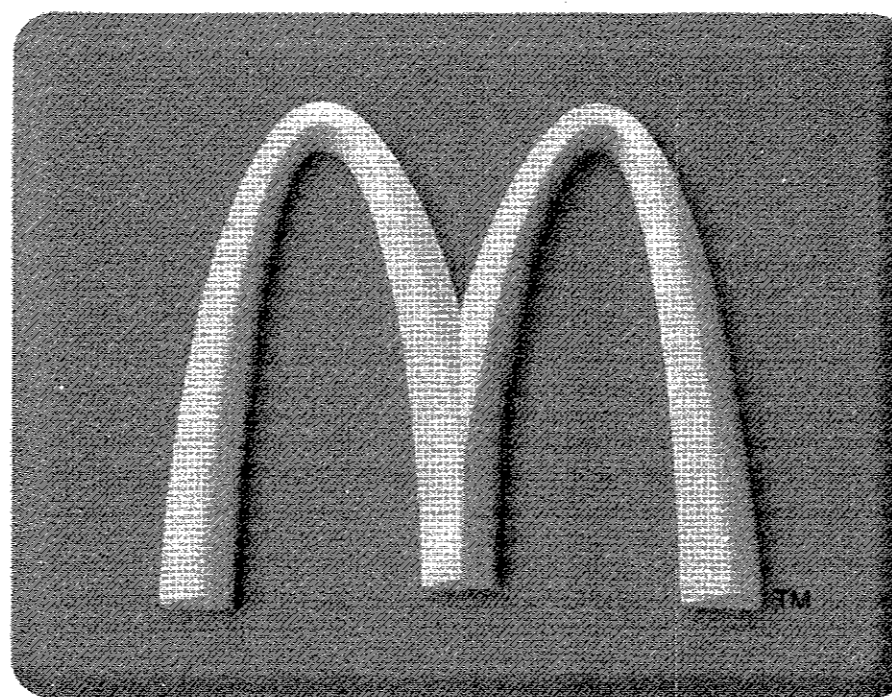
Materials Legend:

- Brick - Base: Mod. Tumbleweed Yellow A* by Belden Brick or Equal
- Stone - Brand Walls McDonald's PFSW Blend (Ledgestone by Rustal)
- Aluminum Canopy (Metal)
- Glazing (Windows + Storefront)
- Aluminum Trellis

Drive-Thru Side Elevation

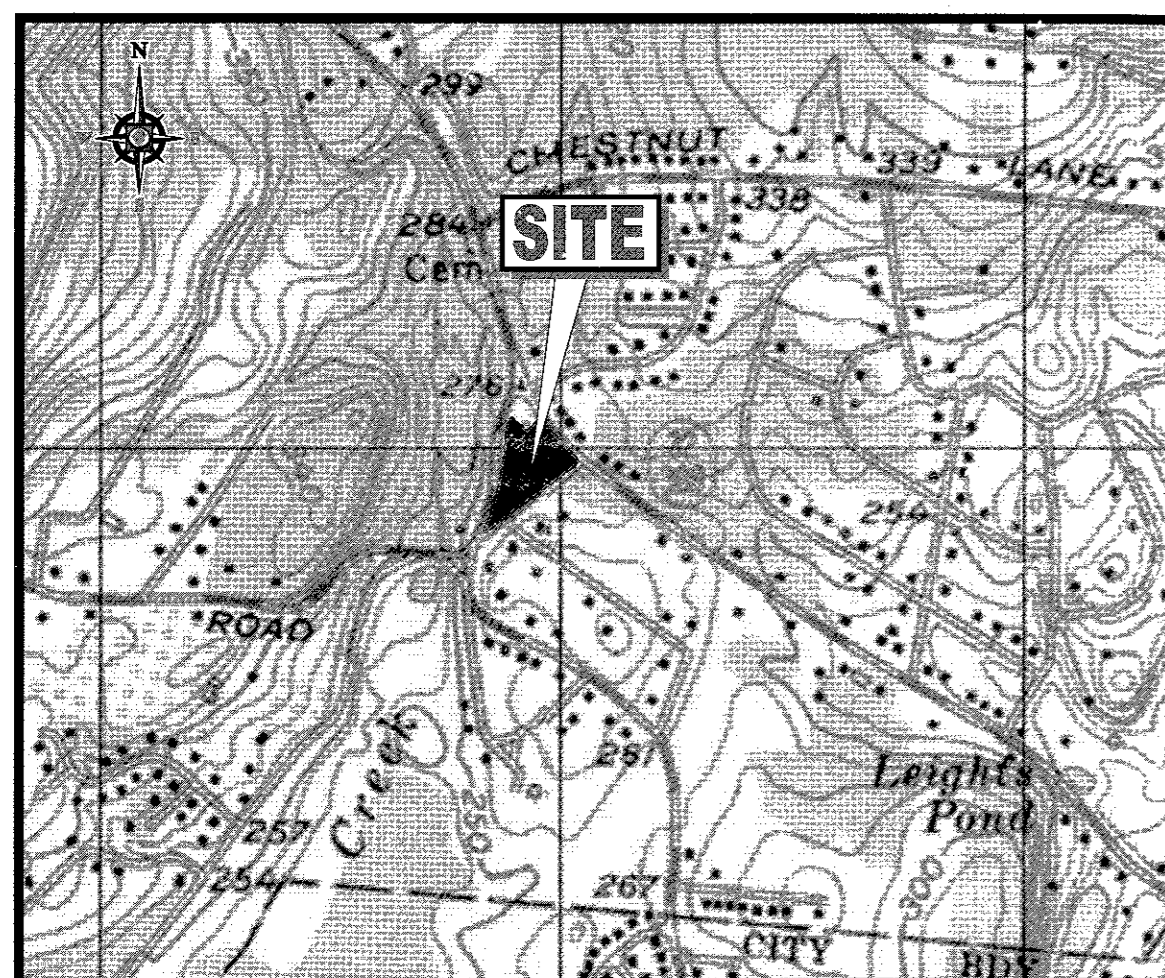
PRELIMINARY & FINAL SITE PLAN

FOR
PROPOSED



McDONALD'S RESTAURANT WITH DRIVE THRU

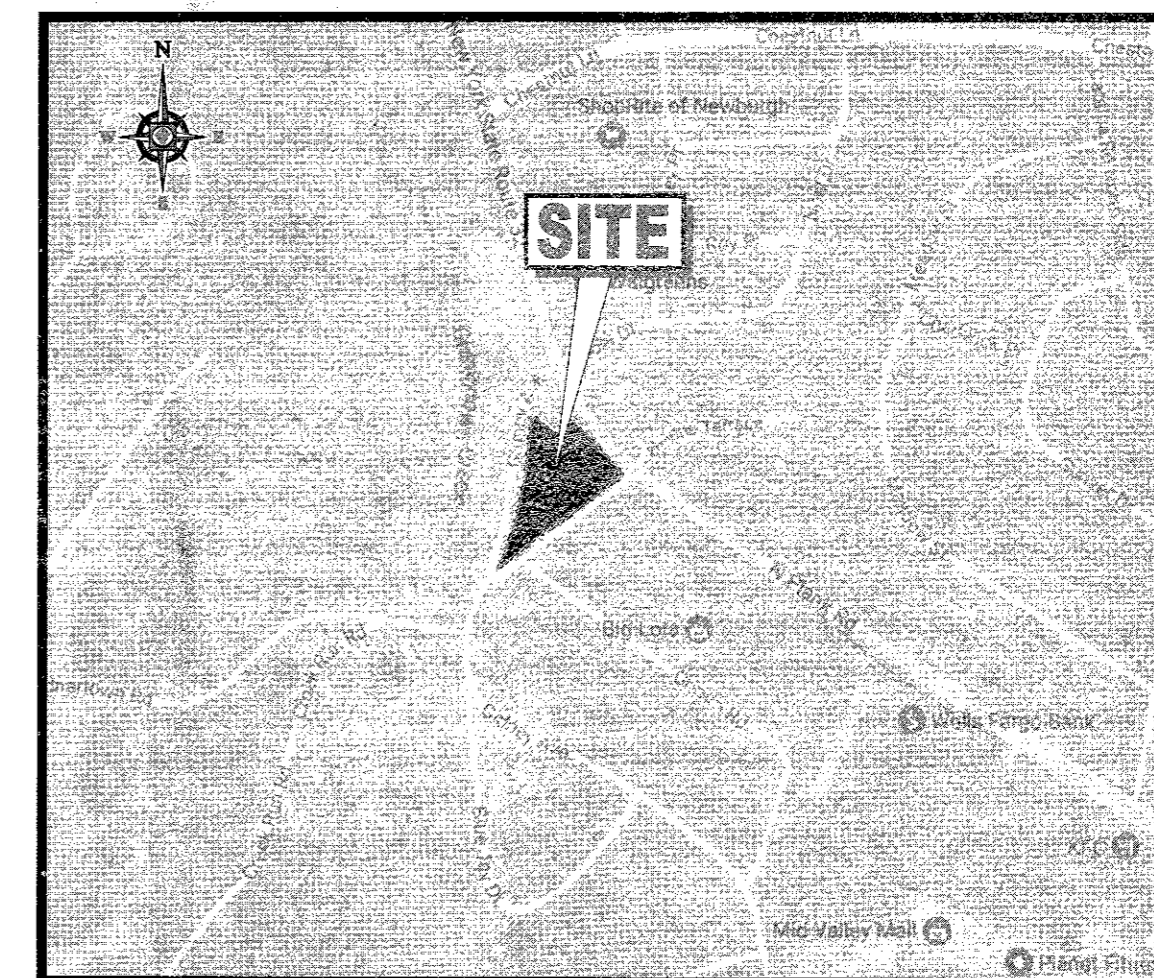
65 NORTH PLANK ROAD
TOWN OF NEWBURGH
ORANGE COUNTY, NY
SECTION 76, BLOCK 1, LOTS 1.1
ZONE B; TAX MAP SHEET #76



USGS MAP

SCALE: 1" = 1,000'

SOURCE: UNITED STATES GEOLOGICAL SURVEY MAPS



KEY MAP

SCALE: 1" = 1,000'

SOURCE: GOOGLE MAPS

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1 OF 15
OVERALL SITE & SIGNAGE PLAN	C-2 OF 15
DEMOLITION PLAN	C-3 OF 15
SITE LAYOUT PLAN	C-4 OF 15
GRADING PLAN	C-5 OF 15
DRAINAGE & UTILITIES PLAN	C-6 OF 15
LIGHTING PLAN	C-7 OF 15
LANDSCAPE PLAN	C-8 OF 15
SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE 1	C-9 OF 15
SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE 2	C-10 OF 15
DRIVE-THRU PLAN & DETAILS	C-11 OF 15
ADA PLAN & DETAILS	C-12 OF 15
DETAIL SHEET	C-13 OF 15
DETAIL SHEET	C-14 OF 15
DETAIL SHEET	C-15 OF 15
TOPOGRAPHIC / ALTA SURVEY (BY OTHERS)	1 OF 1

APPROVAL BLOCK

TOWNSHIP OF NEWBURGH BOARD APPROVAL
APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF
NEWBURGH, NY.

BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
MUNICIPAL ENGINEER	DATE

OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF SECTION 76, BLOCK 1,
LOT 1.1 AND CONSENT TO THE FILING OF THIS APPLICATION

SIGNATURE: [Signature] DATE: 8/4/17
LINGO ASSOCIATES, LLC, A FLORIDA
LIMITED LIABILITY COMPANY (AS TO 25% INTEREST)

OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF SECTION 76, BLOCK 1,
LOT 1.1 AND CONSENT TO THE FILING OF THIS APPLICATION

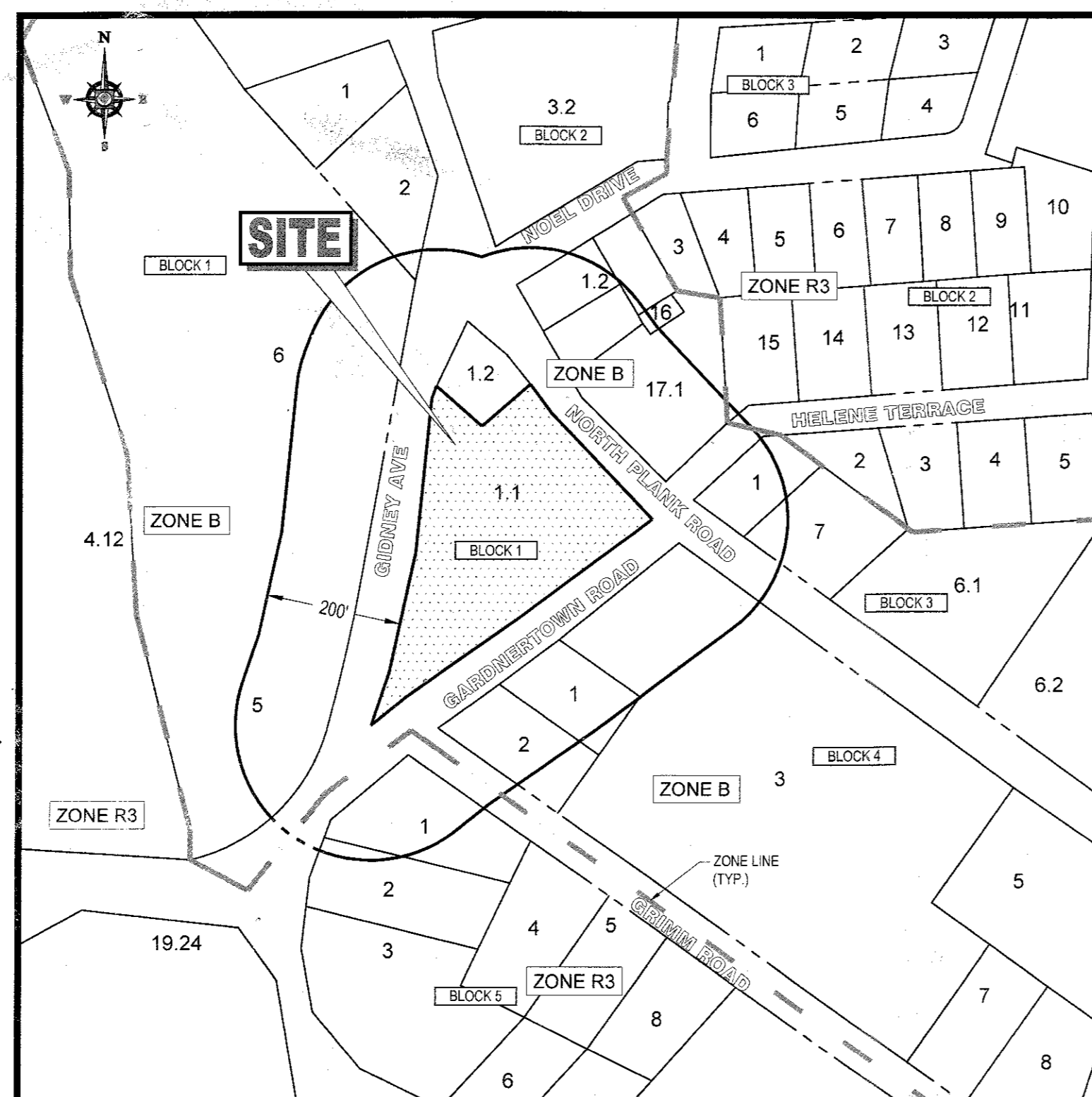
SIGNATURE: [Signature] DATE: 8/4/17
LAKE CREEK PROPERTIES, LLC, A NEW YORK
LIMITED LIABILITY COMPANY (AS TO 75% INTEREST)

UTILITY INFORMATION

GAS	CENTRAL HUDSON GAS & ELECTRIC (845) 208-6046
ELECTRIC	CENTRAL HUDSON GAS & ELECTRIC (845) 208-6046
SEWER	TOWN OF NEWBURGH (845) 564-7803
WATER	TOWN OF NEWBURGH (845) 564-7803
PHONE & CABLE	VERIZON/HUDSON VALLEY (315) 448-2506

ADJOINING NEIGHBOURS

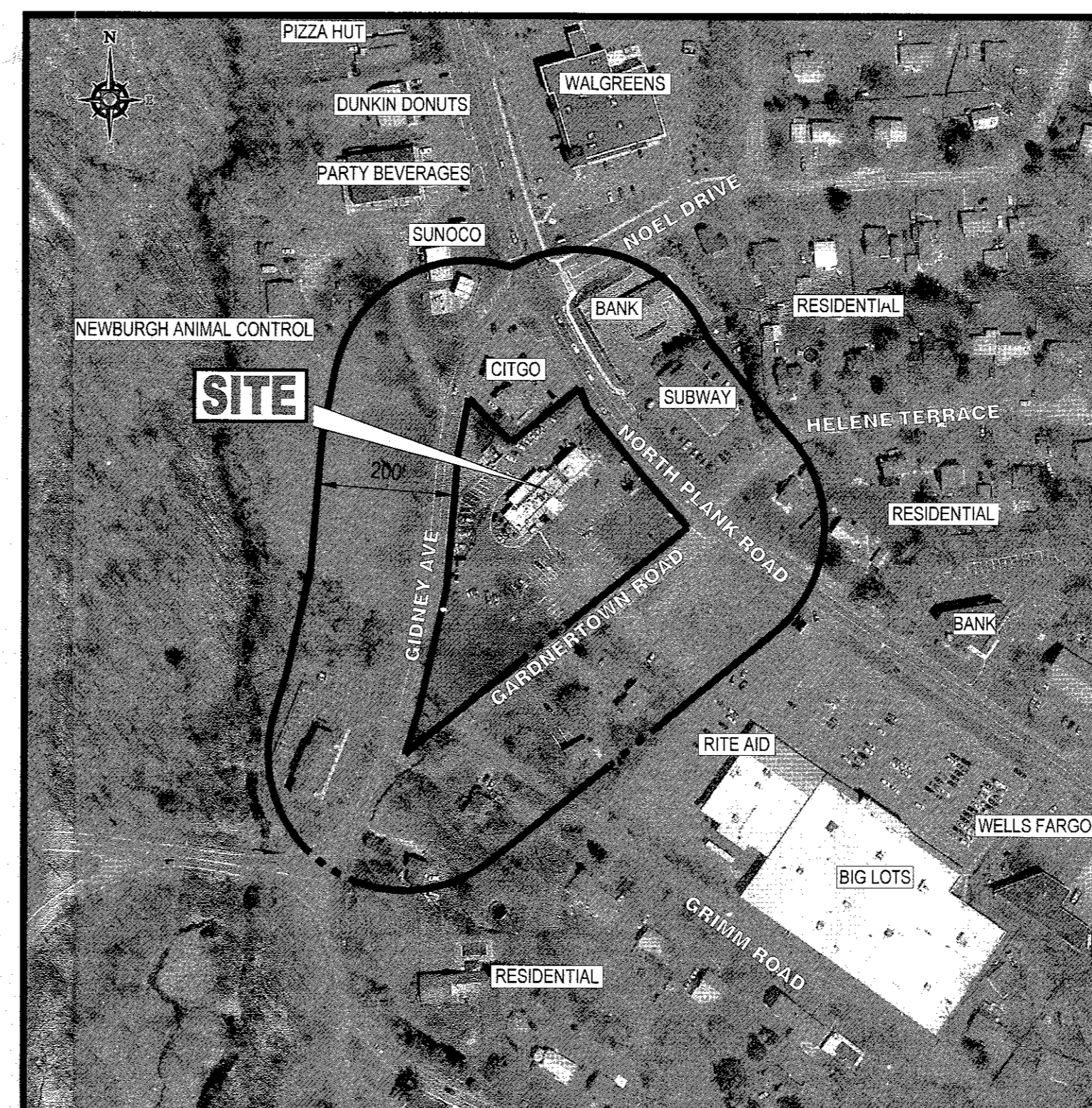
SECTION 76, BLOCK 1, LOT 1.2
BHA ENTERPRISES, LLC



TAX MAP

SCALE: 1" = 200'

SOURCE: NY GIS TAX MAPS



AERIAL MAP

SCALE: 1" = 200'

SOURCE: NYS AERIAL IMAGING

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS IN ACCORDANCE WITH EDUCATION LAW SECTION 7209(2).

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPES, DRIVEWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILED LIST OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

Dig Safely.
New York
www.digsafelynewyork.com
800-962-7962

BOHLER ENGINEERING
35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 968-8300
Fax: (908) 754-4401
www.BohlerEngineering.com

B.A. BOHLER
Professional Engineer
No. 005514
Exp. 12/31/2019
New Jersey License No. 005514
Delaware License No. 2009
Florida License No. 005514
Professional Seal

PROPOSED SITE IMPROVEMENTS	
SECTION 76, BLOCK 1, LOT 1.1	
STREET ADDRESS	
65 NORTH PLANK ROAD	
CITY	STATE
TOWN OF NEWBURGH	NY
COUNTY	
ORANGE	
REGIONAL DWG. NO	PLAN DESCRIPTION
031-0145	COVER SHEET

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

NEW YORK REGION
111 WOOD AVENUE SOUTH, SUITE 400
ISELIN, NJ 08830 (732) 623-8500

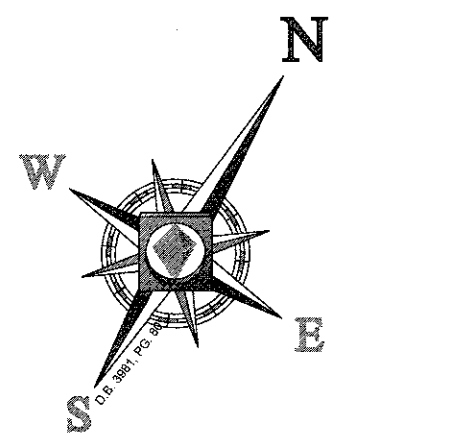
PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (S REQUIRED)		PRELIMINARY	08/15/17	KF
REGIONAL MGR.		PLAN CHECKED	08/15/17	LM
CONST. MGR.		AS-BUILT	N/A	N/A
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CONTRACTOR				
OWNER				

FINAL PLAN SIGNATURES

P.M. G.C. O.O.

CAD FILE: J110559-CDS-08

OF 15



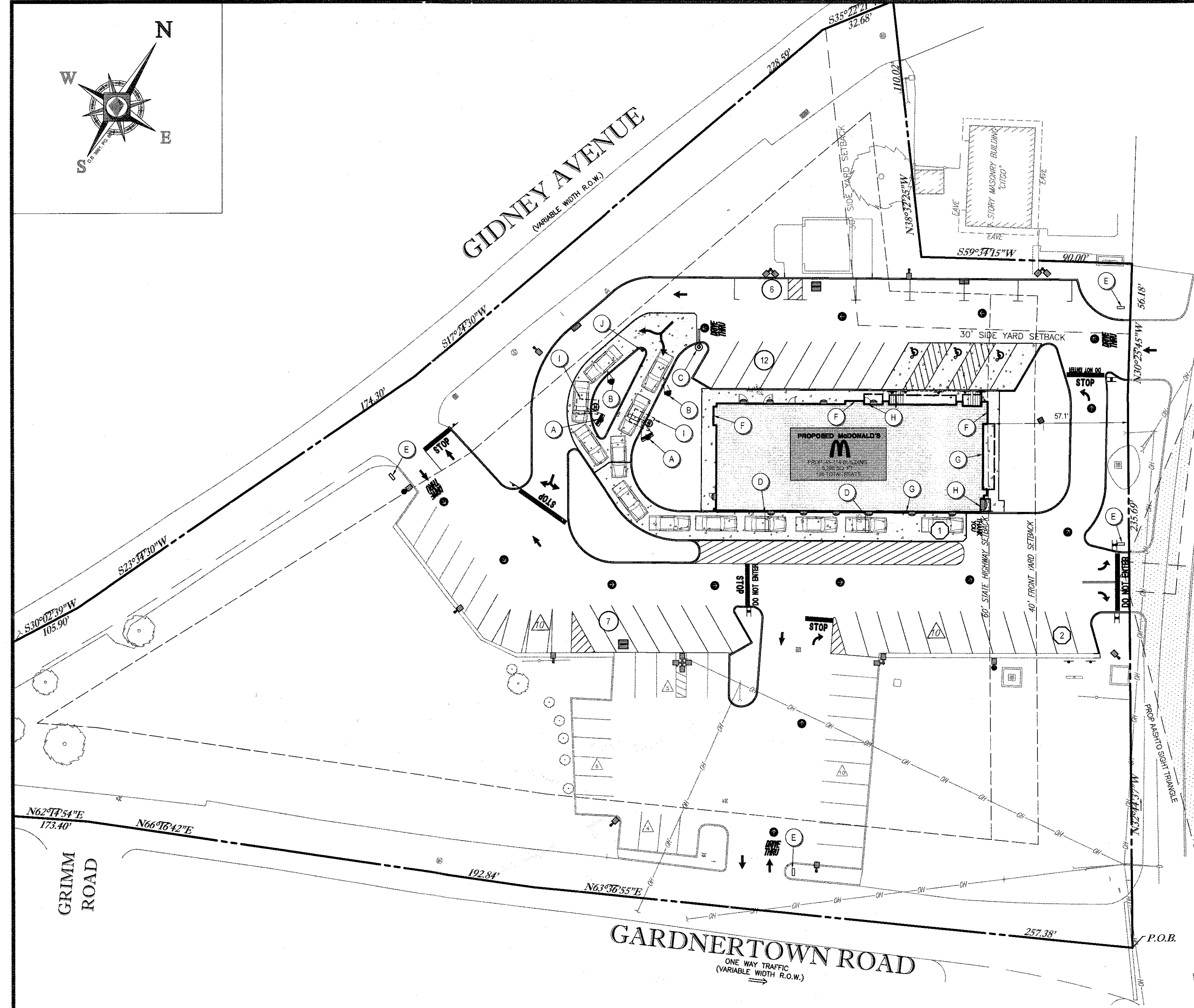
GIDNEY AVENUE
(VARIABLE WIDTH R.O.W.)

NORTH PLANK ROAD
(A.K.A. NEW YORK STATE HIGHWAY NO. 32)
(PUBLIC - VARIABLE WIDTH R.O.W.)

HELENE TERRACE

GARDNERTOWN ROAD
(ONE WAY TRAFFIC
(VARIABLE WIDTH R.O.W.))

GRIMM ROAD



SIGNAGE TABLE (SEC. 185-14)		
REQUIRED (410-G)	EXISTING (FOR COMPARISON ONLY)	PROPOSED
WALL MOUNTED SIGNS SEE BELOW FOR AREA REQUIREMENTS	NORTHEAST FACADE: ONE (1) ARCHITECTURAL SIGN AREA = 21 SF ± SOUTHEAST FACADE: ONE (1) ARCHITECTURAL SIGN AREA = 21 SF ± ONE (1) PLAYPLACE SIGN AREA = 40 SF ±	NORTHEAST: ONE (1) WELCOME SIGN AREA = 20 SF (H) ONE (1) MCDONALD'S SIGN AREA = 32 SF (G) SOUTHWEST: ONE (1) WELCOME SIGN AREA = 20 SF (H) ONE (1) MCDONALD'S SIGN AREA = 32 SF (G) SOUTHWEST: ONE (1) ARCHITECTURAL SIGN AREA = 40 SF (F) SOUTHWEST: ONE (1) ARCHITECTURAL SIGN AREA = 40 SF (F) SOUTHWEST: ONE (1) MCDONALD'S SIGN AREA = 32 SF (G)
FREESTANDING SIGNS MAXIMUM OF ONE (1) FREESTANDING SIGN MAXIMUM HEIGHT = 40 FT MINIMUM SETBACK = 10 FT FROM ANY STREET LINE SEE BELOW FOR AREA REQUIREMENTS	ONE (1) MCDONALD'S FREESTANDING ARCHITECTURAL SIGN WITH READER BOARD SIGN (E) AREA = 272 SF ± PER FACE = 544 SF ± READER BOARD = 21 SF ± PER FACE = 42 SF ± HEIGHT = 20' ± SETBACK = 20' ±	NO CHANGE PROPOSED
FREESTANDING AND WALL SIGNS TOTAL MAX. AREA = ONE HALF (1/2) OF THE TOTAL STREET FRONTAGE NORTH PLANK ROAD = 201 SF PER FACE = 402 SF PERMITTED GARDNERTOWN ROAD = 223 SF PER FACE = 446 SF PERMITTED SIDE YARD SIGNAGE = 102 SF PER FACE = 204 SF PERMITTED TOTAL PERMITTED AREA = 708 SF ±	TOTAL EXISTING AREA OF FREESTANDING AND WALL SIGNS = 698 SF ±	NO CHANGE PROPOSED
DRIVE-THRU SIGNAGE NOT SPECIFIED	ONE (1) DRIVE-THRU SIGN (E) AREA = 6 SF ± ONE (1) MENU BOARD SIGN AREA = 47 SF ±	ONE (1) DRIVE-THRU GATEWAY SIGN AREA = 4.6 SF (C) ONE (1) PRE-SELL BOARD SIGN AREA = 10 SF (B) TWO (2) ORDER HERE SIGNS AREA = 4.5 SF EACH (L) TWO (2) MENU BOARD SIGNS AREA = 43.0 SF EACH (A) TWO (2) DRIVE-THRU WINDOW SIGNS AREA = 2.5 SF EACH (D) ONE (1) WAY LANE ANY-TIME BOLLARD SIGN AREA = 2.5 SF EACH (J) SUB-TOTAL = 118.2 SF
IDENTIFICATION AND DIRECTIONAL SIGNS ONE IDENTIFICATION SIGN PERMITTED AT EACH POINT OF ACCESS MAX. AREA OF IDENTIFICATION SIGN = 3 SF EACH INTERNAL DIRECTIONAL SIGNS ARE PERMITTED MAX. AREA OF DIRECTIONAL SIGN = 1 SF EACH	THREE (3) DIRECTIONAL SIGNS AREA = 2 SF PER FACE = 4 SF EACH (I) SUB-TOTAL = 12 SF ±	FOUR (4) DIRECTIONAL SIGNS AREA = 2 SF PER FACE = 4 SF EACH (I) SUB-TOTAL = 16 SF ±
	TOTAL = 793 SF	TOTAL = 833 SF

ZONING TABLE				
ZONE B (BUSINESS ZONE) USE: EATING AND DRINKING PLACE				
APPLICANT/ OWNER INFORMATION				
APPLICANT:		MCDONALD'S USA, LLC 111 WOOD AVENUE SOUTH, SUITE 400 ISELIN, NJ 08830		
PROPERTY OWNER:		LAKE CREEK PROPERTIES, LLC 10714 CYPRESS BEND DR BOCA RATON, FL 33486		
		RODERICK H. CUSHMAN C/O CRE ASSET MANAGEMENT, LLC GLENCOVE, NY 11542		
BULK REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA	§ 185-9 (SCHEDULE 7)	15,000 SF	121,554 SF (2.791 AC)	121,554 SF (2.791 AC)
MIN. LOT WIDTH	§ 185-9 (SCHEDULE 7)	100'	287.61'	287.61'
MIN. LOT DEPTH	§ 185-9 (SCHEDULE 7)	125'	354.25'	354.25'
MIN. FRONT YARD	§ 185-9 (SCHEDULE 7)	40'(1)(3)	36.3' (E) (NORTH PLANK) 155.4' (GARDNERTOWN)	67' TO BUILDING (NORTH PLANK) 22' (GIDNEY)
MIN. REAR YARD	§ 185-9 (SCHEDULE 7)	30' (4)	N/A	N/A
MIN. SIDE YARD	§ 185-9 (SCHEDULE 7)	15' (4)	60.22'	58'
MIN. SIDE YARD (BOTH)	§ 185-9 (SCHEDULE 7)	30'	N/A	N/A
MAX. LOT COVERAGE (BUILDING ONLY)	§ 185-9 (SCHEDULE 7)	60% (2)	4.87% (5,557 SF)	4.28% (5,206 SF)
MAX. BUILDING HEIGHT	§ 185-9 (SCHEDULE 7)	35'	16' ±	23.25'
MAX. LOT SURFACE COVERAGE	§ 185-9 (SCHEDULE 7)	85% (2)	61.18% (74,377 SF)	57.15% (69,604 SF)

PARKING REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN. STALL SIZE	§ 5-2.1A	9' X 18'	8.5' X 18' (E)	9' X 15' (80') 9' X 23' (PARALLEL)
MIN. NUMBER OF STALLS	§ 4-4.2B	40' SPACES	90 SPACES	70 SPACES (PLUS 3 SHORT TERM SPACES)

PARKING CALCULATIONS:
NUMBER OF PARKING SPACES REQUIRED = 138 SEATS X (1 SPACE / 4 SEATS) = 34.5 OR 35 SPACES + THREE (3) ADDITIONAL SHORT-TERM SPACES (NOTE 3.A.3) = 38 OR
NUMBER OF PARKING SPACES REQUIRED = 1,458 SF X (1 SPACE / 40 SF) = 36.45 OR 37 SPACES + THREE (3) ADDITIONAL SHORT-TERM SPACES (NOTE 3.A.3) = 40
ADA PARKING CALCULATIONS:
NUMBER OF ADA PARKING SPACES REQUIRED = 3 FOR 50 TO 75 SPACES + 3 PROPOSED (C)

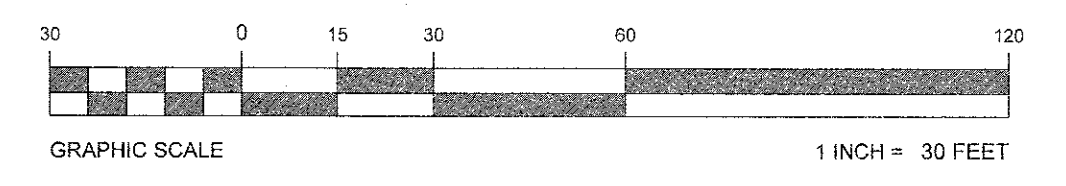
(E) = EXISTING NONCONFORMITY
(C) = EXISTING NONCONFORMITY
3 SHORT TERM SPACES INCLUDED IN TOTAL REQUIREMENT.

LAND USE AND ZONING NOTES:

- PARKING REQUIREMENTS (185-13):
 - MIN. ACCESS TO AND FROM A STREET + TWO (2) LINES OF 10 FT WIDTH EACH; 10.5 FT PROPOSED (C)
 - NO ENTRANCE OR EXIT FOR AN ACCESSORY OFF-STREET PARKING AREA WITH OVER 10 SPACES OR ANY LOADING BERTH SHALL BE LOCATED WITHIN 150 FT OF AN INTERSECTION; 120.8 FT (E)
- OFF-STREET LOADING (185-13.B):
 - ON-STREET LOADING FACILITIES ARE NOT PERMITTED (C)
 - ONE (1) LOADING SPACE IS REQUIRED FOR ALL NON-RESIDENTIAL USES UNDER 25,000 SF IN FLOOR AREA (V)
 - LOADING FACILITIES SHALL NOT BE LOCATED IN A REQUIRED FRONT YARD OR SIDE YARD ADJACENT TO A RESIDENTIAL DISTRICT (N)
 - MINIMUM ACCESS AT LEAST 12 FT IN WIDTH SHALL BE PROVIDED BETWEEN ANY LOADING FACILITY AND A STREET (N/A)
 - NO ACCESS TO A LOADING FACILITY SHALL BE LOCATED WITHIN 50 FT OF A STREET INTERSECTION (N/A)
 - ALL LOADING SHALL CONFORM TO THE MINIMUM REQUIRED SETBACKS FOR THE DISTRICT WHICH THEY ARE LOCATED (N/A)
- FAST-FOOD, DRIVE-THRU AND DRIVE-UP ESTABLISHMENTS (185-14):
 - COMPATIBILITY: BEFORE APPROVING ANY FAST-FOOD, DRIVE-UP OR DRIVE-THRU ESTABLISHMENT, THE PLANNING BOARD SHALL CONSIDER:
 - ALL DRIVE-THRU VEHICLES SHALL EXIT A PARKING AREA OR ONTO A SIDE STREET AND NOT DIRECTLY ONTO ROUTES SW, 17K, 32, 32 OR 300 (B)
 - PROPOSED SIGNS, LIGHTING, SPEAKER NOISE WHERE RESIDENTIAL PROPERTIES ARE LOCATED AND NEARBY LANDSAPING
 - PARKING SHALL BE ADEQUATE FOR THE TYPE OF FACILITY PROPOSED, WITH THREE (3) ADDITIONAL SHORT-TERM SPACES DEVOTED SPECIFICALLY FOR PICK-UP OR ORDER DELAYS FOR EACH DRIVE-UP, DRIVE-THRU, WALK-UP OR PICK-UP WINDOW AREA INSIDE OR OUTSIDE OF THE BUILDING; 3 PROPOSED (C)
 - PUBLIC ROADS AND INTERNAL DRIVEWAYS SHALL NOT BE CLOGGED BY WAITING DRIVE-THRU TRAFFIC (C)
 - PARKING AREAS AND CIRCULATION DRIVES SHALL BE ADEQUATELY SEPARATED SO AS TO AVOID CONFLICT BETWEEN PARKING CARS AND WAITING DRIVE-THRU TRAFFIC (C)
 - ADEQUATE STANDING SPACES WILL BE PROVIDED FOR WAITING DRIVE-THRU VEHICLES SUCH THAT THESE VEHICLES DO NOT INTERFERE WITH SITE VEHICULAR OR PEDESTRIAN CIRCULATION (C)
 - THE SITE PLAN CHECKLIST FOR PARKING LOT TRAFFIC AND PEDESTRIAN MOVEMENTS/SAFETY CONCERNS SHALL BE REVIEWED IN PREPARATION OF PLANS (C)
 - CONDITIONS ANY SUCH USE SHALL MEET THE FOLLOWING CONDITIONS OF OPERATION:
 - PROVISION OF SUFFICIENT SECURITY TO PREVENT THE USE OF THE PREMISES AS A LOITERING PLACE DURING HOURS OF OPERATION (C)
 - PROVISION OF ADEQUATE FACILITIES AND PERSONNEL FOR DISPOSAL OF TRASH AND OTHER DEBRIS (C)
 - PROVISION FOR CONTINUING MAINTENANCE OF THE EXTERIOR OF THE BUILDING AND THE GROUNDS, INCLUDING LANDSCAPING, SIGNS AND POLICING OF LITTER (C)

VARIANCE LIST:

- FRONT YARD SETBACK TO STATE HIGHWAY, 60' REQUIRED, 57.1' PROVIDED TO CANOPY (V)
- MAX. AREA OF DIRECTIONAL SIGN 3 SF REQUIRED, 4 SF PROVIDED (V)
- ENTRANCE OR EXIT FOR OFF-STREET PARKING WITHIN 150' OF INTERSECTION (E)
- LOADING SPACES FOR NON-RESIDENTIAL USE: 1 REQUIRED, 0 PROVIDED (E)
- ALL DRIVE-THRU AISLES SHALL EXIT INTO A PARKING AREA OR ONTO A SIDE STREET AND NOT DIRECTLY ONTO ROUTES SW, 17K, 32, 32 OR 300 (E)



SEE ADA PLAN & DETAIL SHEET FOR SIGN DETAILS

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www.digsafelynewyork.com
800-962-7962

THE ABOVE REFERENCED REGIONS REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THAT REGION. (NY'S 1300-462-1762)

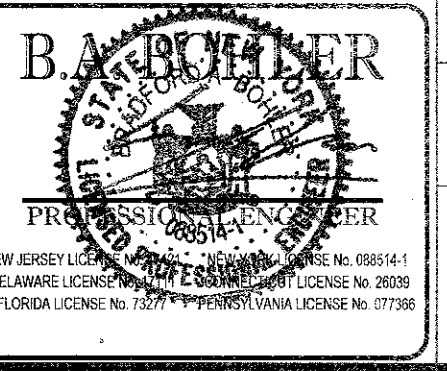
BOHLER ENGINEERING
35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 868-8300
Fax: (908) 754-4401
www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS - SURVEYORS - PROJECT MANAGERS - ENVIRONMENTAL CONSULTANTS - LANDSCAPE ARCHITECTS

CORPORATE OFFICE:
• WARREN, NJ
• SOUTH BOROUGHS, MA
• BOWIE, MD
• TOWSON, MD
• ALBANY, NY

• HALPAUNGE, NY
• CENTER VALLEY, PA
• CHALFONT, PA
• PHILADELPHIA, PA
• TAMPA, FL

• CHARLOTTE, NC
• STERLING, VA
• WARRENTON, VA
• FORT LAUDERDALE, FL



PROPOSED SITE IMPROVEMENTS			
SECTION 76, BLOCK 1, LOT 1.1			
STREET ADDRESS			
65 NORTH PLANK ROAD			
CITY	STATE	STATUS	DATE
TOWN OF NEWBURGH	NY	PRELIMINARY	08/15/17
COUNTY	PLAN CHECKED	DATE	BY
ORANGE	08/15/17		LM
REGIONAL DWG. NO	AS-BUILT	DATE	BY
031-0145	N/A		N/A

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

NEW YORK REGION
111 WOOD AVENUE SOUTH, SUITE 400
ISELIN, NJ 08830 (732) 923-5500

OFFICE ADDRESS

PLANNING APPROVALS

SIGNATURE (2 REQUIRED)	DATE

REGIONAL MGR.
CONST. MGR.
OPERATIONS DEPT.
REAL ESTATE DEPT.
CONTRACTOR
OWNER

CO-SIGN SIGNATURES

STATUS: PRELIMINARY
DATE: 08/15/17
BY: KF

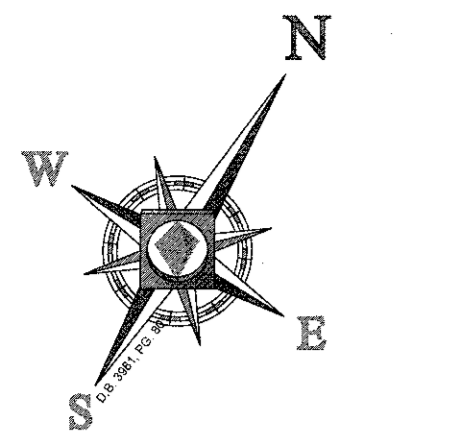
PLAN CHECKED: 08/15/17
BY: LM

AS-BUILT: N/A
BY: N/A

PLAN DESCRIPTION: OVERALL SITE & SIGNAGE PLAN

C-2

OF 15



GIDNEY AVENUE
(VARIABLE WIDTH R.O.W.)

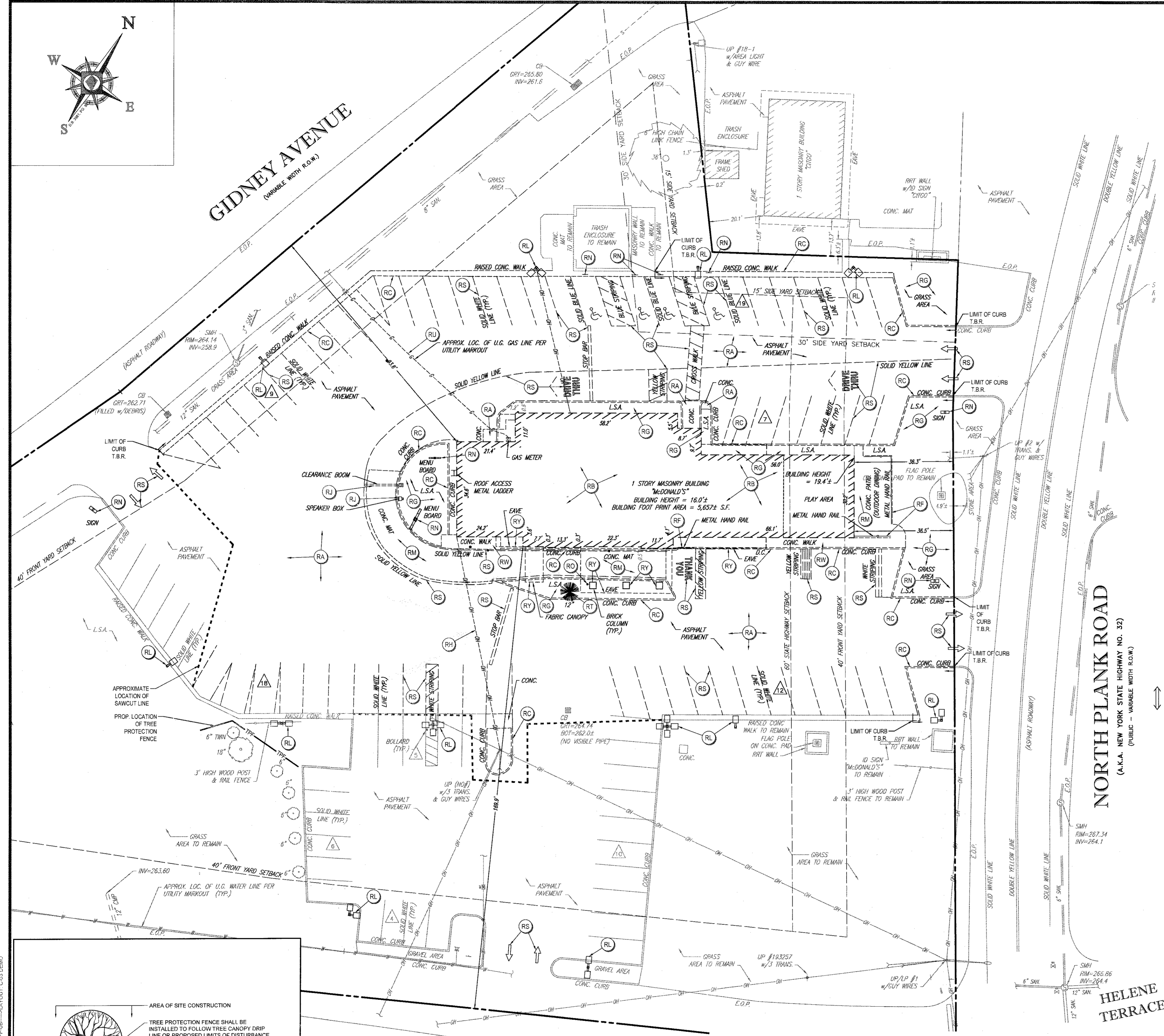
DEMOLITION NOTES:

(03/01/03 - 03/12/12)

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
 - CONTROL POINT ASSOCIATES, INC.
 - 35 TECHNOLOGY DRIVE
 - WARREN, NJ 07059
 - DATE: 10/28/11, REVISED 2/28/12
 - JOB#: C11443
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AND THE NEW JERSEY UNDERGROUND FACILITY PROTECTION ACT (N.J.S.A. 48-27.3, et seq.) AS AMENDED.
- BOHLER ENGINEERING HAS NO CONTRACTUAL RESPONSIBILITY FOR JOB SITE SAFETY OR SUPERVISION.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNING REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH BOHLER ENGINEERING, IN WRITING AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:
 - OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
 - NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 - LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA MANUAL ON U.S. HIGHWAY TRAFFIC CONTROL DEVICES (MUTCD), AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES ASPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
- CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.

PROPOSED KEY:

- RA REMOVE EXIST. ASPHALT/ CONC./GRAVEL PAVEMENT/ BRICK
- RB REMOVE EXIST. BUILDING/ STRUCTURE
- RC REMOVE EXIST. CURB
- RD REMOVE EXIST. FENCE/ GUIDE RAIL
- RE REMOVE EXIST. GROUND COVERS/ GRASS/ LANDSCAPE
- RF REMOVE EXIST. OVERHEAD WARES IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS
- RG REMOVE EXIST. FEATURE
- RH REPLACE EXISTING LIGHT FIXTURE & REUSE FOUNDATION AND/OR POLE IF POSSIBLE
- RI REMOVE EXIST. CONC. MAT/ PAD
- RJ REMOVE EXIST. SIGN
- RL REMOVE EXIST. BOLLARD
- RM REMOVE EXIST. STRIPING
- RN REMOVE EXIST. TREE/ SHRUBS
- RO REMOVE EXIST. US UTILITIES IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS
- RP REMOVE EXIST. CONC. SIDEWALK/ STEPS/ STAIRS AND RAILING
- RS REMOVE EXIST. CANOPY/ COLUMNS AND FOUNDATIONS

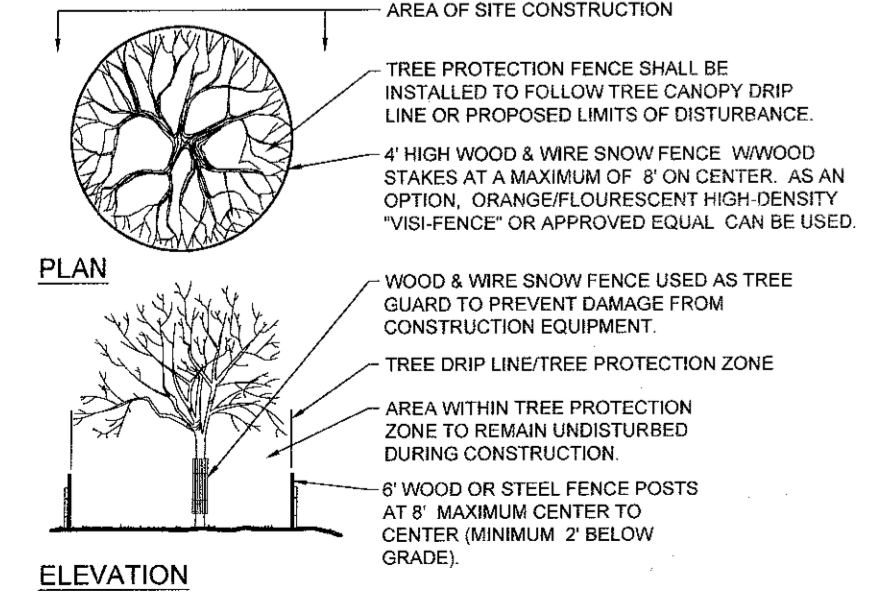


REFER TO SOIL EROSION PLAN FOR SOIL EROSION NOTES & DETAILS

ALL EXISTING FEATURES IN R.O.W. ARE TO REMAIN UNLESS OTHERWISE NOTED

T.B.R. = FEATURE TO BE REMOVED

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY



TREE PROTECTION DURING SITE CONSTRUCTION DETAIL

PLAN

- AREA OF SITE CONSTRUCTION
- TREE PROTECTION FENCE SHALL BE INSTALLED TO FOLLOW TREE CANOPY DRIP LINE OR PROPOSED LIMITS OF DISTURBANCE
- 4" HIGH WOOD & WIRE SNOW FENCE WITH WOOD STAKES AT A MAXIMUM OF 8' ON CENTER. AS AN OPTION, ORANGE/PLUMBENT HIGH DENSITY "VISI-FENCE" OR APPROVED EQUAL, CAN BE USED.
- WOOD & WIRE SNOW FENCE USED AS TREE GUARD TO PREVENT DAMAGE FROM CONSTRUCTION EQUIPMENT
- TREE DRIP LINE/TREE PROTECTION ZONE
- AREA WITHIN TREE PROTECTION ZONE TO REMAIN UNDISTURBED DURING CONSTRUCTION
- 6" WOOD OR STEEL FENCE POSTS AT 6' MAXIMUM CENTER TO CENTER (MINIMUM 2' BELOW GRADE)

ELEVATION

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPING, DRINKWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY LOCATED AND COMPACTED IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THIS PLAN IS A COMPILATION OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 410
FLORIDA LICENSE NO. 12371
PUNJABI LICENSE NO. 20239

PROPOSED SITE IMPROVEMENTS		REGIONAL DWG. NO.	PLAN DESCRIPTION
SECTION 76, BLOCK 1, LOT 1.1		031-0145	DEMOLITION PLAN
STREET ADDRESS			
65 NORTH PLANK ROAD			
CITY	STATE		
TOWN OF NEWBURGH	NY		
COUNTY			
ORANGE			
STATUS	DATE	BY	
PRELIMINARY	08/15/17	KF	
PLAN CHECKED	08/15/17	LM	
AS-BUILT	N/A	N/A	

ISSUE REF	DESCRIPTION	DATE	REV	FINAL PLAN SIGNATURES	P.M.	G.C.	O/O
				McDonald's		NEW YORK REGION	
				OFFICE ADDRESS		111 WOOD AVENUE SOUTH, SUITE 400 ISLIP, NY 11730 (732) 623-8500	
PLANNING	DATE	REGIONAL MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER	
SIGNATURE (2 REQUIRED)							
CO-SIGN SIGNATURES							

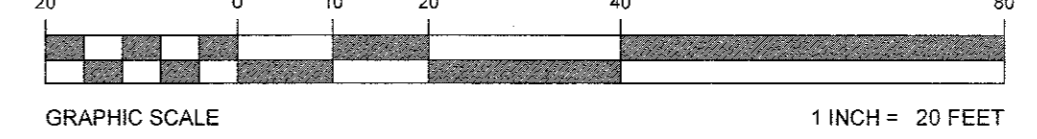
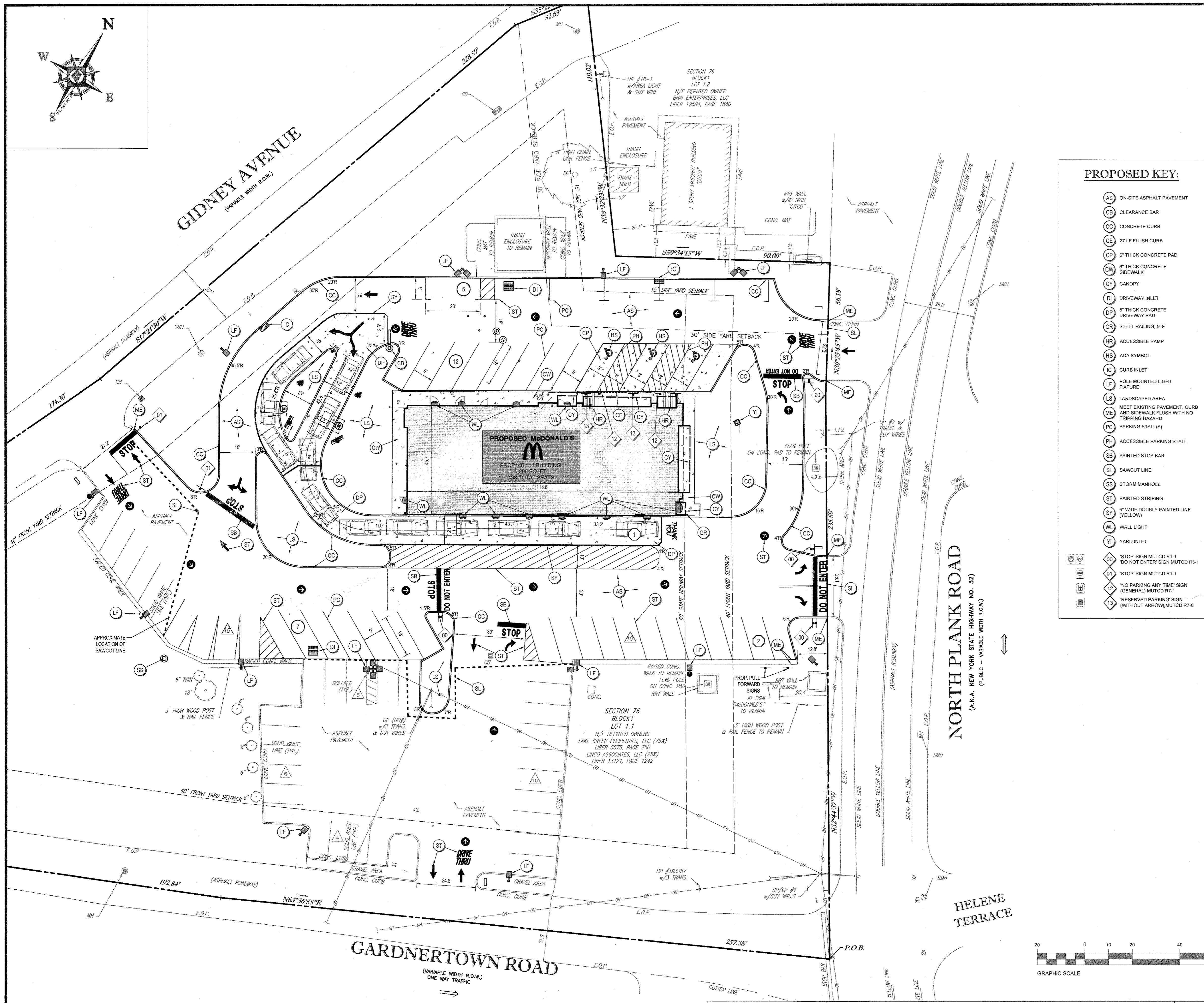
02/10/17 10:56:29 AM CURRENT DRAWING(S) SITE PLAN PACKAGE(1) 10988-SP1-09 LAYOUT C3D DEMO

GENERAL NOTES:
(500003 - 10/2015)

- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.
- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - "ALTA/ACSM LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 10/26/11, REVISED 2/28/12
 - "STORMWATER MANAGEMENT REPORT" PREPARED BY BOHLER ENGINEERING, DATED AUGUST 2011.
 - "REPORT OF GEOTECHNICAL INVESTIGATION" PREPARED BY WHITESTONE ASSOCIATES, INC., DATED 4/25/12
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HEISLE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.
 - ALL ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITIES ACT" (ADA CODE 41 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
 - THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
 - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
 - THE PROPERTY SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC. AND DATED 10/26/11, REVISED 2/28/12 SHALL BE CONSIDERED A PART OF THESE PLANS.
 - THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE RECORDED TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
 - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.
 - THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL, INTERSECTION CABLE, WIRING CONDUITS, AND ANY LINES OR EQUIPMENT ACCESSORILY DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
 - ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
 - THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONJECTURAL REASONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE CONSTRUCTION METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.
 - ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS' COMPENSATION INSURANCE. EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS BOHLER ENGINEERING AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
 - BOHLER ENGINEERING WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO HIS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
 - NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION PROJECT SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES AS A CONTRACTOR, INCLUDING BUT NOT LIMITED TO, CONSTRUCTION METHODS, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDIGNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
 - IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL, EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM SHOULD BE INCLUDED IN THE CONTRACTOR'S PRICE.

PROPOSED KEY:

AS	ON-SITE ASPHALT PAVEMENT
CB	CLEARANCE BAR
CC	CONCRETE CURB
CE	27 LF FLUSH CURB
CF	6" THICK CONCRETE PAD
CH	6" THICK CONCRETE SIDEWALK
CY	CANOPY
DI	DRIVEWAY INLET
DP	8" THICK CONCRETE DRIVEWAY PAD
GR	STEEL RAILING, 5LF
HR	ACCESSIBLE RAMP
HS	ADA SYMBOL
IC	CURB INLET
LF	POLE MOUNTED LIGHT FIXTURE
LS	LANDSCAPED AREA
ME	MEET EXISTING PAVEMENT, CURB AND SIDEWALK FLUSH WITH NO TRIPPING HAZARD
PC	PARKING STALL(S)
PH	ACCESSIBLE PARKING STALL
PI	PAINTED STOP BAR
SL	SAWCUT LINE
SS	STORM MANHOLE
ST	PAINTED STRIPING
SY	6" WIDE DOUBLE PAINTED LINE (YELLOW)
WL	WALL LIGHT
YI	YARD INLET
DO NOT ENTER	"STOP" SIGN MUTCD R-1-1 DO NOT ENTER SIGN MUTCD R-1-1
NO PARKING ANY TIME	"NO PARKING ANY TIME" SIGN (GENERAL) MUTCD R-7-1
RESERVED PARKING	"RESERVED PARKING" SIGN (WITHOUT ARROW) MUTCD R-7-8



PROPOSED SITE IMPROVEMENTS

SECTION 76, BLOCK 1, LOT 1.1

STREET ADDRESS

65 NORTH PLANK ROAD

CITY: TOWN OF NEWBURGH STATE: NY

COUNTY: ORANGE

REGIONAL DWG. NO. 031-0145

PLAN DESCRIPTION: SITE LAYOUT PLAN

PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	08/15/17	KF
		PLAN CHECKED	08/15/17	LM
		AS-BUILT	N/A	N/A

FINAL PLAN SIGNATURES	DATE
P.M.	
G.C.	
O.O.	

ISSUE REF	BY	DESCRIPTION	DATE	REV

NEW YORK REGION

111 WOOD AVENUE SOUTH, SUITE 400
ISELIN, NJ 08850 (732) 923-8500

OFFICE ADDRESS

PLANNING	DESIGN	CONSTRUCTION
REGIONAL MGR.	CONTRACT MGR.	OPERATIONS DEPT.
		REAL ESTATE DEPT.

CC-SIGN SIGNATURES	CONTRACTOR	OWNER

CAD FILE: JT10299-SPJ-03

OF 15

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS OR THE ACCOMPANYING SPECIFICATION UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS, AND/OR IN THE SPECIFICATIONS, IN WRITING. ANY UNAUTHORIZED ALTERATION SHALL BE REPAIRED OR REJECTED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPING, DRYWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILED OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES EXISTING DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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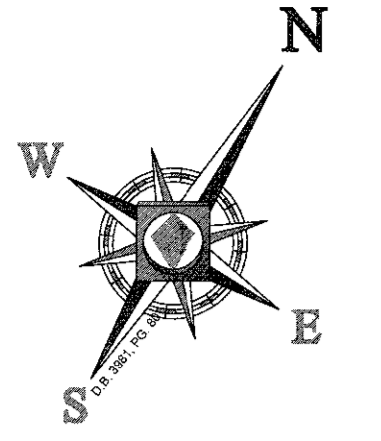
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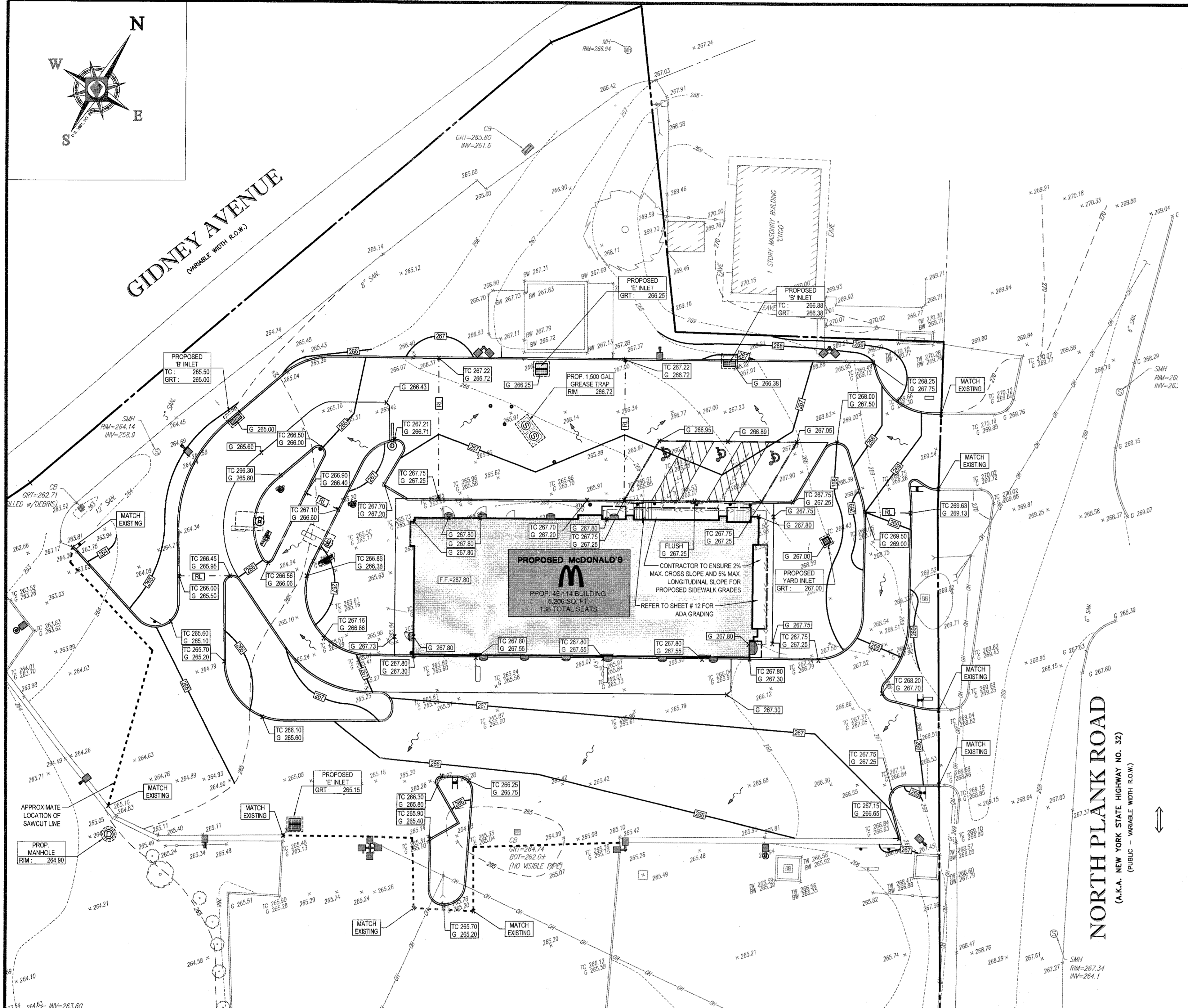
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GIDNEY AVENUE
(VARIOUS WIDTH ROW)



GRAPHIC LEGEND
(U010102 - 03/12/12)

	PROPERTY LINE		EXIST. CONTOUR & ELEVATION		PROP. FINISH GRADE CONTOUR & ELEVATION		EXIST. WATER		PROP. WATER		EXIST. GAS		PROP. GAS		EXIST. ELECTRIC/TELEPHONE		EXIST. ELECTRIC/TELEPHONE/CABLE		PROP. ELECTRIC/TELEPHONE/CABLE		EXIST. OVERHEAD WIRES		PROP. OVERHEAD WIRES		EXIST. STORM PIPE		PROP. STORM PIPE		EXIST. SANITARY PIPE		PROP. SANITARY PIPE		PROP. DIRECTION OF DRAINAGE FLOW ARROW		EXIST. ELEVATION		RIDGE LINE
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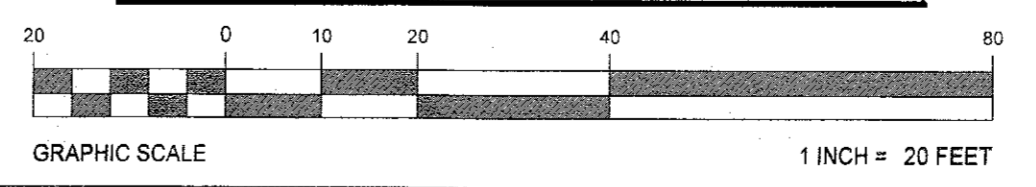
ADA INSTRUCTIONS TO CONTRACTOR:
(600103 - 03/12/12)

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HAND/CAPPED/DASABLE) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE NJ UNIFORM CONSTRUCTION CODE (WHICH BY REFERENCE HAS ADOPTED ICC A117.1 2009) REQUIREMENTS AND THE FEDERAL 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AS CONSTRUCTED FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL, FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, ACCESS BETWEEN BUILDINGS TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS POINTS, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES - SLOPE MUST NOT EXCEED 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION
- CURB RAMPS - SLOPE MUST NOT EXCEED MAXIMUM OF 1/12 (8.3%)
- LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, AND PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) CROSS SLOPE
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH), THE SLOPE MUST BE NO GREATER THAN 1/20 (5.0%) OR 3/4" PER FOOT IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 120 (6.0%) AN ADA RAMP WITH A MAXIMUM SLOPE OF 1/12 (8.3%), FOR A MAXIMUM RISE OF 30 INCHES BETWEEN LANDINGS, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT HAVE A CROSS SLOPE, TO PROVIDE POSITIVE DRAINAGE, OF NO MORE THAN 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%). THE ENTIRE WIDTH OF THE PATH OF TRAVEL MUST COMPLY WITH THESE REQUIREMENTS.
- DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED FOR POSITIVE DRAINAGE, WITH SLOPE NO MORE THAN 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN BOTH DIRECTIONS. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (6 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE ICC/ANSI A117.1-2008 AND OTHER REFERENCES INCORPORATED BY CODE).

IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

REFER TO SHEET #12 FOR ADDITIONAL ADA GRADING INFORMATION
THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY



GRADING & UTILITY NOTES:
(600102 - 03/12/12)

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL AND STATE REGULATIONS AND CODES.
- THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION PRIOR TO CONSTRUCTION. UTILITIES AS IDENTIFIED OR REQUIRED FOR THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- THE CONTRACTOR SHALL INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES SERVICES WITH THE UTILITY COMPANIES TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH UTILITY REQUIREMENTS HAVING JURISDICTION, AND SHALL BE RESPONSIBLE FOR COORDINATING THE UTILITY RECONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN A COMPACTOR REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBGRADE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SUBGRADE SHALL BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED, AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING SHALL COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE ABSENCE OF A GEOTECHNICAL REPORT, EARTHWORK ACTIVITIES SHALL COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION).
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, SHALL EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR SHALL MAINTAIN A RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD SHALL BE KEPT ON A CLEAN COPY OF THE SITE PLAN, AND BE PROVIDED TO THE OWNER AT THE COMPLETION OF WORK.
- WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR SHALL EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR SHALL CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND SHALL NOTE THE LOCATION ON A CLEAN COPY OF THE SITE PLAN, TO BE PROVIDED TO THE OWNER UPON COMPLETION OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 8" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING OUT SHEETS PRIOR TO INSTALLATION.
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
- WHERE RETAINING WALLS ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTING FOUNDATION ELEVATIONS ARE NOT IDENTIFIED AND ARE TO BE DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
- STORM DRAIN PIPE:

APPROXIMATE CUT = 150 CY
APPROXIMATE FILL = 1350 CY
ADJUSTED TOTAL NET CUT/FILL = 1200 CY

PROPOSED SITE IMPROVEMENTS
SECTION 76, BLOCK 1, LOT 1.1
STREET ADDRESS
65 NORTH PLANK ROAD
CITY STATE
TOWN OF NEWBURGH NY
COUNTY
ORANGE
REGIONAL DWG. NO
031-0145
PLAN DESCRIPTION
GRADING PLAN

STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A

CONTRACTOR OWNER
C-5

ISSUE REF	DESCRIPTION	DATE	BY
24.	SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL SHALL BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED OTHERWISE.		
25.	STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR TO VERIFY LOCATIONS BASED ON FINAL ARCHITECTURAL PLANS.		
26.	SEWERS CROSSING STREAMS AND/OR LOCATED WITHIN 10 FEET OF THE STREAM EMBANMENT, OR WHERE SITE CONDITIONS SO INDICATE, SHALL BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.		
	SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY HAVING JURISDICTION.		
27.	WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED.		
28.	WATER MAIN PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING SHALL BE CEMENT-LENE DUCTILE IRON (DI). ALL PIPE AND APPURTENANCES SHALL COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.		
29.	CONTRACTOR TO ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, SHALL BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL COUNTY AND/OR NJDOT DETAILS AS APPLICABLE. CONTRACTOR IS TO COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY HAVING JURISDICTION.		
30.	WHERE BASEMENTS ARE TO BE PROVIDED FOR PROPOSED DWELLING UNITS, THE DEVELOPER SHALL BY BORING OR BY TEST PIT, DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED DWELLINGS. WHERE GROUNDWATER IS ENCOUNTERED IN THE BASEMENT AREA, BASEMENTS WILL NOT BE INSTALLED UNLESS SPECIAL CONSTRUCTION METHODS ARE UTILIZED, TO BE REVIEWED AND APPROVED BY THE MUNICIPAL CONSTRUCTION CODE OFFICIAL. IF AND WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGES SHALL BE CONNECTED TO THE STORM SEWER. A CLEANOUT SHALL BE PROVIDED PRIOR TO THE CONNECTION TO THE STORM DRAIN IN ORDER THAT BLOCKAGES CAN BE ADDRESSED. N/A		
31.	FOR SINGLE AND TWO-FAMILY RESIDENTIAL PROJECTS, THE PROPOSED DWELLING AND ADJACENT SPOT ELEVATION ARE SCHEMATIC FOR GENERAL BUILDING FOOTPRINT. GRADES SHALL BE ADJUSTED BASED ON A FINAL ARCHITECTURAL PLANS TO PROVIDE A MINIMUM OF SIX (6) INCHES BELOW TOP OF BLOCK AND/OR SIX (6) INCHES BELOW SIDING, WHICHEVER IS LOWEST, AND SHALL PROVIDE POSITIVE DRAINAGE (2% MIN) AWAY FROM DWELLING ALL CONSTRUCTION, INCLUDING GRADING, IS TO COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODE. N/A		

FINAL PLAN SIGNATURES
P.M. G.C. O/O

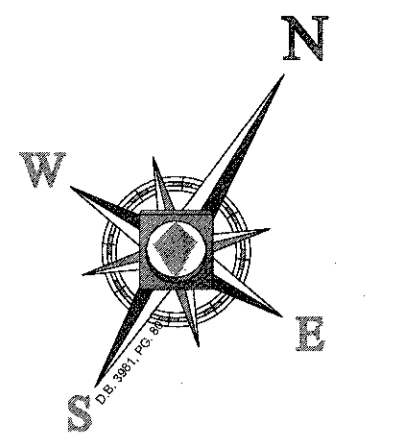
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DATE PLOTTED: 10/25/2017 10:58:58 AM CURRENT DRAWING SITE PLAN PACKAGE: 11159-SPR-08 LAYOUT: C-05.GRD



GIDNEY AVENUE
(VARIABLE WIDTH R.O.W.)

GARDNERTOWN ROAD
(VARIABLE WIDTH R.O.W.)
ONE WAY TRAFFIC

GRIMM ROAD

PROP. GAS CONNECTION CONTRACTOR TO COORDINATE WITH GAS AUTHORITY FOR FEASIBILITY OF CONNECTION PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF LOCATION OF CONNECTION DIFFERS FROM THAT SHOWN ON PLAN.

PRIOR TO START OF CONSTRUCTION, CONTRACTOR TO VERIFY EXACT LOCATION, SIZE, DEPTH AND CONDITION OF EXISTING SEWER MAIN. CONTRACTOR TO THE PROPOSED SEWER LATERAL TO THE EXISTING SEWER MAIN AS SHOWN ON PLANS. SHOULD CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, CONTRACTOR TO NOTIFY THE ENGINEER OF RECORD IN WRITING IMMEDIATELY.

PROP. SADDLE CONNECTION: 260.8
PROP. 60 LF 6" PVC SAN. LATERAL @ 2.08%

PROP. 6 LF 4" PVC SAN. LATERAL @ 2.08%

PROPOSED 'E' INLET
GRT: 266.25
INV. IN: 263.68
INV. OUT: 263.58

PROPOSED 'E' INLET
GRT: 266.38
INV. IN: 263.89
INV. OUT: 263.89

PROPOSED 'NO' CROSSING 1
STM STM: 263.46
STM STM: 263.27
SAN. INV.: 261.34
SAN. TOP: 261.77
CLEARANCE: 1.5'
ENCASEMENT: NO

PROPOSED 'E' INLET
GRT: 265.50
INV. IN: 262.95
INV. OUT: 262.88

PROP. 104 LF 15" RCP CL. V @ 0.5% SL. STM

PROP. SAN. CO.
INV.: 261.57

PROP. 6 LF 4" PVC SAN. LATERAL @ 2.08%

PROP. 17 LF 4" PVC SAN. LATERAL @ 2.08%

PROP. 17 LF 4" PVC SAN. LATERAL @ 2.08%

PROP. 68 LF 12" HDPE @ 1.0% SL. STM

PROP. 6 LF 4" PVC SAN. LATERAL @ 2.08%

PROP. SAN. CO.
INV.: 261.92

PROP. WATER VALVE (TYP. OF 2)

PROP. 19 LF 4" PVC SAN. LATERAL @ 2.08%

PROP. 4 LF 6" HDPE @ 1.0% SL. STM

PROP. 31 LF 4" PVC SAN. LATERAL @ 2.08%

PROP. INV.: 262.65

PROP. INV.: 264.26

PROP. WATER CONNECTION

PROP. INV.: 262.57

PROP. INV.: 264.30

PROP. GAS METER

PROP. ELECTRIC METER

PROP. UNDERGROUND ELECTRIC, TELEPHONE & CABLE SERVICE

PROP. INV.: 262.00

PROP. 13 LF 15" RCP CL. V @ 0.5% SL. STM

PROP. 81 LF 15" RCP CL. V @ 0.5% SL. STM

PROP. INV.: 265.15

PROP. INV.: 261.78

PROP. 51 LF 15" RCP CL. V @ 0.5% SL. STM

PROP. INV.: 264.90

PROP. INV.: 262.16

PROP. MANHOLE

PROP. INV.: 261.60

PROP. INV.: 261.60

PROP. RP RAP

PROP. INV.: 261.60

PROP. 15' F.E.S.

PROP. INV.: 261.33

PROP. 145 LF 15" RCP CL. V @ 0.5% SL. STM

PROP. INV.: 262.57

PROP. 73 LF 15" RCP CL. V @ 0.5% SL. STM

PROP. INV.: 262.00

PROP. 4" DIP FIRE SERVICE

PROP. INV.: 262.00

PROP. 4" WET TAP. CONTRACTOR TO COORDINATE WITH WATER AUTHORITY FOR FEASIBILITY OF CONNECTION PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF LOCATION OF CONNECTION DIFFERS FROM THAT SHOWN ON PLAN.

PROP. INV.: 262.00

PROP. WATER VALVE

PROP. INV.: 262.00

PROP. 4" WET TAP. CONTRACTOR TO COORDINATE WITH WATER AUTHORITY FOR FEASIBILITY OF CONNECTION PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF LOCATION OF CONNECTION DIFFERS FROM THAT SHOWN ON PLAN.

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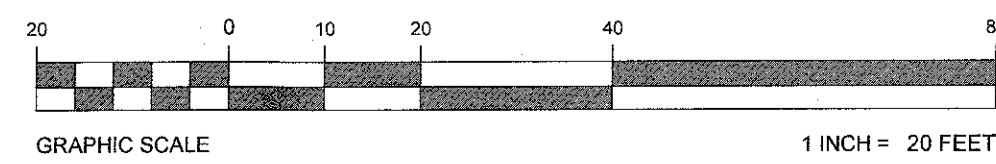
PROP. INV.: 262.00

PROP. 4" WET TAP. CONTRACTOR TO COORDINATE WITH WATER AUTHORITY FOR FEASIBILITY OF CONNECTION PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF LOCATION OF CONNECTION DIFFERS FROM THAT SHOWN ON PLAN.

GRAPHIC LEGEND
(U010102 - 03/12/12)

	PROPERTY LINE
	EXIST. CONTOUR & ELEVATION
	PROP. FINISH GRADE CONTOUR & ELEVATION
	EXIST. WATER
	PROP. WATER
	EXIST. GAS
	PROP. GAS
	EXIST. ELECTRIC/TELEPHONE
	PROP. ELECTRIC/TELEPHONE
	EXIST. ELECTRIC/TELEPHONE/CABLE
	PROP. ELECTRIC/TELEPHONE/CABLE
	EXIST. OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	EXIST. STORM PIPE
	PROP. STORM PIPE
	EXIST. SANITARY PIPE
	PROP. SANITARY PIPE
	PROP. DIRECTION OF DRAINAGE FLOW ARROW
	EXIST. ELEVATION
	EXIST. TOP OF CURB ELEVATION
	EXIST. GRADE ELEVATION
	PROP. TOP OF WALL ELEVATION
	PROP. GRADE ON HIGH SIDE OF WALL
	PROP. GRADE ON LOW SIDE OF WALL
	PROP. TOP OF CURB & FINISHED GRADE ELEV.
	EXIST. AREA/YARD LIGHT
	PROP. AREA/YARD LIGHT
	PROP. CLEAN OUT
	EXIST. INLET
	PROP. INLET
	EXIST. MANHOLE
	PROP. STORM MANHOLE
	PROP. SANITARY MANHOLE
	EXIST. HYDRANT
	PROP. HYDRANT
	EXIST. UTILITY VALVE
	PROP. UTILITY VALVE
	EXIST. UTILITY POLE
	EXIST. TRAFFIC SIGNAL
	PROP. TRAFFIC SIGNAL

THIS PLAN TO BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES ONLY



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Dig Safely. New York.
800-962-7962
www.digsafelynewyork.com

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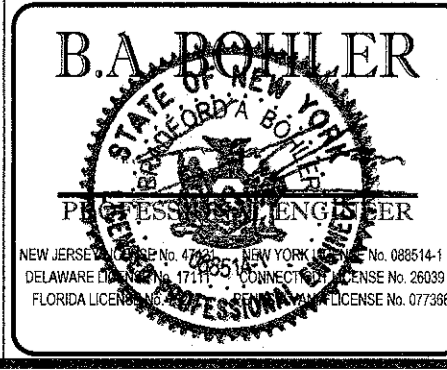
BOHLER ENGINEERING
35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 968-8300
Fax: (908) 754-4401
www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS - SURVEYORS - PROJECT MANAGERS - ENVIRONMENTAL CONSULTANTS - LANDSCAPE ARCHITECTS

CORPORATE OFFICE: WARREN, NJ

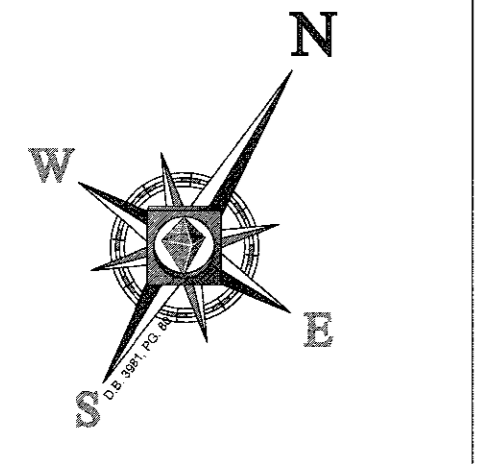
OTHER OFFICES:
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• BOWIE, MD
• TOWSON, MD
• ALBANY, NY

OTHER OFFICES:
• HALLPAUGE, NY
• STERLING, VA
• CENTER VALLEY, PA
• CHALFONT, PA
• PHILADELPHIA, PA
• CHARLOTTE, NC
• WARRINGTON, VA
• FORT LAUDERDALE, FL
• TAMPA, FL



PROPOSED SITE IMPROVEMENTS	
SECTION 76, BLOCK 1, LOT 1.1	
STREET ADDRESS	
65 NORTH PLANK ROAD	
CITY	STATE
TOWN OF NEWBURGH	NY
COUNTY	
ORANGE	
REGIONAL DWG. NO.	PLAN DESCRIPTION
031-0145	DRAINAGE & UTILITIES PLAN
CAD FILE: J116665-SPP-08	OF 15

REGIONAL MGR.	CONTRACTOR	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR OWNER	
DATE	SIGNATURE (2 REQUIRED)	DATE	SIGNATURE	DATE	SIGNATURE
PLANNING APPROVALS	DATE	PLANNING APPROVALS	DATE	PLANNING APPROVALS	DATE
FINAL PLAN SIGNATURES	DATE	FINAL PLAN SIGNATURES	DATE	FINAL PLAN SIGNATURES	DATE
McDonald's					
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NEW YORK REGION					
111 WOOD AVENUE SOUTH, SUITE 400					
ISELTON, NJ 08830 (732) 923-8500					
OFFICE ADDRESS	OFFICE ADDRESS	OFFICE ADDRESS	OFFICE ADDRESS	OFFICE ADDRESS	OFFICE ADDRESS
ISSUE REF.	BY	DESCRIPTION	DATE	REV.	DATE



GIDNEY AVENUE
(VARIABLE WIDTH R.O.W.)

GARDNERTOWN ROAD
(VARIABLE WIDTH R.O.W.)
ONE WAY TRAFFIC

PROPOSED MCDONALD'S
PROP. 46-14 BUILDING
5,208 SQ. FT.
136 TOTAL SEATS

LIGHTING NOTES:

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCES IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.67 FOR ALL LED LUMINAIRES, 0.81 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES AND 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED.
- THE LUMINAIRES, LAMPS AND LENSES SHALL BE REGULARLY INSPECTED/MAINTAINED TO INSURE THAT THEY FUNCTION PROPERLY. THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS SHALL BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- WHEN A BANK, ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- REGULATORY CONTRACTOR TO COORDINATE WITH THE PROJECT ARCHITECT REGARDING POWER SOURCES FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND GOVERNMENTAL REGULATIONS.



SES POLES

SQUARE STEEL STRAIGHT POLES (SSP)

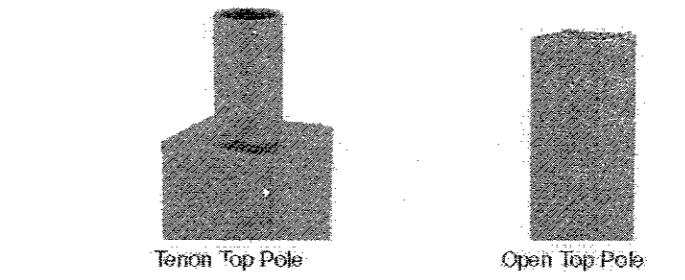
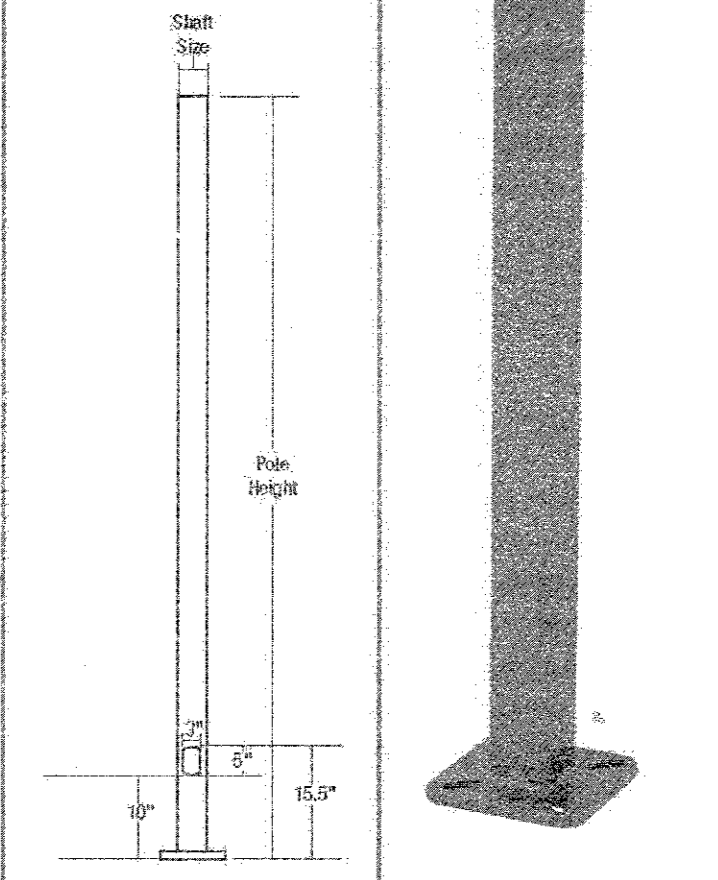
Specifications

The Square Steel Straight Pole has been successfully installed in projects of all types for over 30 years and has become the most popular and economical pole option for all site lighting applications including retail, commercial, industrial and residential projects.

The popularity of this series is due to its full offering of sizes, heights and standard colors with complete offering of mounting options, accessories and select styles/cookers stocked for immediate shipping.

- Square Steel Straight Pole
- One piece construction
- 2 3/8" O.D. Toron, Open Top or Factory drilled Six Mount Options available
- Steel Base Plate
- 3 size options for anchor bolts. All anchor bolts fully galvanized with 7 mils zinc washer (also available as separate line item and paper template included as component of pole)
- Square base cover available (includes as separate line item)
- Pole finished in weather proof powder coated paint in 4 standard colors.
- 3" x 5" Gasketed hand hole standard

Dimensions



Ordering Information: Ordering Example: SES-18-40-01-TA-0-DB

SES	SSP Square Steel Straight Pole	18' 18 Feet	40' 4" x 4" Shaft	01 11 Toron 1 1/2" Thick	TA 2 3/8" O.D. Toron	01 01 Nothing for Toron and Open Top Pole	DB Dark Bronze
20' 20 Feet	50' 5" x 5" Shaft	07 07 Toron 1 1/2" Thick	OT Open Top Pole	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	WH White
22' 22 Feet	50' 5" x 5" Shaft	07 07 Toron 1 1/2" Thick	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	BL Black
25' 25 Feet	50' 5" x 5" Shaft	07 07 Toron 1 1/2" Thick	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	PS Platinum Silver
28' 28 Feet	50' 5" x 5" Shaft	07 07 Toron 1 1/2" Thick	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole	01 01 Nothing for Toron and Open Top Pole

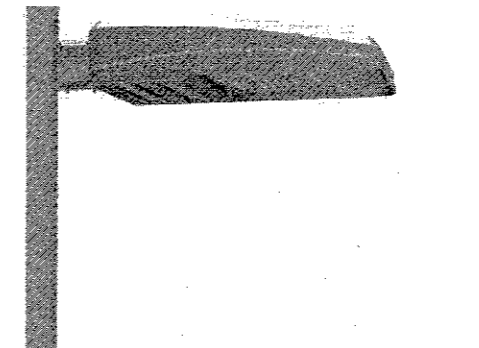
CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/ MANUFACTURER LIGHT POLE COLOR TO MATCH FIXTURE: SILVER

LIGHT POLE SPECIFICATION

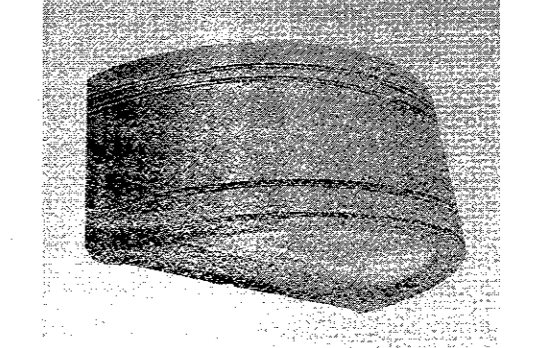
SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRANGMT.	LUMENS	LLF	CATALOG #
	9	A-1 BLC	20'	HUBBELL LIGHTING BEACON VIPER SERIES LARGE LED AREA LIGHT W/ BACK LIGHT CONTROL	SINGLE	29,128	0.87	VP-L-96N-280-SK-T4-XXX-PK2-1-BLC-XXX
	3	A-2 BLC	20'	HUBBELL LIGHTING BEACON VIPER SERIES LARGE LED AREA LIGHT W/ BACK LIGHT CONTROL	DOUBLE AT 90°	29,128 (X2)	0.87	VP-L-96N-280-SK-T4-XXX-PK2-1-BLC-XXX
	1	A-3 BLC	20'	HUBBELL LIGHTING BEACON VIPER SERIES LARGE LED AREA LIGHT W/ BACK LIGHT CONTROL	QUAD	29,128 (X4)	0.87	VP-L-96N-280-SK-T4-XXX-PK2-1-BLC-XXX
	12	W-1	9'	SECURITY LIGHTING RADIUS SERIES LED WALL SCONCE	SINGLE	1,620	0.87	RWSC-36L-5K-DO-XXX-PS
	5	W-2	15.583'	SECURITY LIGHTING HIRAF SERIES LINEAR LED FAÇADE LIGHT	SINGLE	1,800	0.87	HIRAF-HE-LED-36-DO-XXX-PS
	14	W-3	15.583'	SECURITY LIGHTING HIRAF SERIES LINEAR LED FAÇADE LIGHT	SINGLE	2,400	0.87	HIRAF-HE-LED-48-DO-XXX-PS
	2	W-4	18.75'	SECURITY LIGHTING HIRAF SERIES LINEAR LED FAÇADE LIGHT	SINGLE	2,400	0.87	HIRAF-HE-LED-48-DO-XXX-PS

EXISTING LIGHT POLE FOUNDATION NOTE

GENERAL CONTRACTOR TO PROVIDE, IN WRITING, DOCUMENTATION TO OWNER VERIFYING THE SUITABILITY OF ANY EXISTING LOT LIGHT BASE FOUNDATION AND POLE FOR REUSE. FULL REVIEW OF ALL LIGHT BASE FOUNDATIONS AND POLES SHALL BE WITH PROJECT OPI.



HUBBELL LIGHTING BEACON VIPER SERIES LARGE LED AREA LIGHT W/ BACK LIGHT CONTROL (A-1 BLC, A-2 BLC & A-3 BLC) NOT TO SCALE



SECURITY LIGHTING RADIUS SERIES LED WALL SCONCE (W-1) NOT TO SCALE

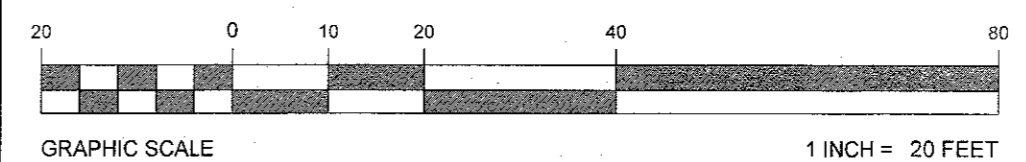


SECURITY LIGHTING HIRAF SERIES LINEAR LED FAÇADE LIGHT (W-2, W-3 & W-4) NOT TO SCALE

THIS PLAN REFERS TO A LIGHTING DESIGN PREPARED BY SECURITY LIGHTING DATED 07/24/2017, MODIFIED 07/25/2017.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

REFER TO DETAIL SHEET FOR LIGHT POLE FOUNDATION DETAIL



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THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPES, SERVICES, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THIS PLAN IS A COMPLETION OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES AND/OR UTILITIES SHOWN ON THIS PLAN ARE TO BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

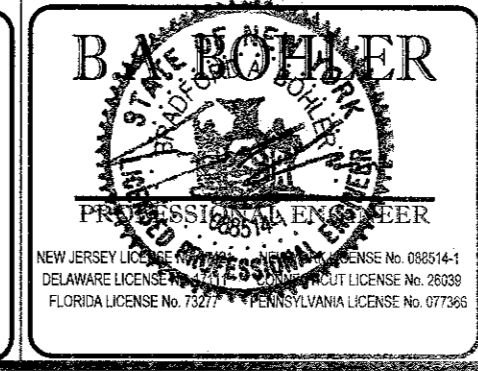
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CORPORATE OFFICE: WARREN, NJ

OTHER OFFICES: SOUTH BOROUGHS, MA; BOWIE, MD; TOWSON, MD; ALBANY, NY; HALLPAUGE, NY; CENTER VALLEY, PA; CHALFONT, PA; PHILADELPHIA, PA; TAMPA, FL; CHARLOTTE, NC; STERLING, VA; WARRINGTON, VA; FORT LAUDERDALE, FL; TAMPA, FL.



PROPOSED SITE IMPROVEMENTS		STATUS	DATE	BY
SECTION 76, BLOCK 1, LOT 1.1		PRELIMINARY	08/15/17	KF
STREET ADDRESS		PLAN CHECKED	08/15/17	LM
65 NORTH PLANK ROAD		AS-BUILT	N/A	N/A
CITY	STATE	REGIONAL DWG. NO.	PLAN DESCRIPTION	
TOWN OF NEWBURGH	NY	031-0145	LIGHTING PLAN	
COUNTY				
ORANGE				

McDonald's

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NEW YORK REGION
111 WOOD AVENUE SOUTH, SUITE 400
ISELTON, NJ 08830 (732) 832-8500

OFFICE ADDRESS

DATE

PLAN APPROVALS

SIGNATURE (2 REQUIRED)

REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT.

CO-SIGN SIGNATURES

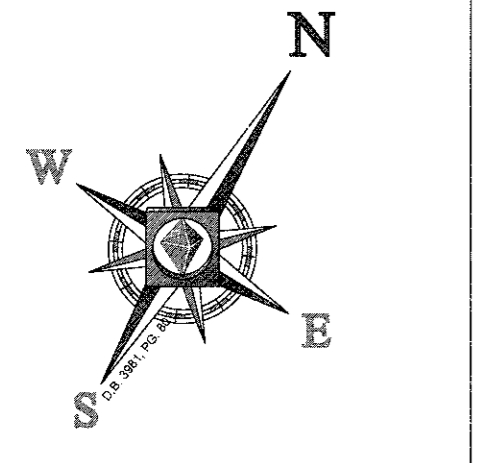
CONTRACTOR OWNER

ISSUE REF. BY DESCRIPTION REV. DATE

FINAL PLAN SIGNATURES: P.M., G.C., O.I.O.

CAD FILE: J:\10269.LOT.08

OF 15

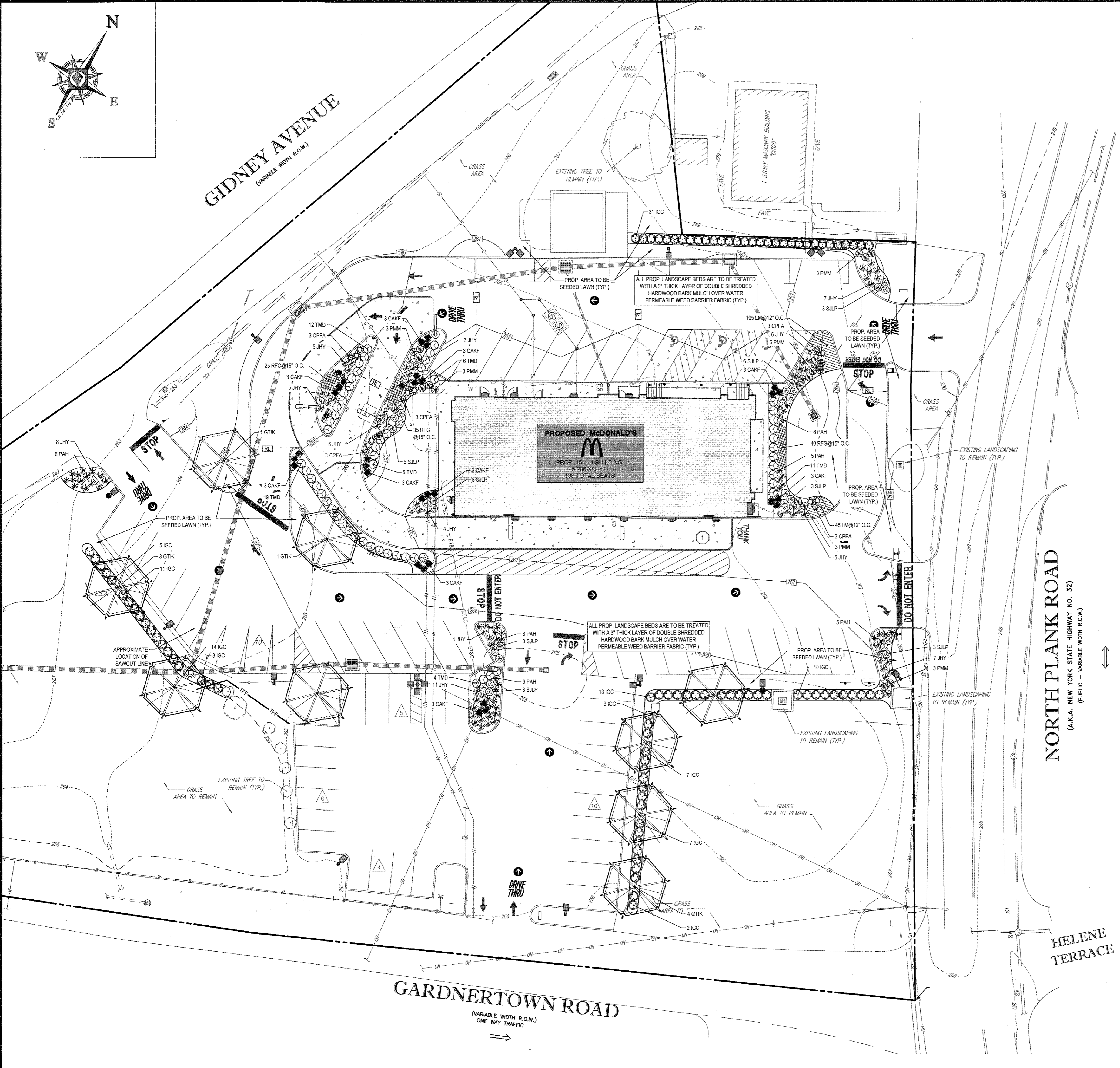


GIDNEY AVENUE
(VARIABLE WIDTH R.O.W.)

NORTH PLANK ROAD
(A.K.A. NEW YORK STATE HIGHWAY NO. 32)
(PUBLIC - VARIABLE WIDTH R.O.W.)

HELENE TERRACE

GARDNERTOWN ROAD
(VARIABLE WIDTH R.O.W.)
ONE WAY TRAFFIC



SECTION	REQUIREMENT	CALCULATIONS	COMPLIANCE
185-13 OFF-STREET PARKING AND LOADING FACILITIES	D(9)(A) PARKING SPACE STANDARDS LANDSCAPING ALL OPEN PARKING AREAS SHALL BE SUITABLY LANDSCAPED IN PARKING LOTS WITH MORE THAN 20 SPACES. AT LEAST 5% OF THE AREA OF THE PARKING LOT SHALL BE DEVOTED TO LANDSCAPING WITHIN THE INTERIOR OF THE PARKING LOT. SUCH LANDSCAPING SHALL BE IN ADDITION TO THAT WHICH MAY BE REQUIRED ALONG THE STREET LINE, THE LOT LINES OR THE BUILDING FOUNDATION. IN ALL PARKING LOTS PROVIDING EIGHT OR MORE OFF-STREET PARKING SPACES, ONE SHADE OR FLOWERING ORNAMENTAL TREE SHALL BE PLANTED FOR EACH EIGHT PARKING SPACES AND ANY ADDITIONAL NUMBER THEREOF. SAID TREE OR TREES TO BE PLANTED IN MEDIAN DIVIDERS, ISLANDS OR SUCH OTHER LOCATIONS AS MAY BE ACCEPTABLE TO THE PLANNING BOARD.	TOTAL PARKING SPACES: 72 SPACES TOTAL PARKING AREA: 20,914 SF REQUIRED: 20,914 x .05 = 1,045.7 SF PROPOSED LANDSCAPE WITHIN PARKING AREA: 2,595 SF	COMPLIES
	D(9)(B) ALL PLANTING BEDS, LANDSCAPED ISLANDS AND PEDESTRIAN WALKWAYS, IF PROVIDED, SHALL BE PROTECTED BY CURBS, STURDY POSTS, RAILS OR WALLS 1 1/2 TO 2 FEET IN HEIGHT OR OTHER PROTECTIVE DEVICES AND SHALL BE OF SUFFICIENT WIDTH TO PREVENT DAMAGE OR INJURY TO BOTH PLANT MATERIALS AND PEDESTRIANS. ADDITIONAL BARRIERS MAY BE REQUIRED BY THE PLANNING BOARD TO GIVE BETTER PROTECTION AND TO IMPROVE PEDESTRIAN AND VEHICULAR CIRCULATION.	TOTAL PARKING SPACES: 72 SPACES REQUIRED: 72 / 8 = 9 TREES PROPOSED TREES: 9 (9 GTK)	COMPLIES
		PROPOSED PLANTING BEDS ARE IN AREAS PROTECTED WITH CURBS. PLANTINGS HAVE BEEN OFFSET 4' FROM BACK OF CURB TO AVOID DAMAGE BY CAR OVERHANGS.	COMPLIES

LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREES(S)					
GTK	9	GLEDITSIA TRIACANTHOS NERMS SKYCOLE	SKYLINE THORNLESS HONEYCLOUT	2 1/2-3' CAL.	8-H
SUBTOTAL:	9				
DECIDUOUS SHRUBS(S)					
SPL	29	SPINAEA JAPONICA LITTLE PRINCESS	LITTLE PRINCESS SPIREA	24-30"	CONTAINER
SUBTOTAL:	29				
EVERGREEN SHRUBS(S)					
CPA	15	CHAMAECYPARIS-SPINERA FILIFERA AUREA NANA	DWARF GOLD THREAD CYPRESS	15-18" SPD	CONTAINER
IGC	92	ILEX GLABRA 'COMPACTA'	DWARF INKBERY HOLLY	24-30"	CONTAINER
JHY	74	JUNIPERUS HORIZONTALIS 'YOUNGSTON'	ANDORA JUNIPER	16-24" SPD	CONTAINER
PMM	21	PINUS MUGO MUGUS	DWARF MUGO PINE	18-24"	CONTAINER
TMD	57	TAXUS MEDIA 'ENSIFORMIS'	DENSIFORMS YEW	24-30"	8-H
SUBTOTAL:	260				
PERENNIALS					
LM	150	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LELYTURF	1 GAL.	CONTAINER
RFG	100	RUDEBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM BLACK-EYED SUSAN	2 GAL.	CONTAINER
SUBTOTAL:	250				
ORNAMENTAL GRASSES(S)					
CAKF	30	CALAMAGROSTIS ARUNDINACEA KARL FOENSTER	FEATHER REED GRASS	2 GAL.	CONTAINER
PAH	37	PENNISETUM ALPECOUROIDES HAMELI	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER
SUBTOTAL:	67				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVEL SURFACES ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

SEEDING SPECIFICATIONS: (1021101-062012)

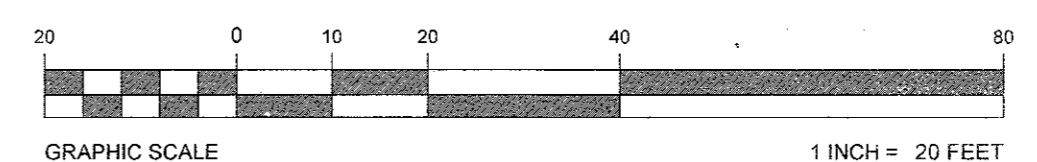
- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES

PERENNIAL RYEGRASS	1/2 LB/1,000 SQ FT
KENTUCKY BLUEGRASS	1 LB/1,000 SQ FT
RED FESCUE	1 1/2 LBS/1,000 SQ FT
SPREADING FESCUE	1 1/2 LBS/1,000 SQ FT
FERTILIZER (20-10-10)	14 LBS/1,000 SQ FT
MULCH	90 LBS/1,000 SQ FT

- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

REFER TO LANDSCAPE NOTES & DETAILS SHEET

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY



C:\01\11\2020\DRAWINGS\SCHEMATIC DRAWINGS\SITE PLAN PACKAGE\11668LAND-03--LAYOUT-DWG.LAND

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BOHLER ENGINEERING
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 17177
FLORIDA LICENSE NO. 17177
PENNSYLVANIA LICENSE NO. 10039

PROPOSED SITE IMPROVEMENTS
SECTION 76, BLOCK 1, LOT 1.1
STREET ADDRESS
65 NORTH PLANK ROAD
CITY TOWN OF NEWBURGH STATE NY
COUNTY ORANGE
REGIONAL DWG NO 031-0145
PLAN DESCRIPTION LANDSCAPE PLAN

STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A

OWNER: REGIONAL DWG NO 031-0145
CONTRACTOR: PLAN DESCRIPTION LANDSCAPE PLAN
OWNER: C-8

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OFFICE ADDRESS

DATE	DATE	DATE

PLAN APPROVALS

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.

CO-SIGN SIGNATURES

CONTRACTOR	OWNER

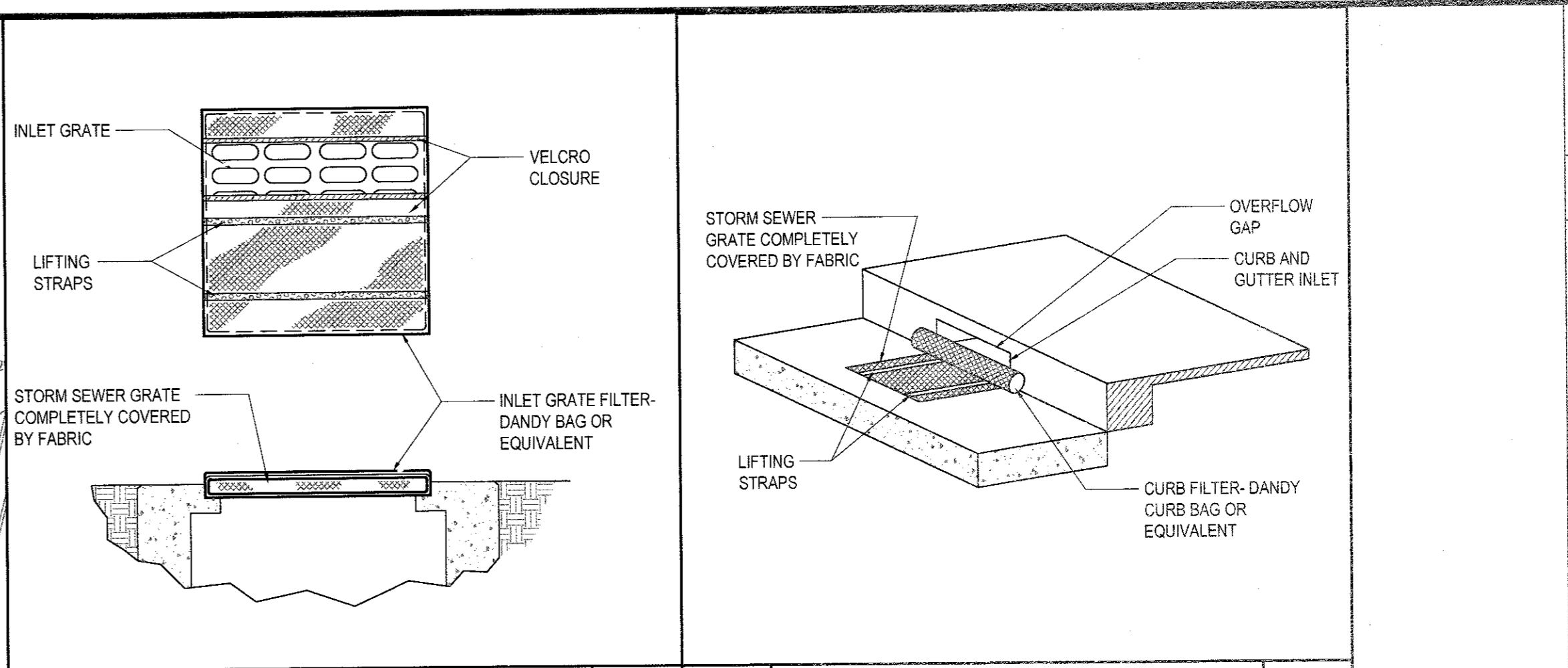
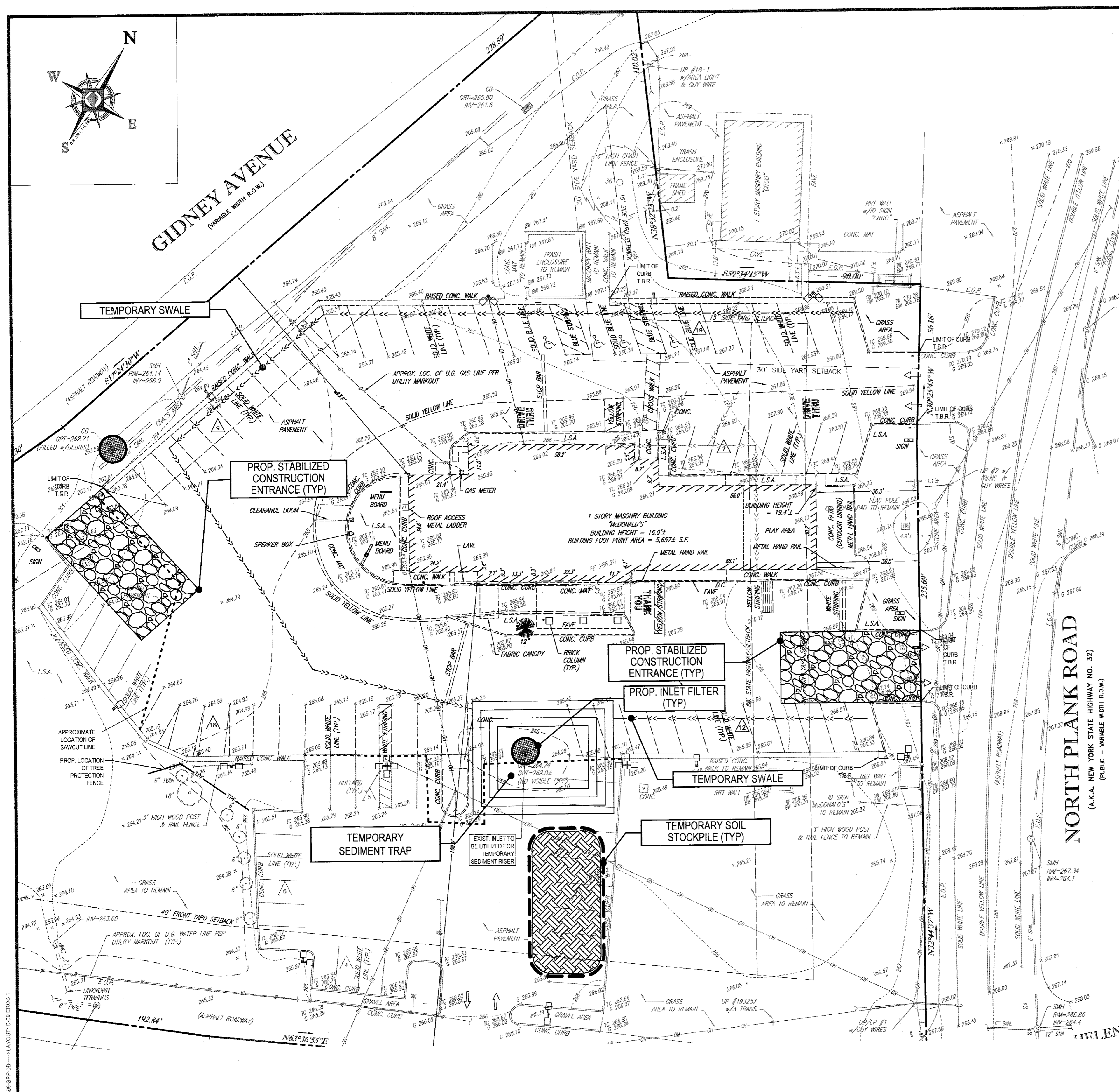
ISSUE REF

BY	DESCRIPTION	DATE

FINAL PLAN SIGNATURES

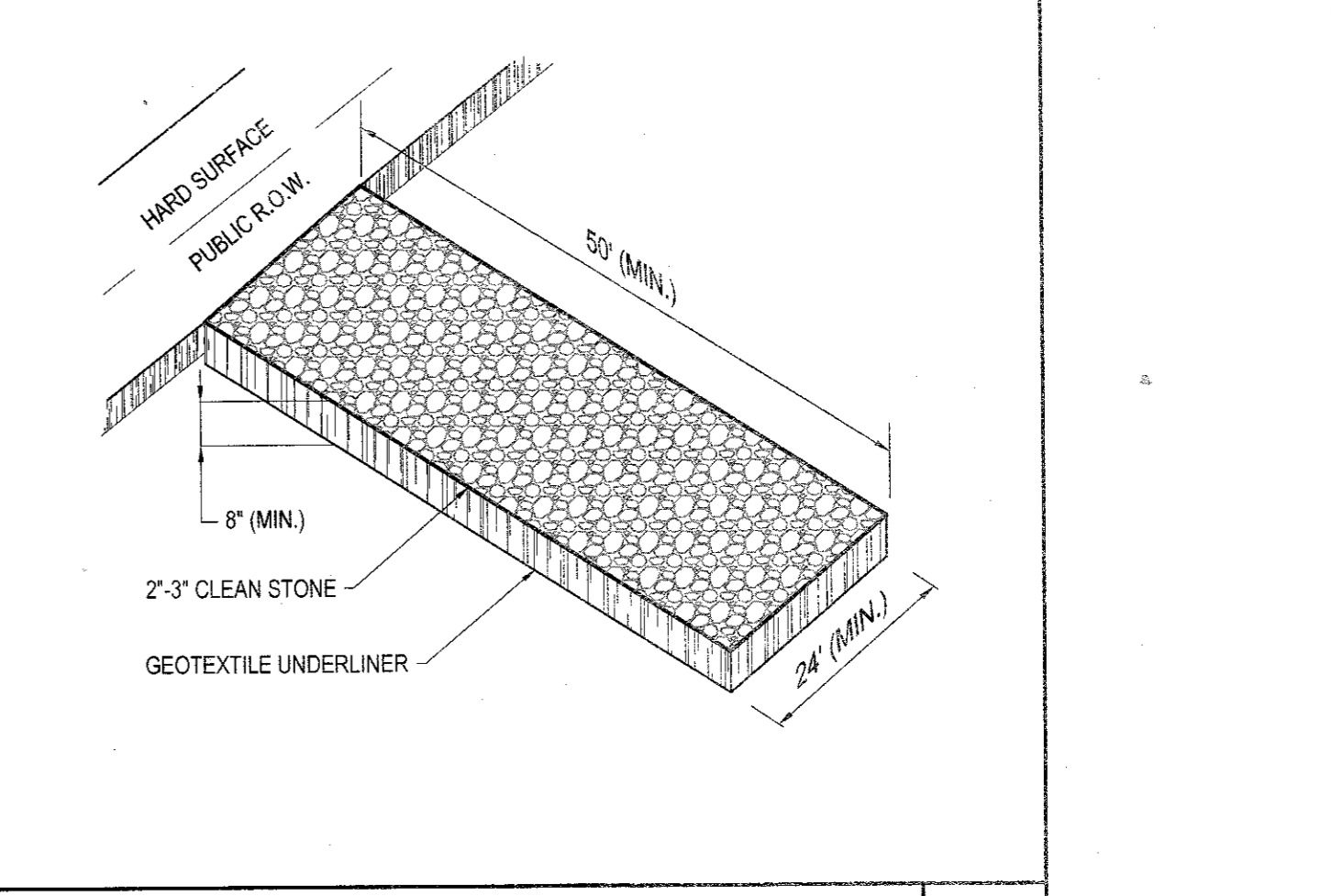
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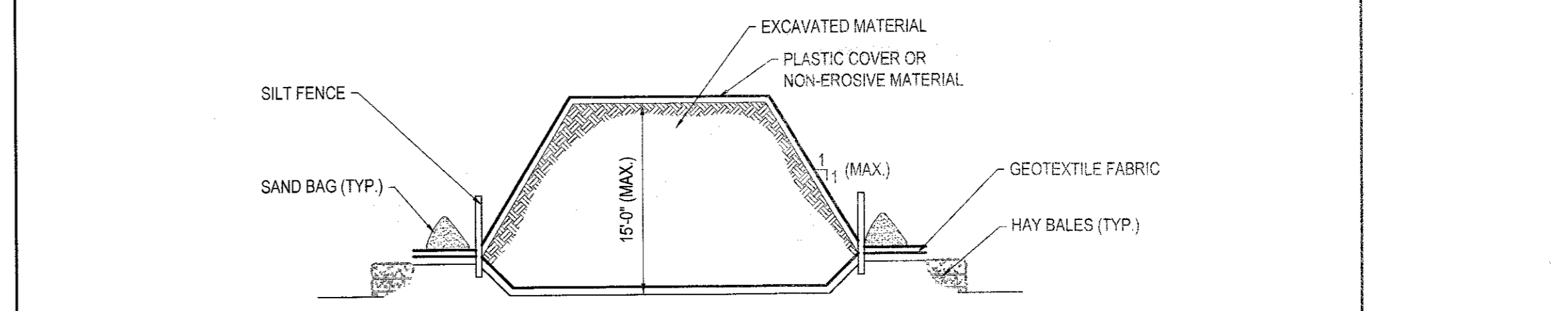


1	INLET FILTER	N.T.S.	2	CURB INLET FILTER	N.T.S.
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- CONSTRUCTION ENTRANCE NOTES:**
1. STONE SIZE-USE 2"-3" CLEAN STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH-NOT LESS THAN 50 FEET
 3. THICKNESS-NOT LESS THAN 8" INCHES
 4. WIDTH-TWELVE (12) FEET MIN. BUT NOT LESS THAN THE FULL WIDTH AT POINT WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
 5. FILTER CLOTH-WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
 6. SURFACE WATER-ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED UNDER THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.
 10. CONTRACTOR TO ENSURE THAT THE TRACKING PREVENTION REMAINS EFFECTIVE DURING ALL CONSTRUCTION PHASES. CONTRACTOR TO RELOCATE TRACKING PADS AS NECESSARY.

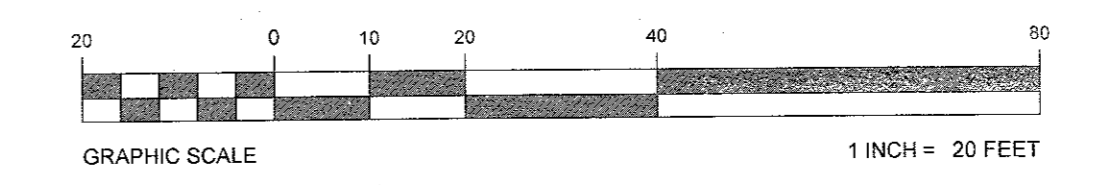


3	CONSTRUCTION ENTRANCE/EXIT (ANTI-TRACKING PAD)	N.T.S.
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- STOCKPILE MANAGEMENT NOTES**
1. PROTECTION OF STOCKPILES IS A YEAR-ROUND REQUIREMENT.
 2. LOCATE STOCKPILES A MINIMUM 50 FT. AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE AND INLETS AND IN ACCORDANCE WITH LOCAL REQUIREMENTS FOR VISIBILITY AT INTERSECTIONS.
 3. IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
 4. DURING THE RAINY SEASON, SOIL STOCKPILES SHALL BE PLACED ON AND COVERED WITH PLASTIC OR COMPARABLE MATERIAL AT ALL TIMES.
 5. REPAIR AND/OR REPLACE PERIMETER CONTROLS AND COVERS AS NEEDED, OR AS DIRECTED BY THE ENGINEER, TO KEEP THEM FUNCTIONING PROPERLY.
 6. SEDIMENTS SHALL BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-THIRD (1/3) OF THE BARRIER HEIGHT.
 7. STABILIZE STOCKPILES WITH PLASTIC COVER OR NON-EROSIVE MATERIAL, SUCH AS TEMPORARY SEEDING WITH STRAW MULCH AND TACKIFIER, MULCH OR OTHER SUITABLE MATERIAL, AT A MINIMUM WITHIN 14 DAYS OF THE COMPLETION OF THE PILE.

4	EXCAVATED MATERIAL STOCK PILE	N.T.S.
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THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY

SEE DETAIL SHEETS FOR ADDITIONAL SOIL EROSION NOTES AND DETAILS

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FLORIDA LICENSE NO. 12588
FLORIDA LICENSE NO. 12588

PROPOSED SITE IMPROVEMENTS			
SECTION 76, BLOCK 1, LOT 1.1			
STREET ADDRESS			
65 NORTH PLANK ROAD			
CITY	STATE	STATUS	DATE
TOWN OF NEWBURGH	NY	PRELIMINARY	08/15/17
COUNTY		PLAN CHECKED	08/15/17
ORANGE		AS-BUILT	N/A
REGIONAL DWG. NO.	PLAN DESCRIPTION	BY	
031-0145	SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE I	KF	
CONTRACTOR		OWNER	
C-9		OF 15	

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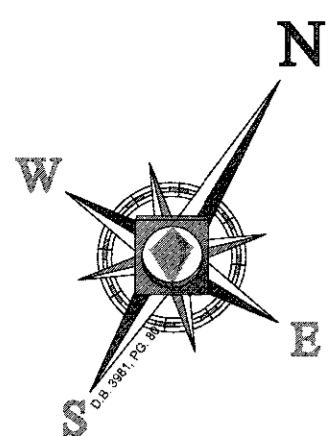
PLAN APPROVALS	DATE	ISSUE REF
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

FINAL PLAN SIGNATURES

DATE

DESCRIPTION

BY



GIDNEY AVENUE
(VARIES WITH ROW)

PROP. SILT FENCE
(TYP)

PROP. STABILIZED
CONSTRUCTION
ENTRANCE (TYP)

PROPOSED McDONALD'S
PROP. 45-114 BUILDING
8,208 SQ. FT.
130 TOTAL SEATS

PROP. STABILIZED
CONSTRUCTION
ENTRANCE (TYP)

PROP. INLET FILTER
(TYP)

TEMPORARY SOIL
STOCKPILE (TYP)

EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 6%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEEDMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOY MAY BE SUBSTITUTED FOR SEED.
 - STRAW MULCH AT THE RATE OF 70-80 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITHIN 100 FEET OF WETLANDS BY SILT FENCE AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH LOCATION	MULCH TYPE	RATE (1000 SF)
PROTECT AREA	STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELISOR MAT	AS REQUIRED

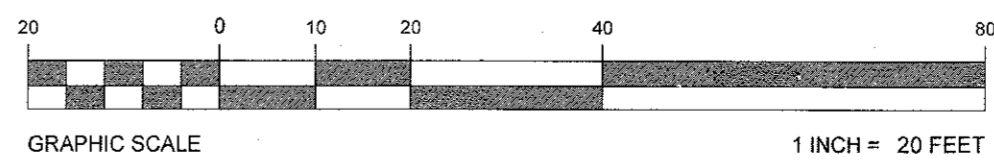
* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (50 LBS/BLOCK); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK NETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

SEQUENCE OF CONSTRUCTION: 0000000-17.00 MODIFIED

- INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER SILT FENCING.
- DEMOLITION OF EXISTING FEATURES TO BE REMOVED (SEE DEMOLITION PLAN).
- CONSTRUCT TEMPORARY SEDIMENT BASIN AND TEMPORARY SWALE.
- CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES REQUIRING EXCAVATION.
- EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES.
- EXCAVATE FOR BUILDING FOUNDATION.
- COMPLETE BUILDING CONSTRUCTION.
- EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBS, AND UTILITIES.
- FINAL GRADING ON SITE.
- INSTALL PAVING, CONCRETE AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.
- REMOVE ALL SOIL AND SEDIMENT CONTROLS AFTER THE SITE CONSTRUCTION IS COMPLETE AND STABILIZED.

THIS PLAN TO BE UTILIZED FOR
SOIL EROSION AND SEDIMENT
CONTROL PURPOSES ONLY



PROPOSED SITE IMPROVEMENTS	
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STREET ADDRESS	
65 NORTH PLANK ROAD	
CITY	STATE
TOWN OF NEWBURGH	NY
COUNTY	
ORANGE	
REGIONAL DWG. NO.	PLAN DESCRIPTION
031-0145	SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE II

ISSUE REF	BY	DESCRIPTION	DATE	REV

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OFFICE ADDRESS

PLAN APPROVALS	DATE	CO-SIGN SIGNATURES
SIGNATURE (2 REQUIRED)		
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CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR		
OWNER		

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CORPORATE OFFICE:
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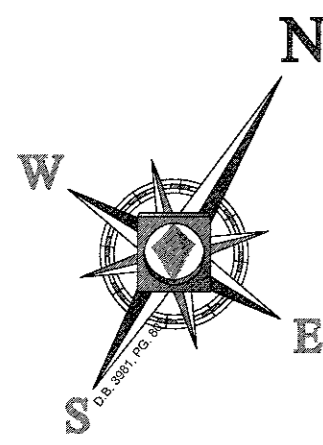
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• PHILADELPHIA, PA

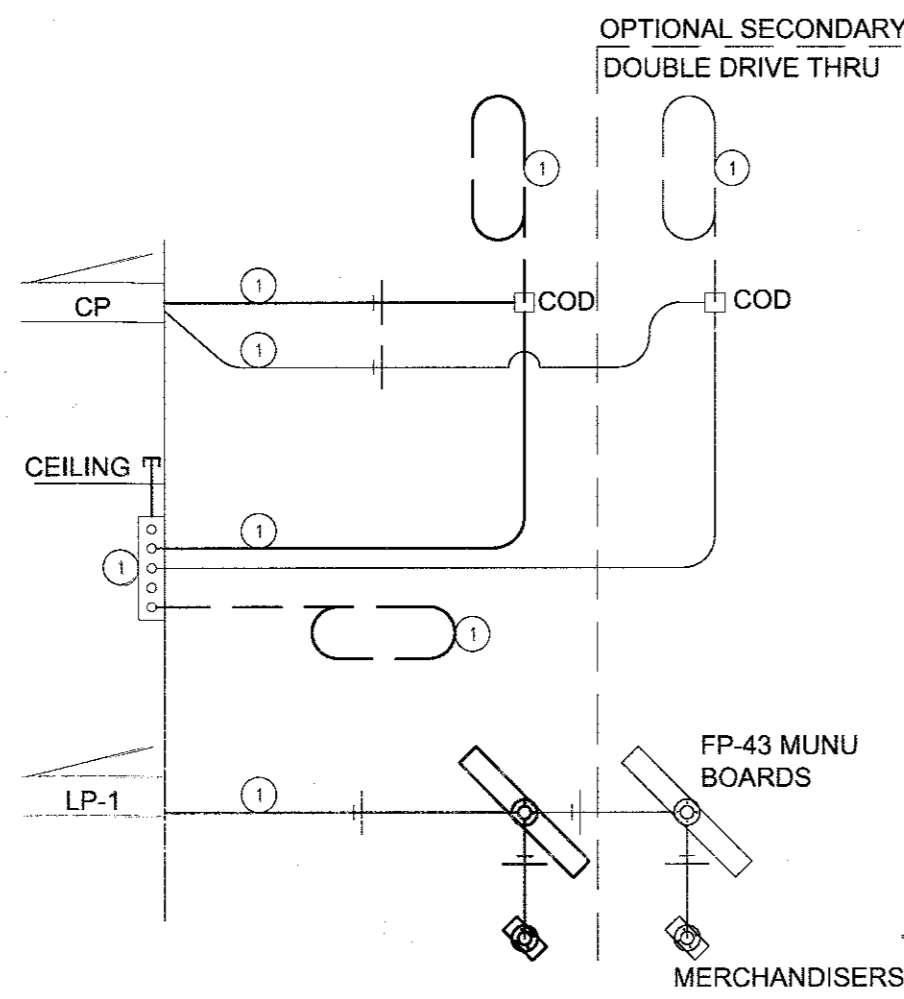
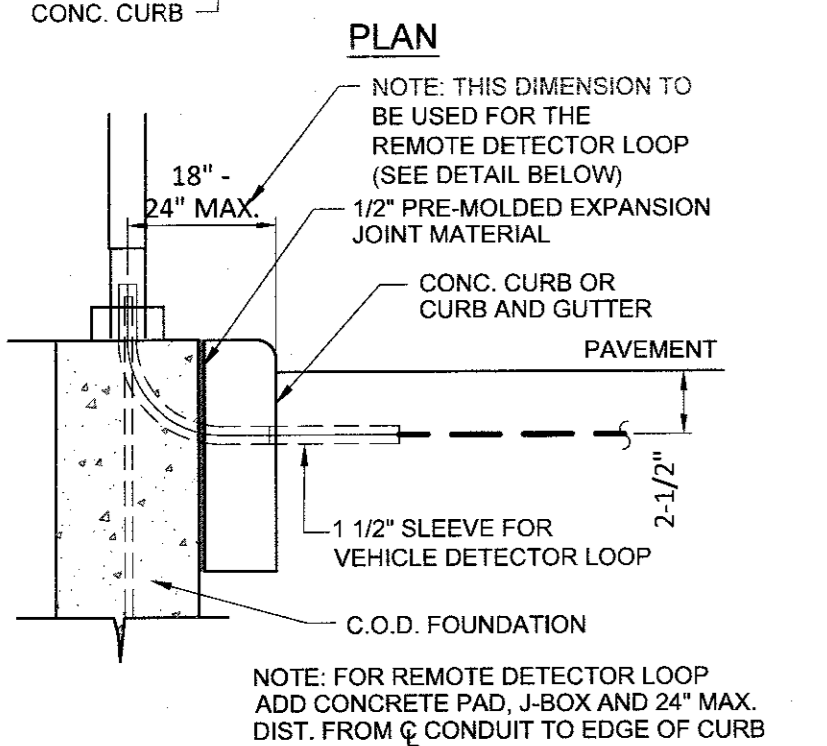
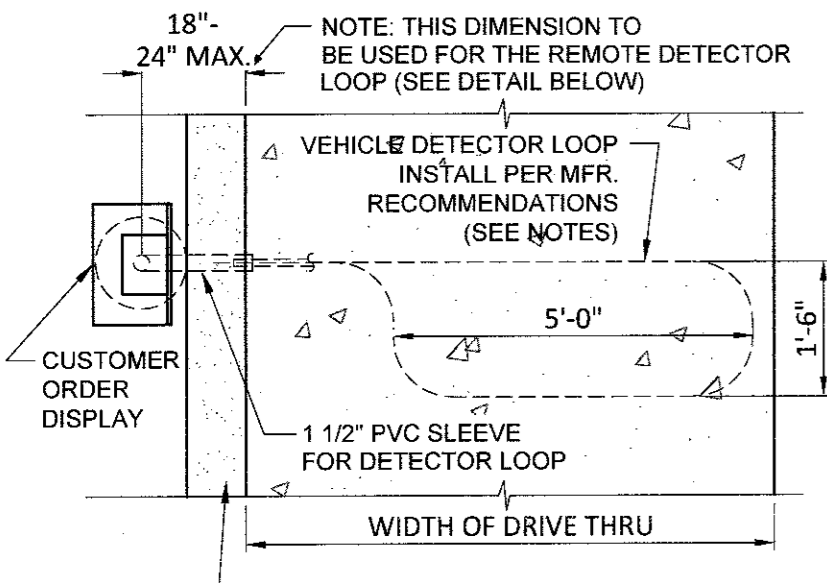
• CHARLOTTE, NC
• STERLING, VA
• WARRENTON, VA
• FORT LAUDERDALE, FL
• TAMPA, FL

BOHLER ENGINEERING
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NEW JERSEY LICENSE NO. 28816-1
PENNSYLVANIA LICENSE NO. 20238
FLORIDA LICENSE NO. 17768

C:\PROJECTS\10682\DRAWINGS\CURRENT DRAWINGS\SITE PLAN\PACK\AS-BUILT\10682-SPR-02-11\LAYOUT_C-10.ERC02



SEE DRIVE THRU CONCRETE PAD DETAIL FOR DIMENSIONS OF DRIVE-THRU LANE CONCRETE PAD FOR DETECTOR LOOP. NOTE: NO STEEL IS TO BE USED IN CONCRETE.



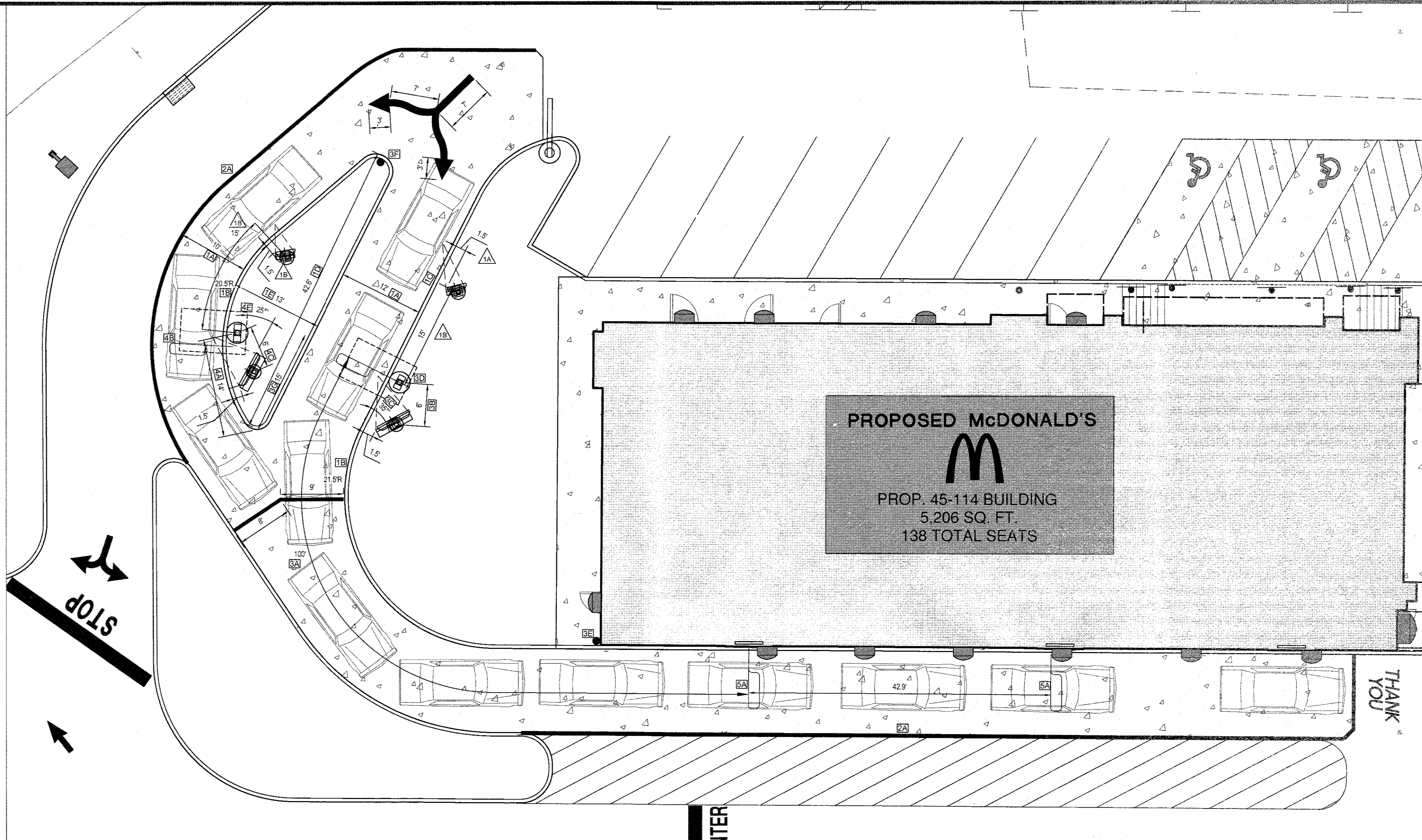
PROVIDE PER POS & COD ISOLATED GROUND/DEDICATED CIRCUIT DETAIL. 1/2\"/>

1 1/2\"/>

2 1/2\"/>

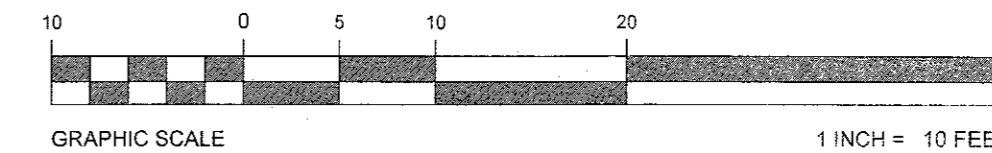
215.02E4 IN ORDER/CASH BOOTH. PROVIDE 2\"/>

1/2\"/>

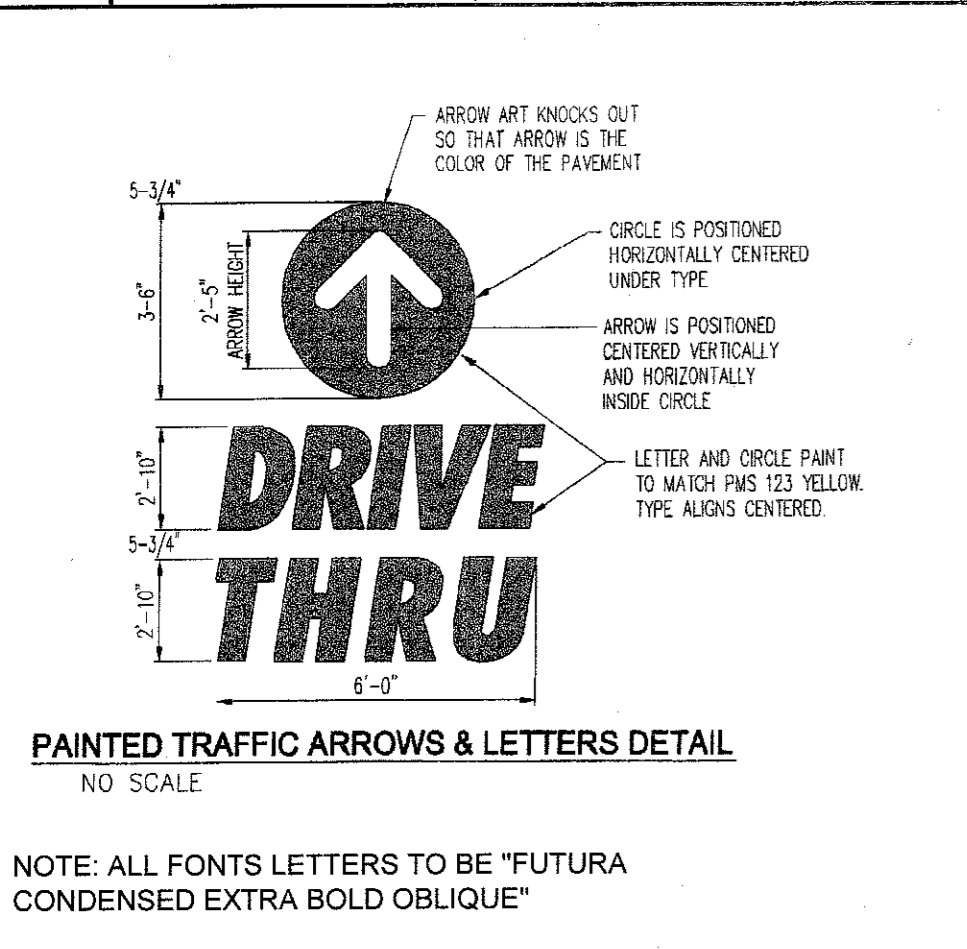


DRIVE-THRU ENLARGEMENT

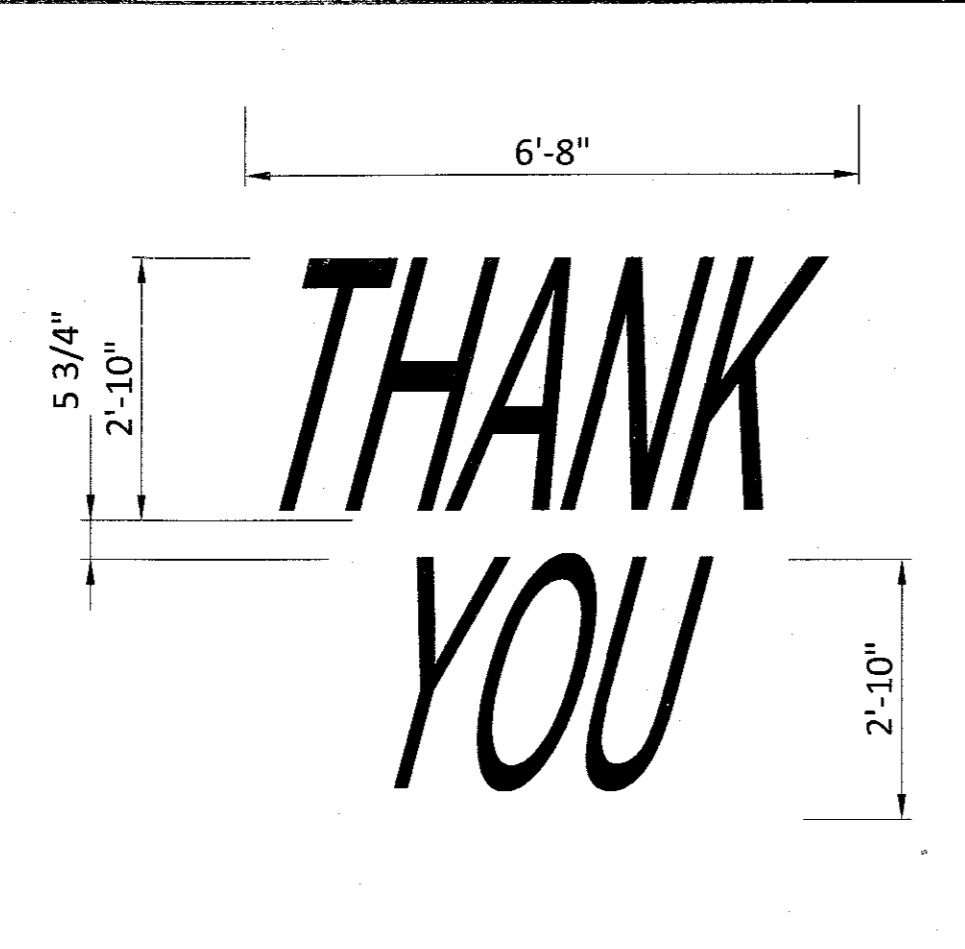
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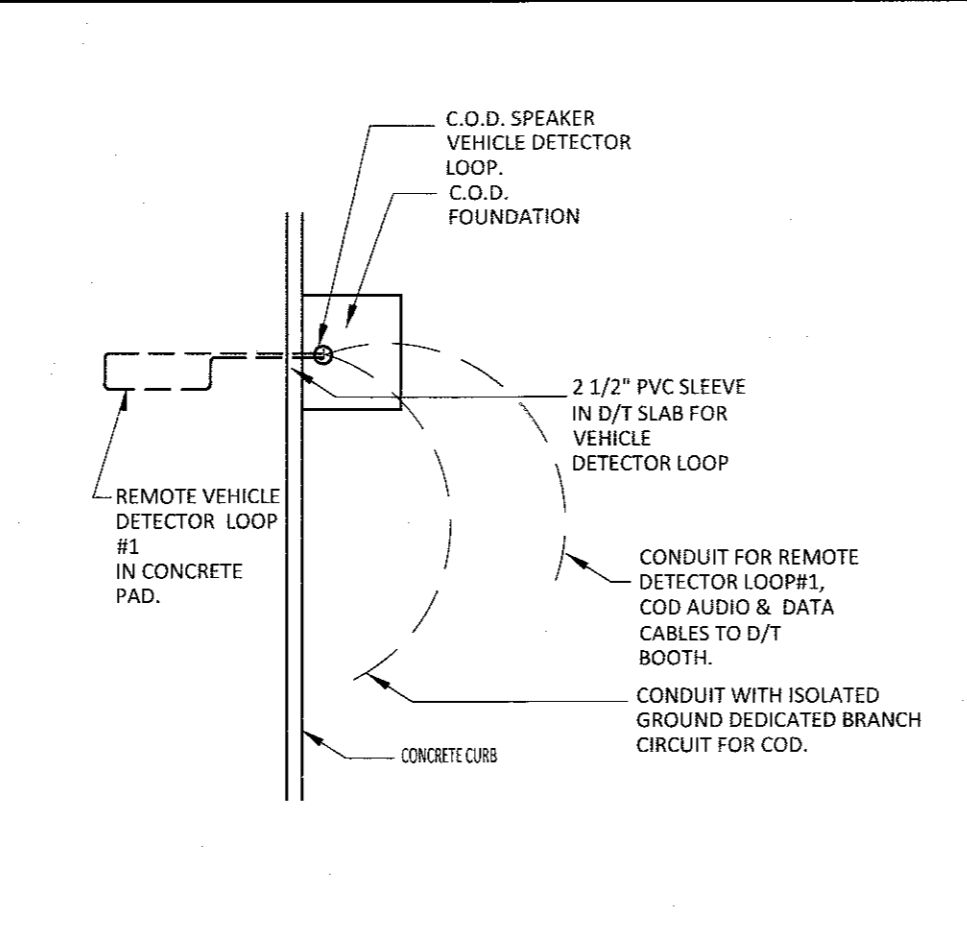
1 AUTO DETECTOR LOOP DETAIL
NOT TO SCALE (SOURCE: McDONALD'S)



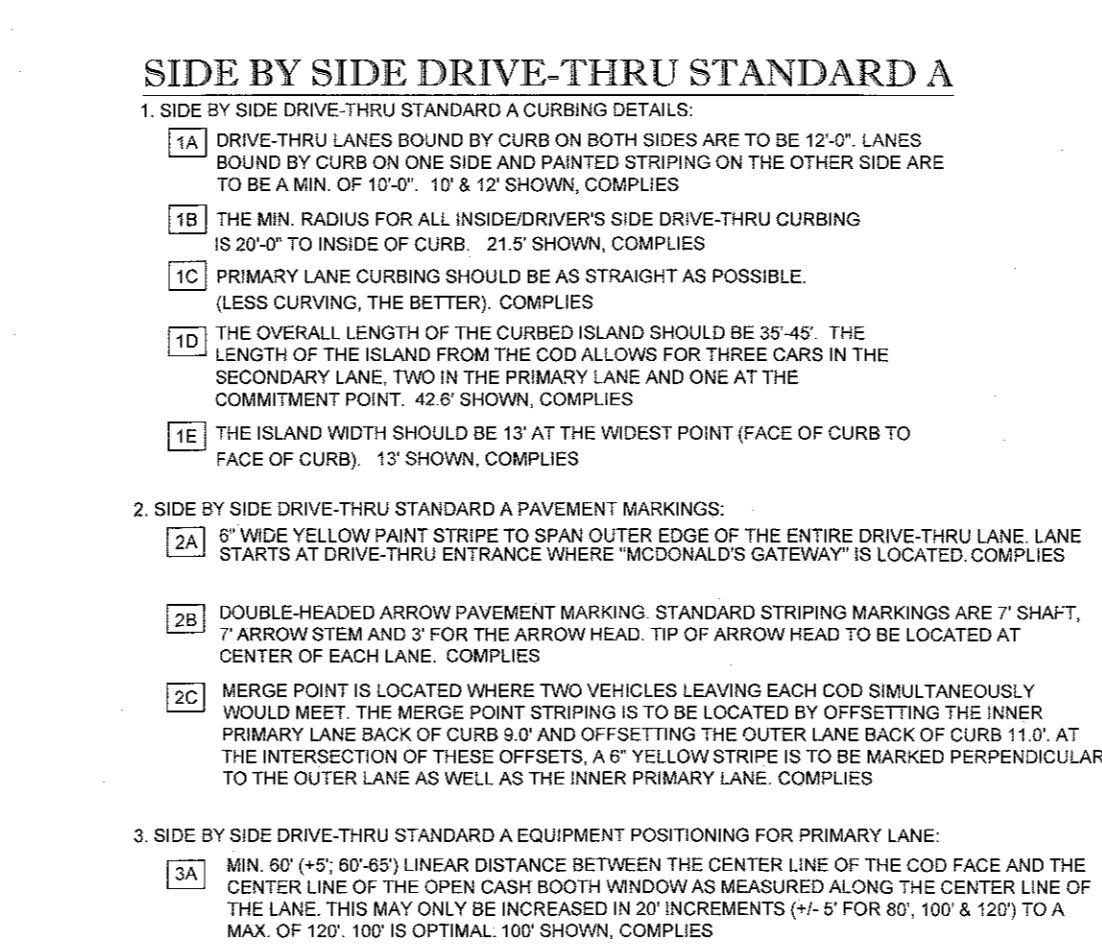
2 DRIVE-THRU SITE WIRING DIAGRAM
NOT TO SCALE (SOURCE: McDONALD'S)



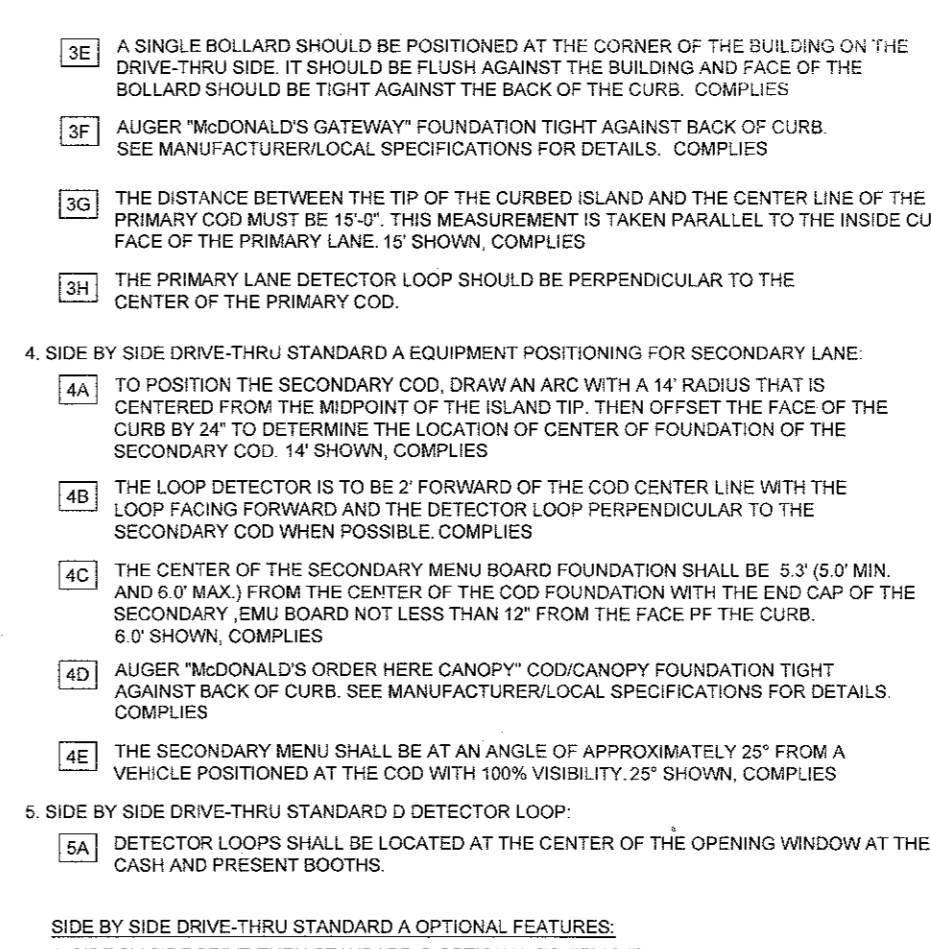
3 DRIVE-THRU PAVEMENT MARKING
NOT TO SCALE (SOURCE: McDONALD'S)



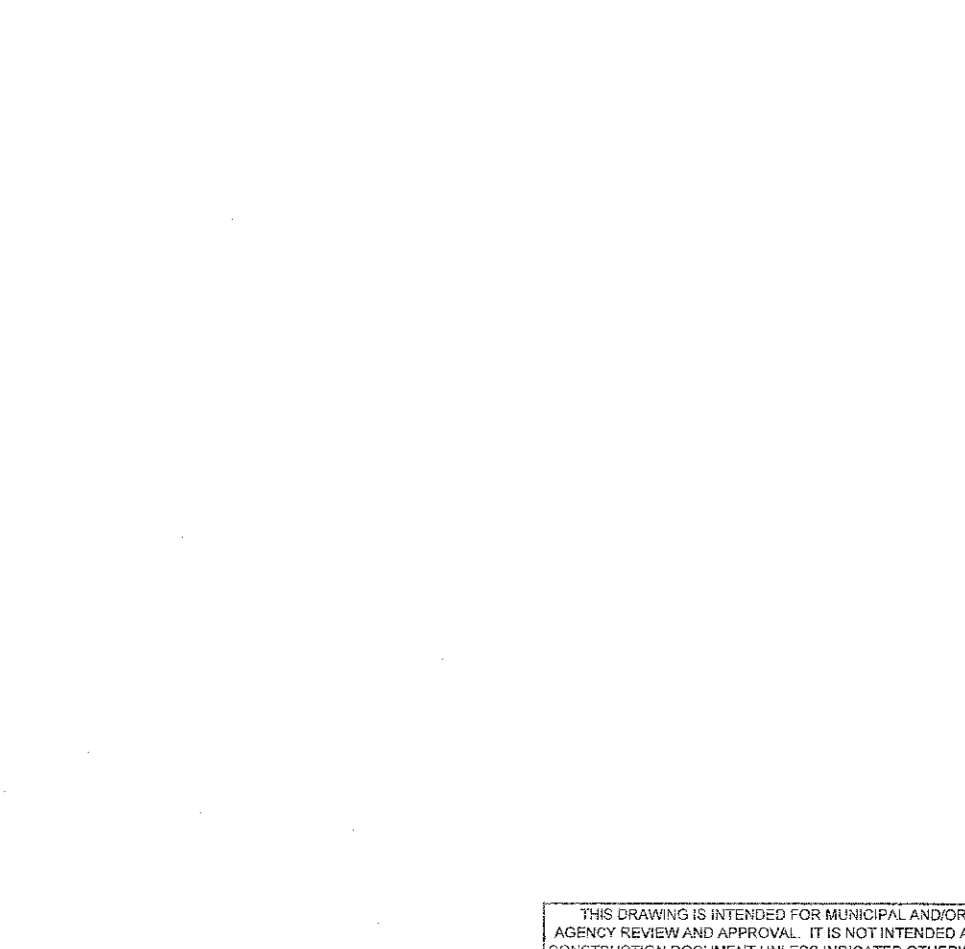
4 'THANK YOU' PAVEMENT MARKING
NOT TO SCALE (SOURCE: McDONALD'S)



5 AUTO DETECTOR WIRING DIAGRAM
NOT TO SCALE (SOURCE: McDONALD'S)



6 DRIVE-THRU STANDARD A EQUIPMENT POSITIONING FOR SECONDARY LANE



SIDE BY SIDE DRIVE-THRU STANDARD A

- SIDE BY SIDE DRIVE-THRU STANDARD A CURBING DETAILS:
 - 1A DRIVE-THRU LANES BOUND BY CURBS ON BOTH SIDES ARE TO BE 12'-0\"/>
 - 1B THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0\"/>
 - 1C PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER). COMPLIES
 - 1D THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45\"/>
 - 1E THE ISLAND WIDTH SHOULD BE 13' AT THE WIDEST POINT (FACE OF CURB TO FACE OF CURB). 15' SHOWN. COMPLIES
- SIDE BY SIDE DRIVE-THRU STANDARD A PAVEMENT MARKINGS:
 - 2A 8\"/>
 - 2B DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7\"/>
 - 2C MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY WOULD MEET THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0\"/>
 - 2D AUGER 'MCDONALD'S ORDER HERE CANOPY' COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- SIDE BY SIDE DRIVE-THRU STANDARD A EQUIPMENT POSITIONING FOR PRIMARY LANE:
 - 3A MIN. 80' (+/- 80'-85') LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD FACE AND THE CENTER LINE OF THE OPEN CASH BOOTH. TIP OF ARROW HEAD TO BE LOCATED AT A MAX. OF 120'. 100' IS OPTIMAL. 100' SHOWN. COMPLIES
 - 3B THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 3' (5'-0\"/>
 - 3C THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE APPROXIMATELY 25° TO 35° ANGLE FROM A CAR POSITIONED AT THE COD TO MAXIMIZE SECOND CAR VIEWING. 35° SHOWN. COMPLIES
 - 3D AUGER 'MCDONALD'S ORDER HERE CANOPY' COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES

- A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB. COMPLIES
- AUGER 'MCDONALD'S GATEWAY' FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15'-0\"/>
- THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY COD.
- SIDE BY SIDE DRIVE-THRU STANDARD A EQUIPMENT POSITIONING FOR SECONDARY LANE:
 - 4A TO POSITION THE SECONDARY COD, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24\"/>
 - 4B THE LOOP DETECTOR IS TO BE 2' FORWARD OF THE COD CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY COD WHEN POSSIBLE. COMPLIES
 - 4C THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-0\"/>
 - 4D AUGER 'MCDONALD'S ORDER HERE CANOPY' COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
 - 4E THE SECONDARY MENU BOARD SHALL BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE COD WITH 100% VISIBILITY. 25° SHOWN. COMPLIES
- SIDE BY SIDE DRIVE-THRU STANDARD A DETECTOR LOOP:
 - 5A DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENT BOOTHS.

SIDE BY SIDE DRIVE-THRU STANDARD A OPTIONAL FEATURES:

- SIDE BY SIDE DRIVE-THRU STANDARD G OPTIONAL EQUIPMENT:
 - PRE-SELL BOARD MUST BE 18\"/>
 - THE CENTER OF THE PRE-SELL BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-SELL BOARD SHOULD MAXIMIZE VISIBILITY TO THE THIRD CAR FROM COD. COMPLIES
 - PRE-SELL BOARD MUST BE MIN. 12\"/>

PROPOSED SITE IMPROVEMENTS
SECTION 76, BLOCK 1, LOT 1.1
STREET ADDRESS
65 NORTH PLANK ROAD

CITY	STATE	STATUS	DATE	BY
TOWN OF NEWBURGH	NY	PRELIMINARY	08/15/17	KF
COUNTY		PLAN CHECKED	08/15/17	LM
ORANGE		AS-BUILT	N/A	N/A
REGIONAL DWG. NO.	PLAN DESCRIPTION			
031-0145	DRIVE-THRU PLAN & DETAILS			

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS IN ANY MANNER. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPES, DRIVELINES, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL 'ONE CALL' SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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111 WOOD AVENUE SOUTH, SUITE 400
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DATE	DESCRIPTION	BY	ISSUE REF.

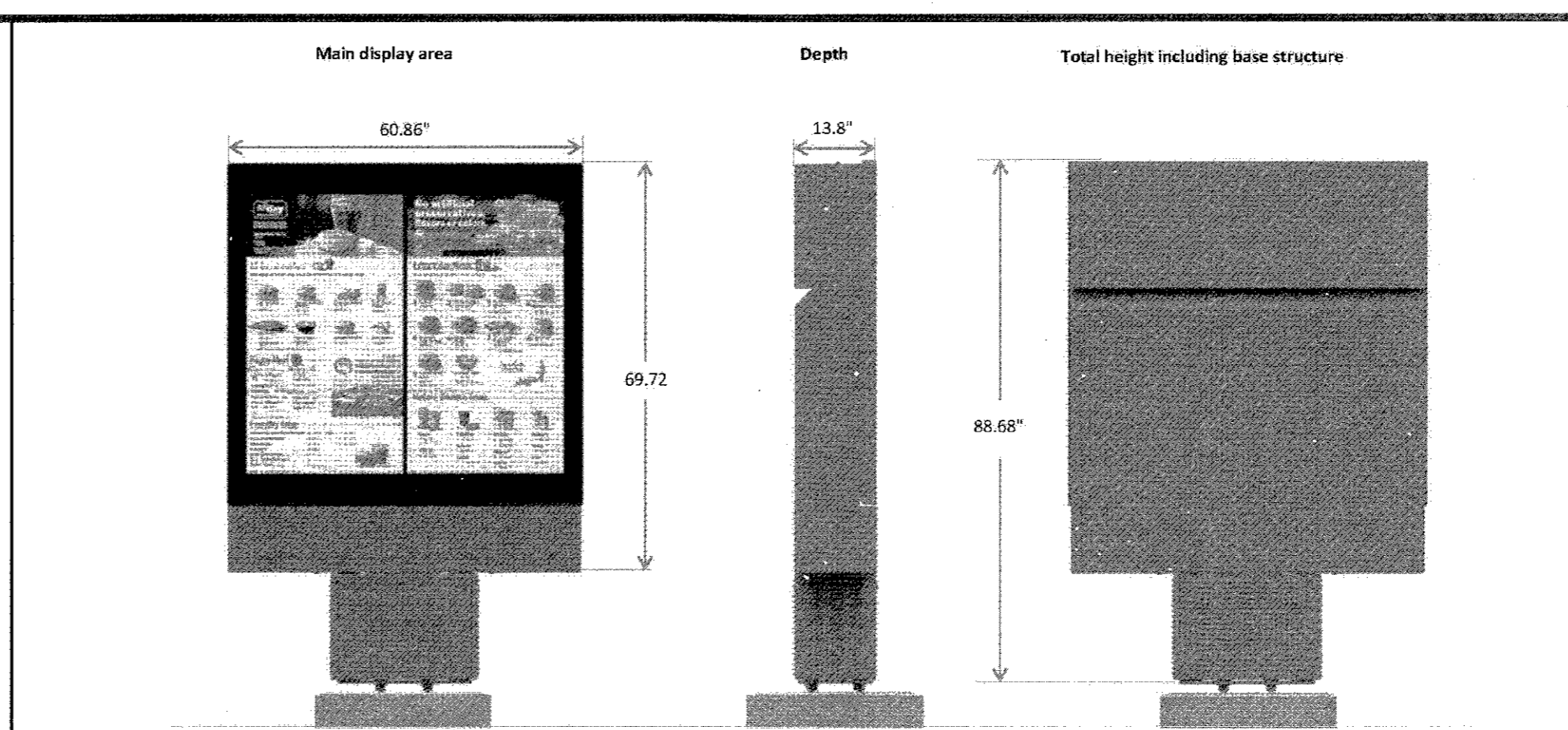
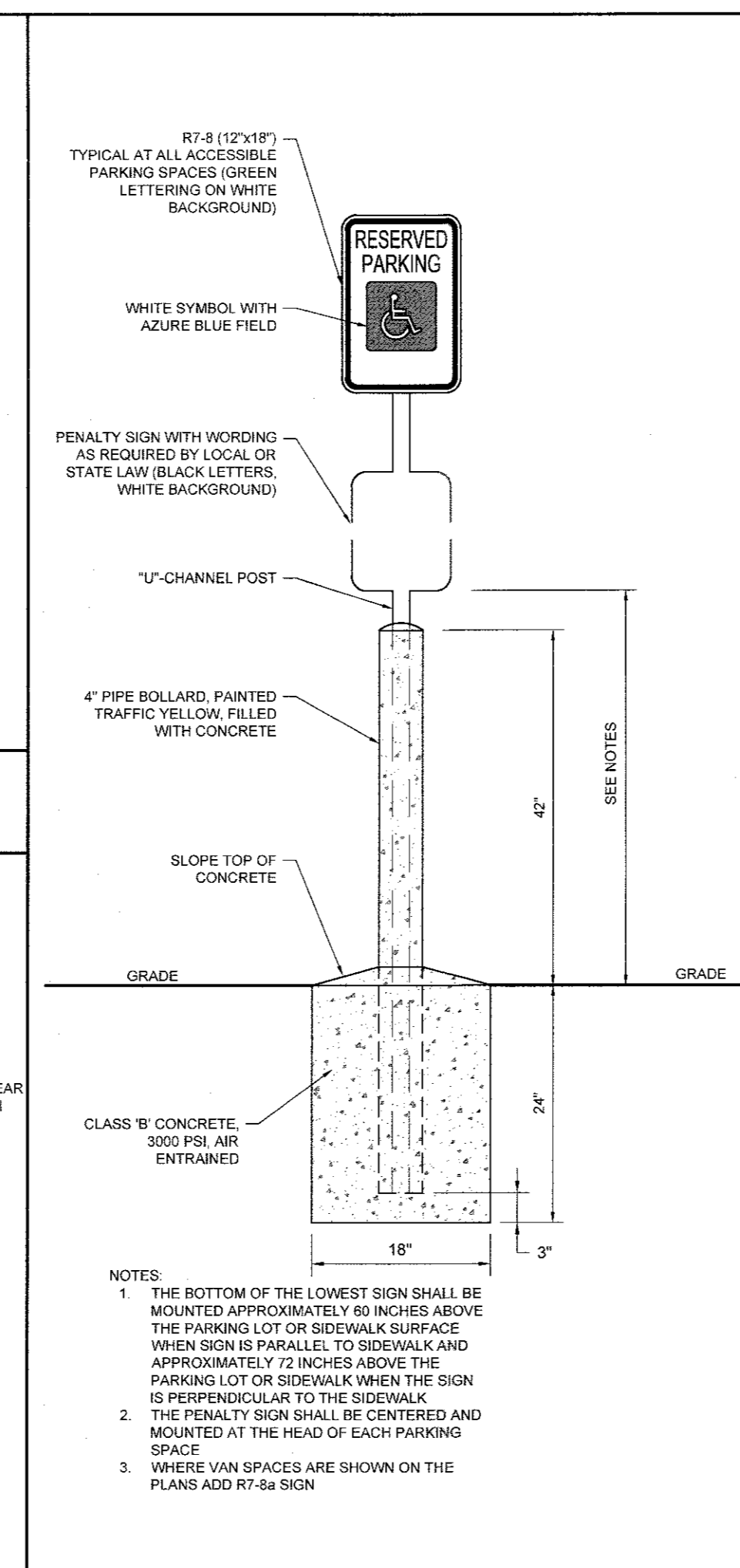
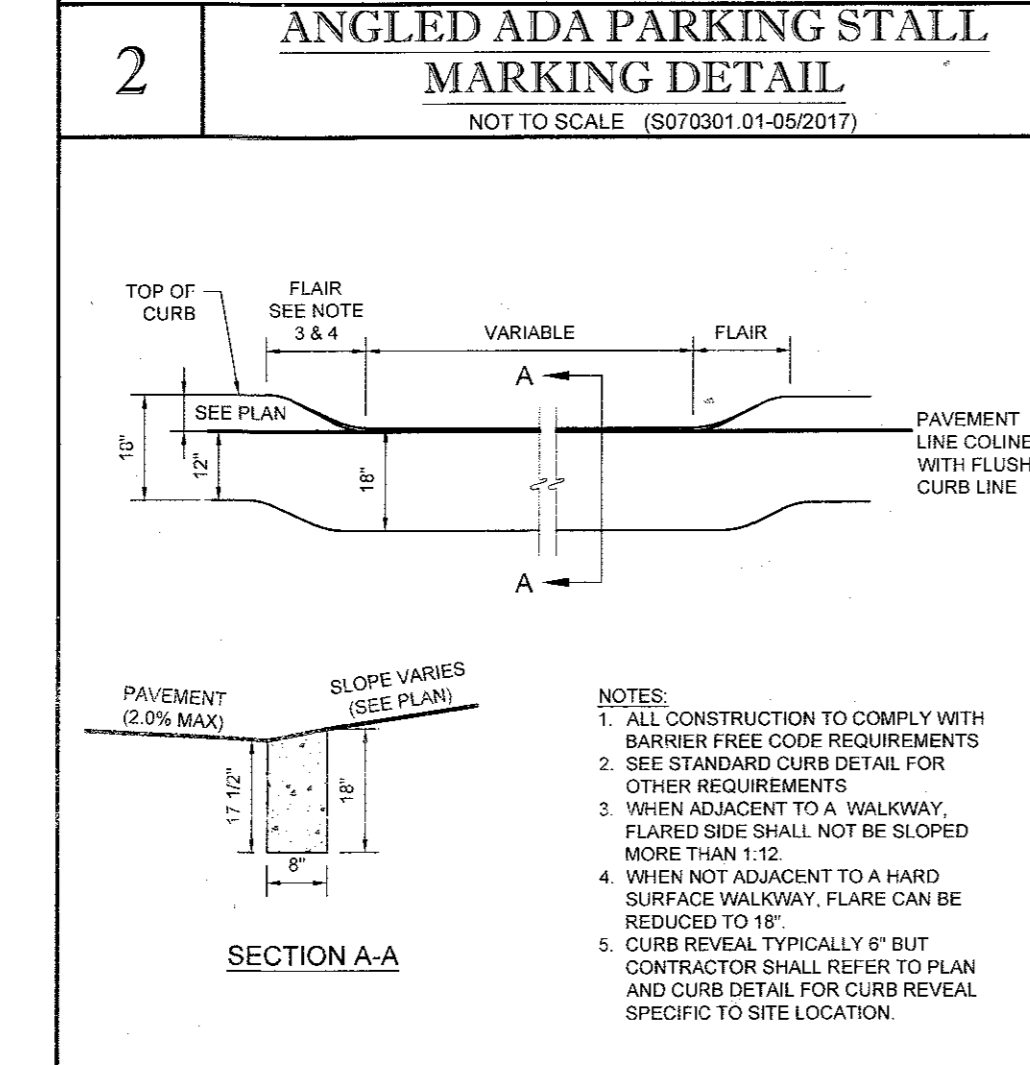
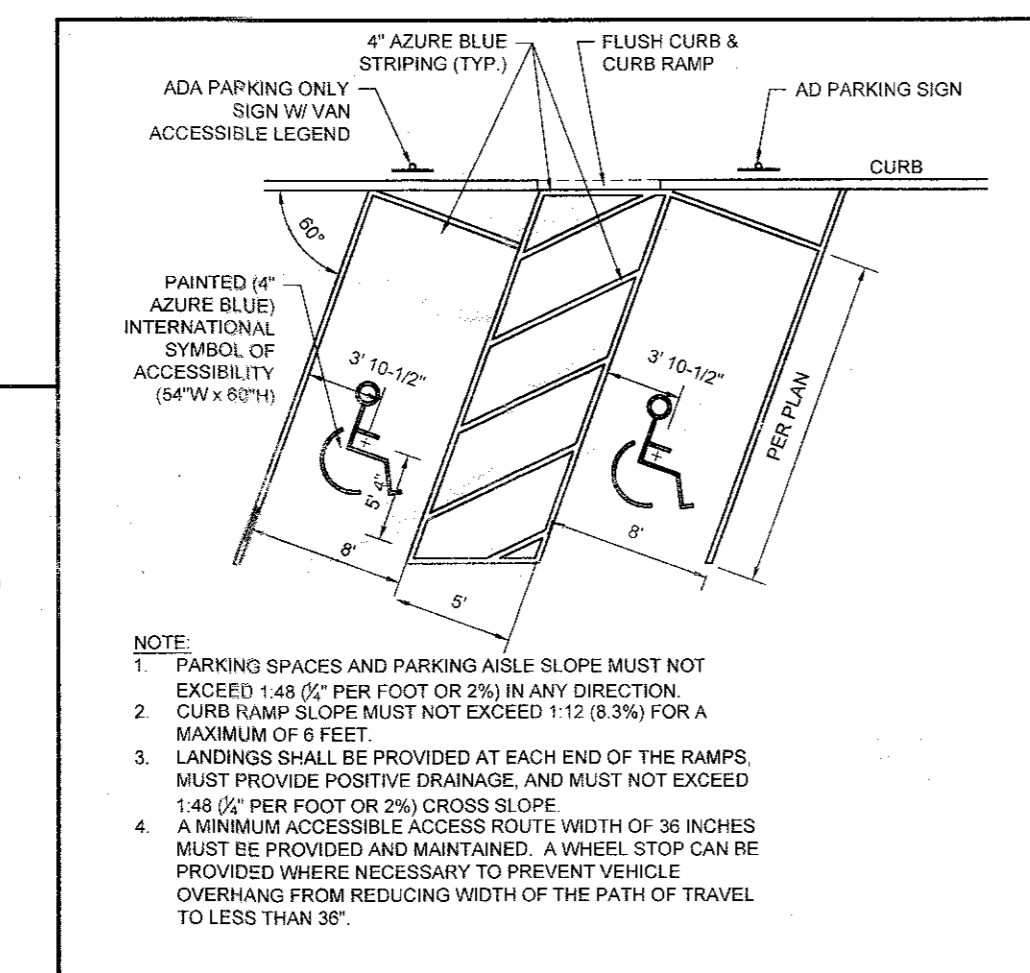
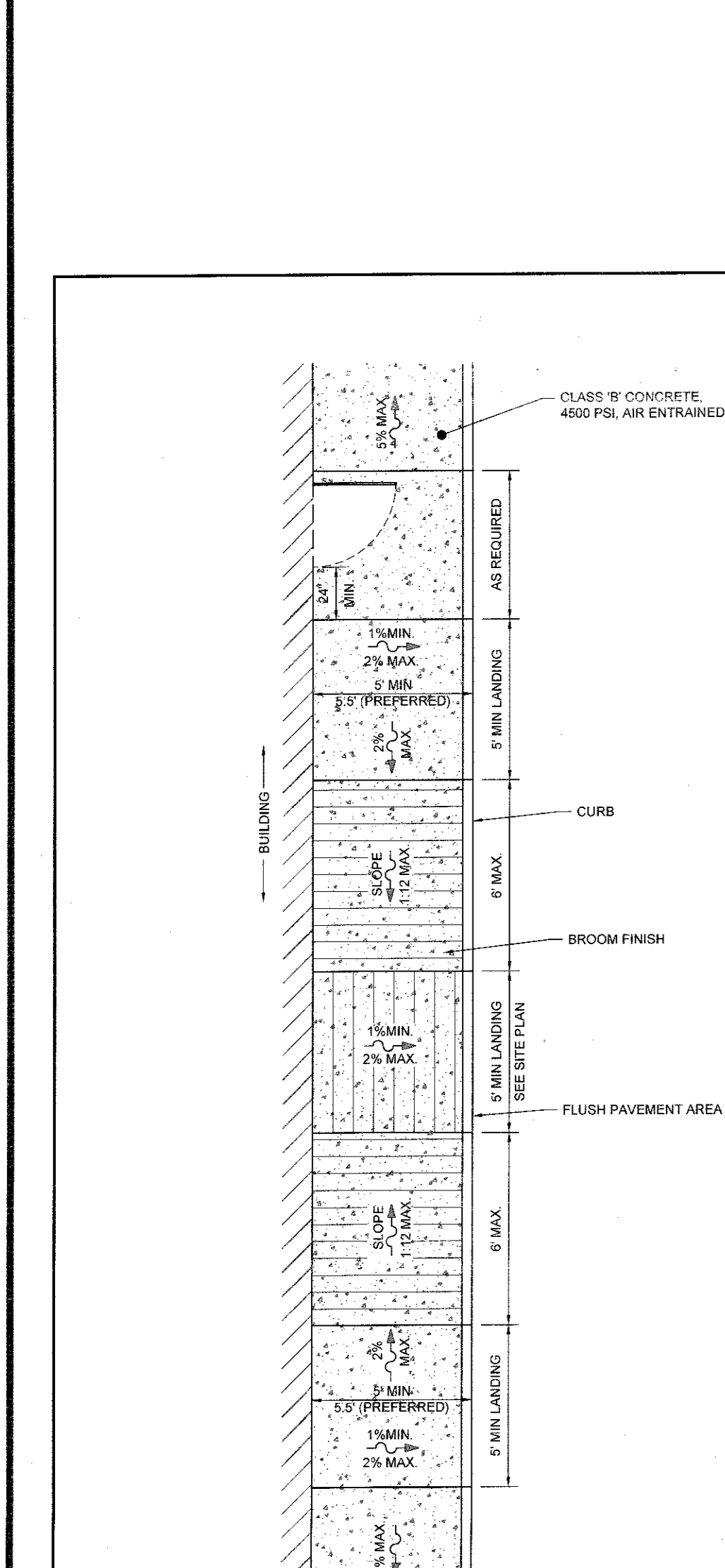
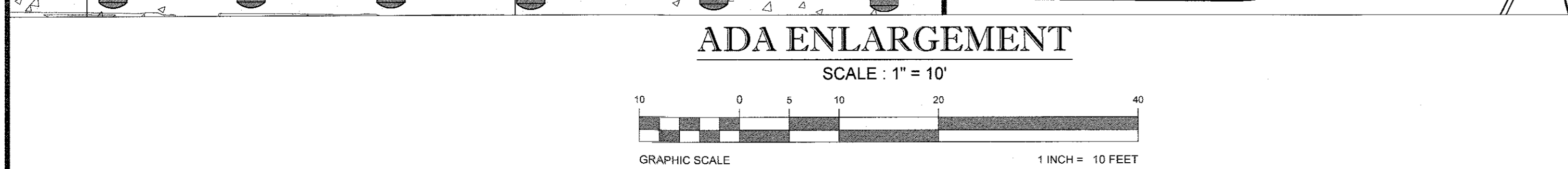
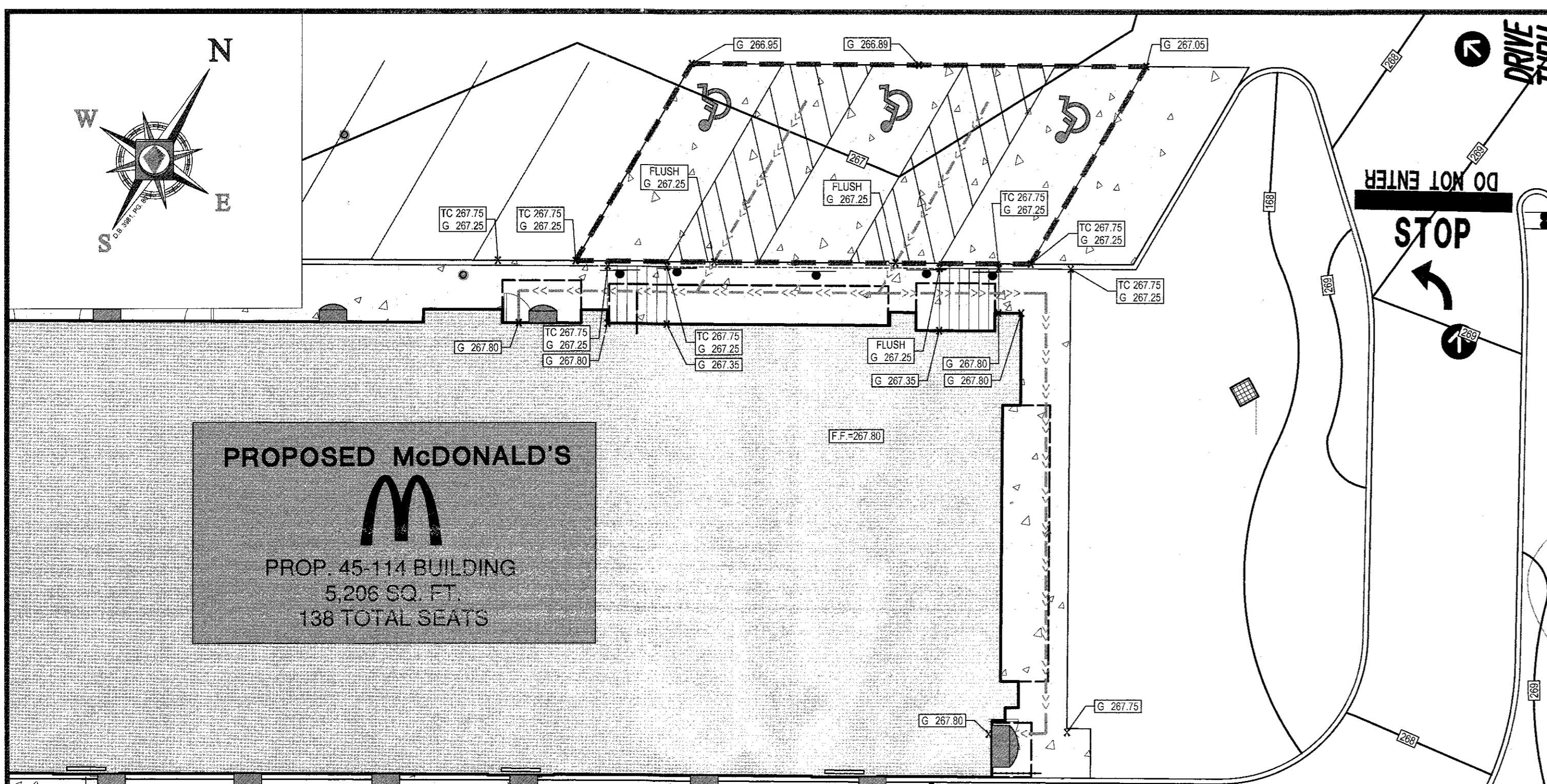
FINAL PLAN SIGNATURES

P.M. G.C. O/O

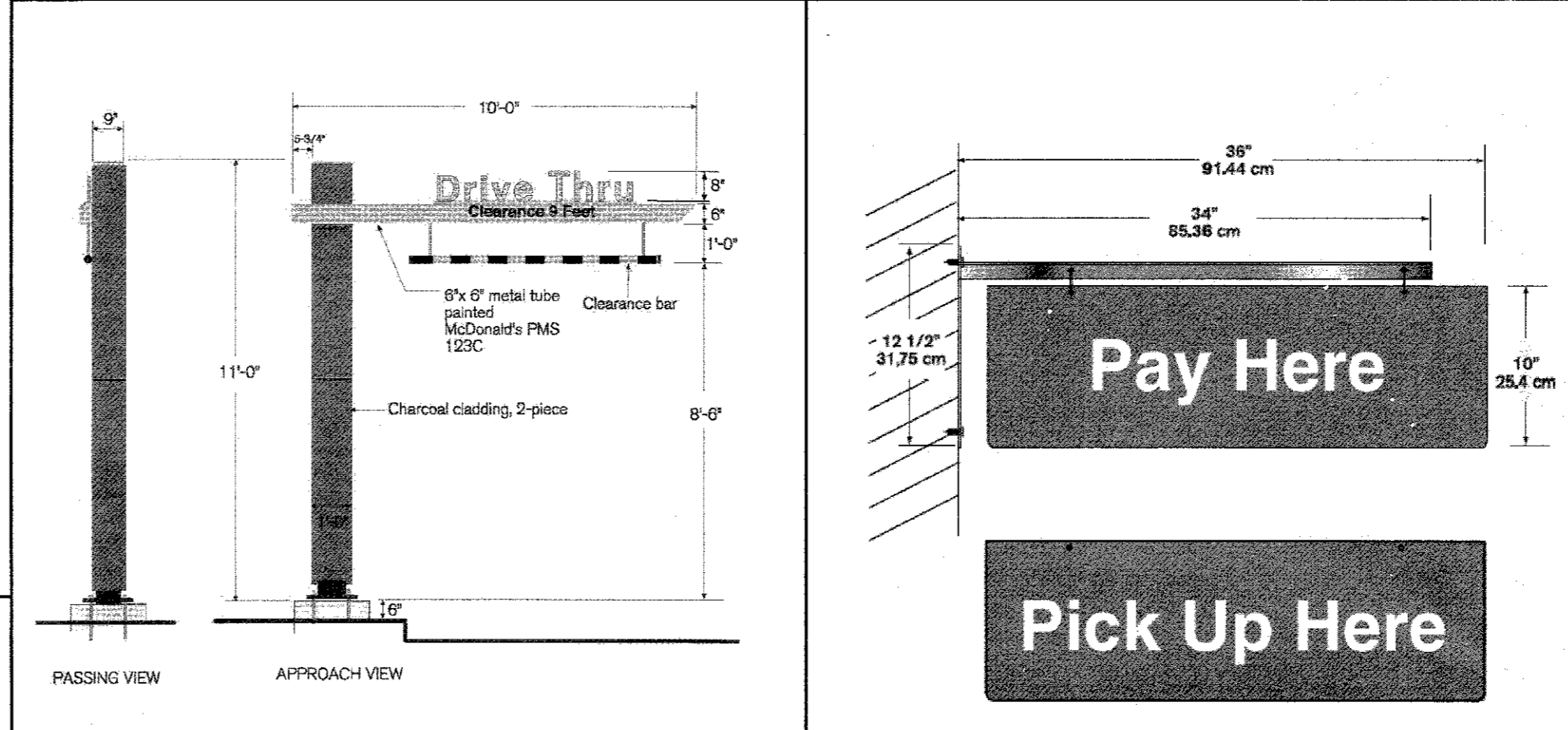
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CONTRACTOR OWNER

C-11
OF 15

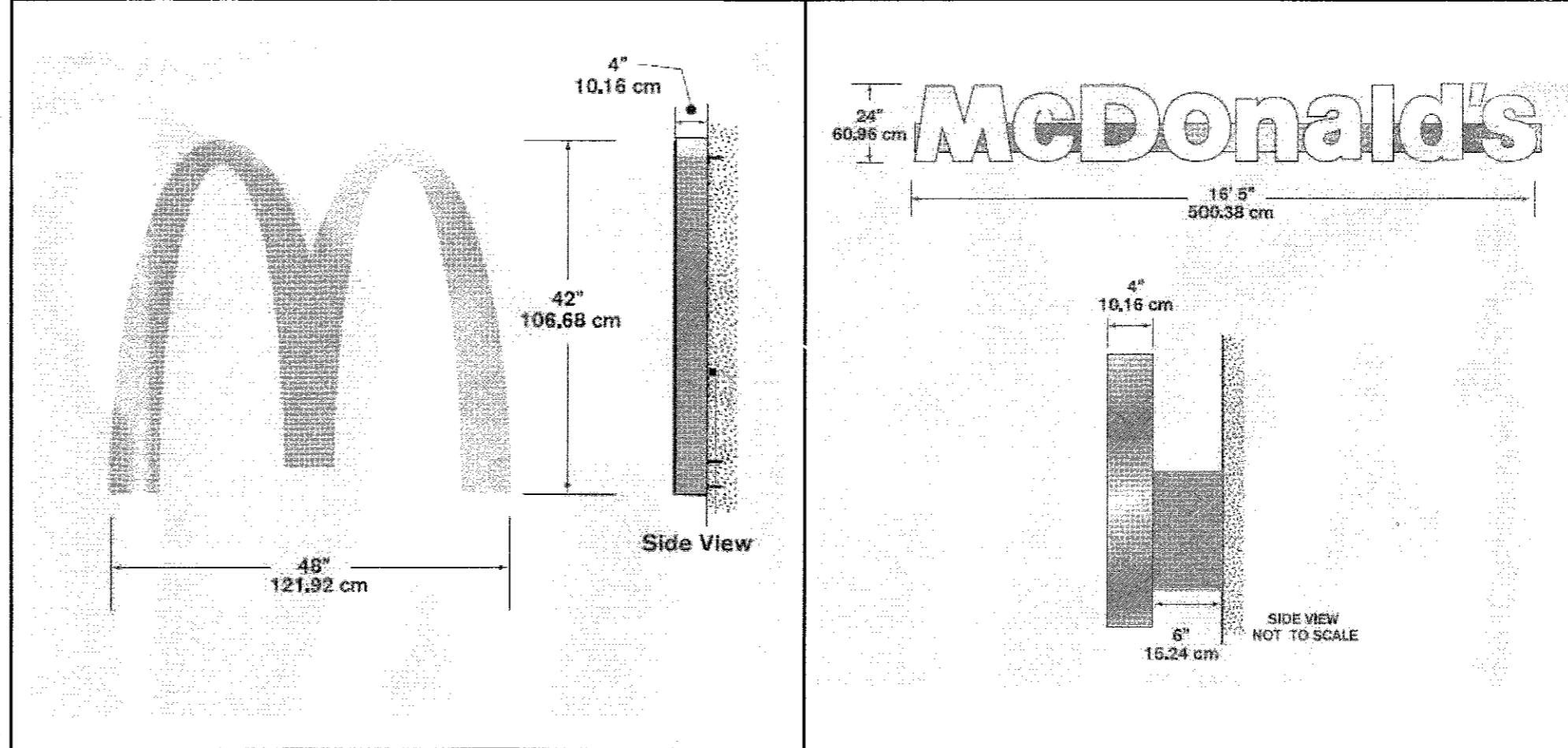


A MENU BOARD SIGN
NOT TO SCALE (SOURCE McDONALD'S)



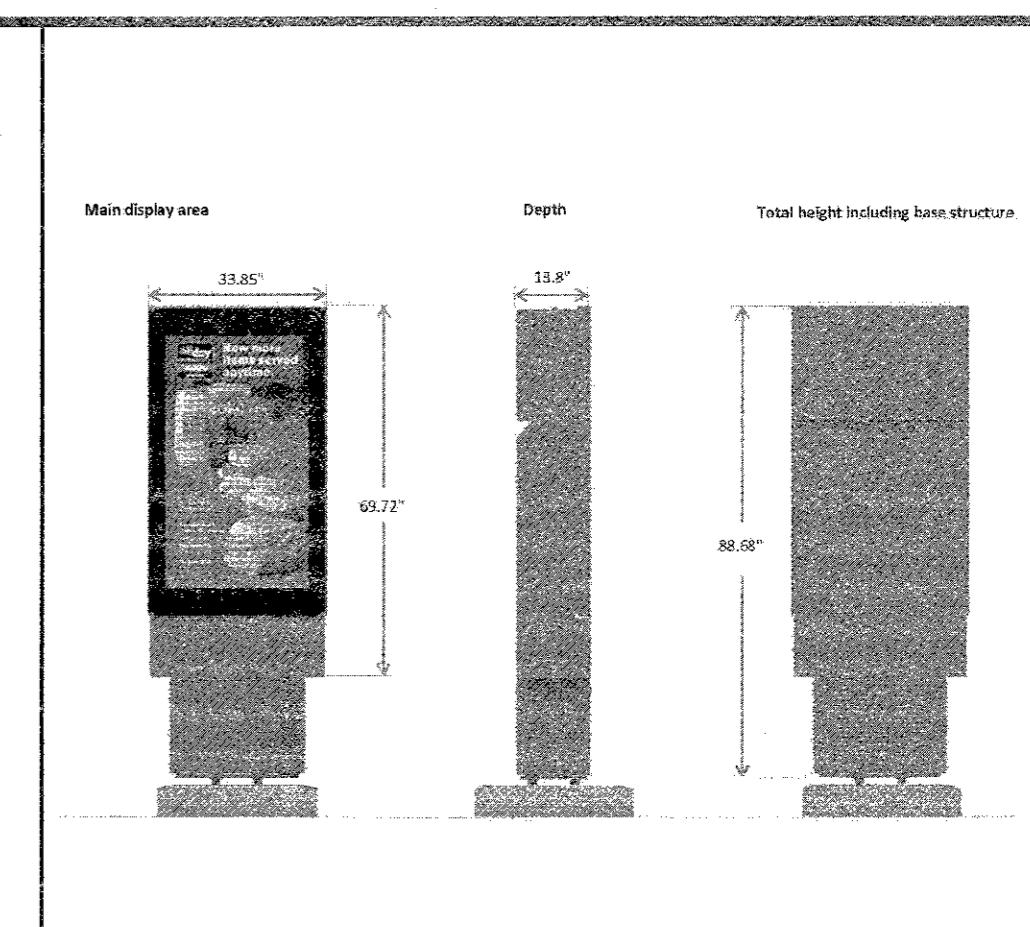
C GATEWAY SIGN (3.30 SF)
NOT TO SCALE (SOURCE McDONALD'S)

D NEXT GEN WINDOW POSITION SIGNS
NOT TO SCALE (SOURCE McDONALD'S)

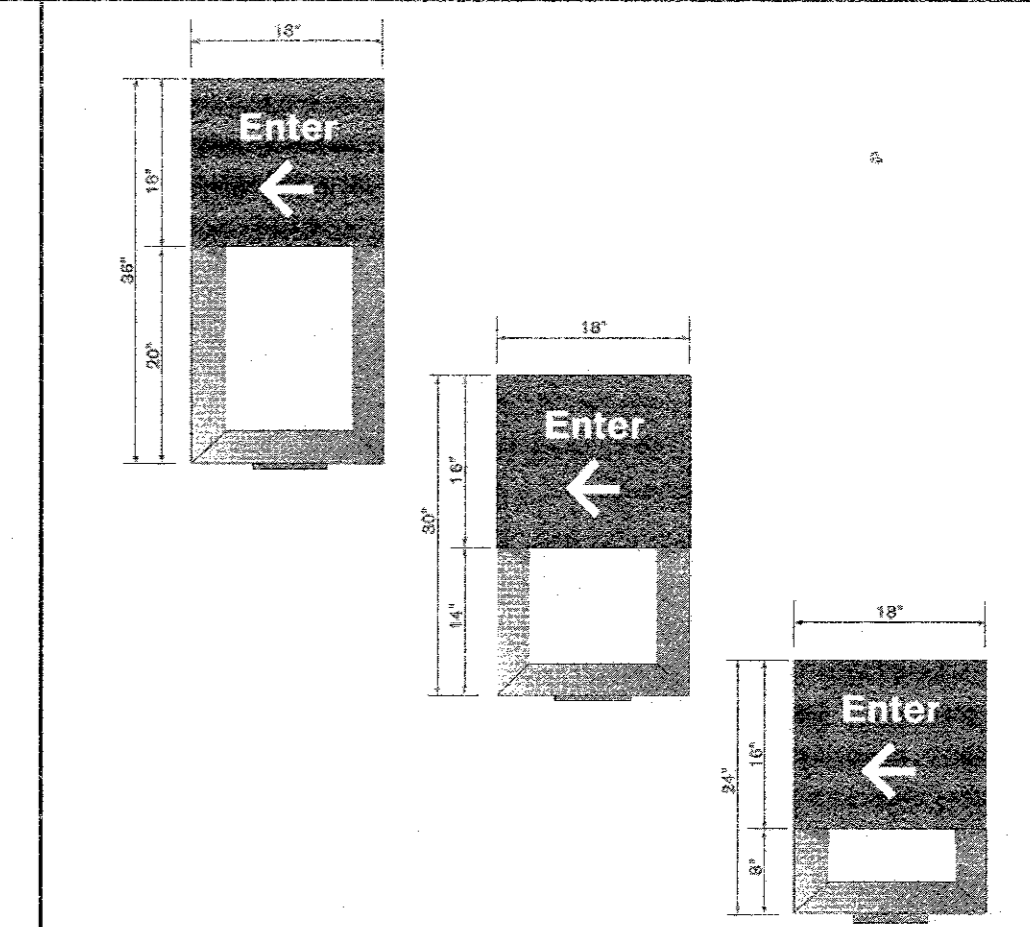


F ARCH 'M' LOGO SIGN
NOT TO SCALE (SOURCE McDONALD'S)

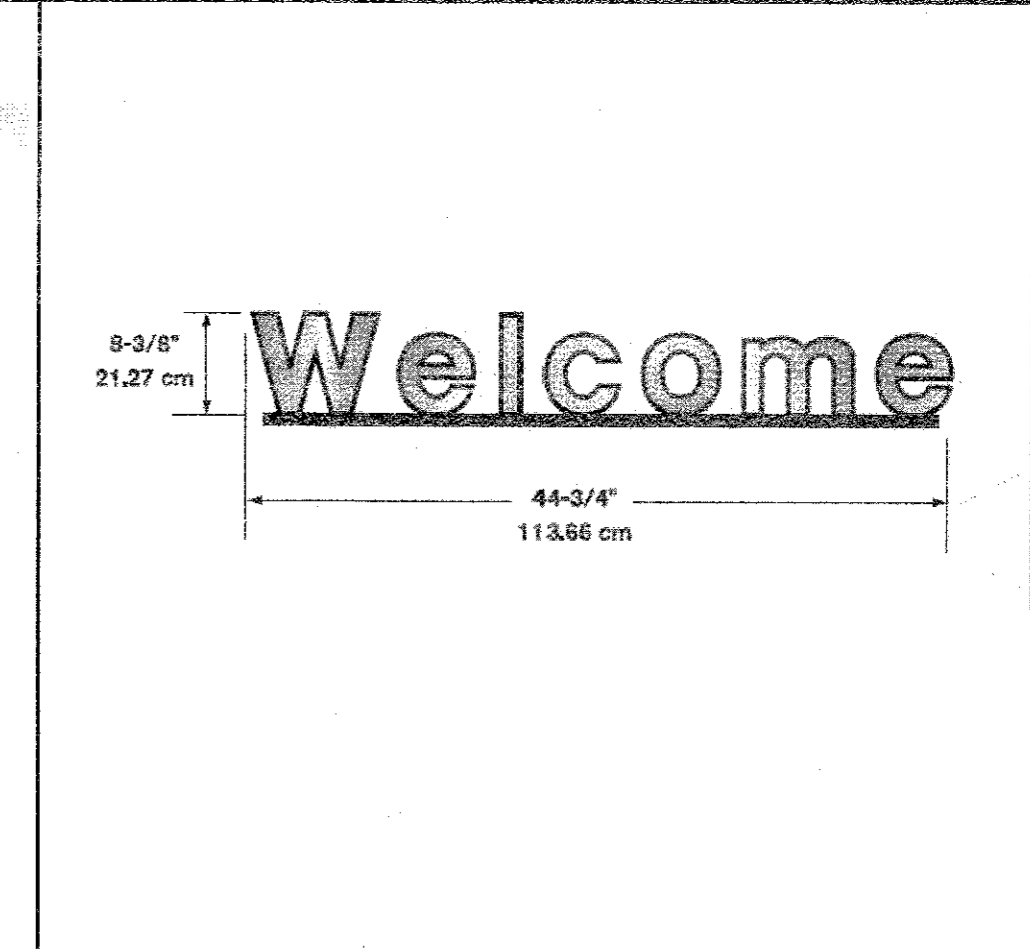
G McDONALD'S FACIA SIGN
NOT TO SCALE (SOURCE McDONALD'S)



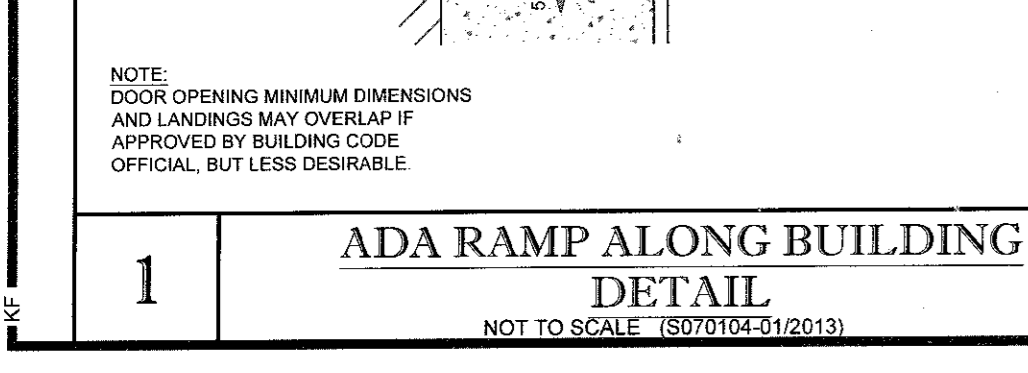
B PRESALE MENU BOARD
NOT TO SCALE (SOURCE McDONALD'S)



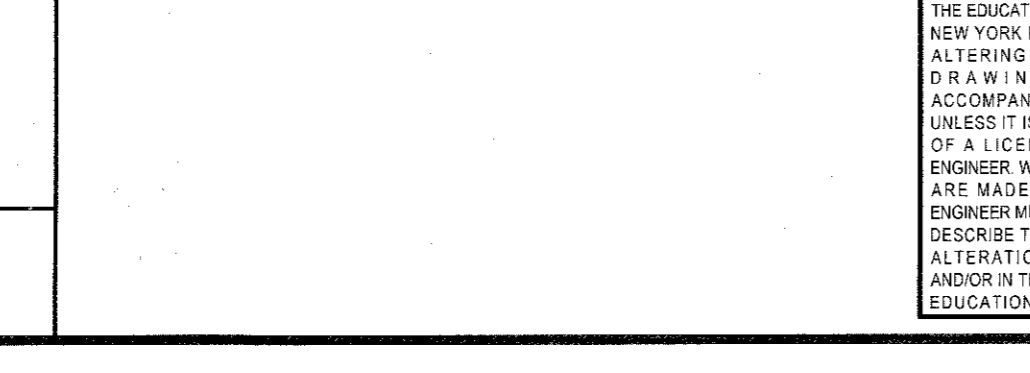
E NEXT GEN S2F DIRECTIONAL SIGNS
NOT TO SCALE (SOURCE McDONALD'S)



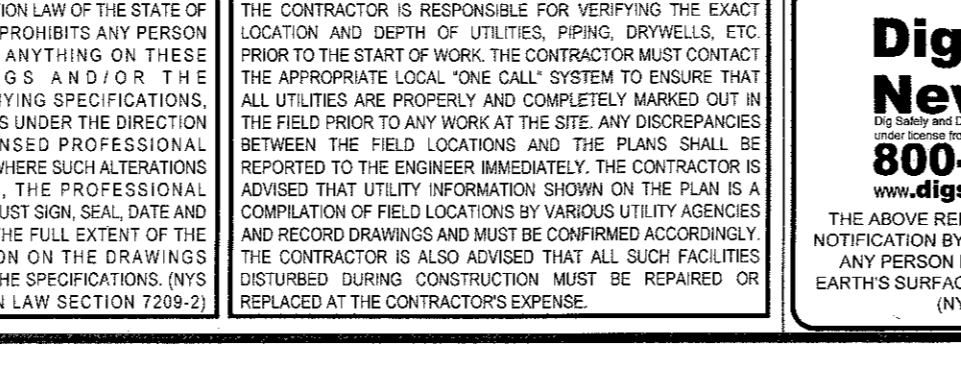
H NON-ILLUMINATED WELCOME SIGN
NOT TO SCALE (SOURCE McDONALD'S)



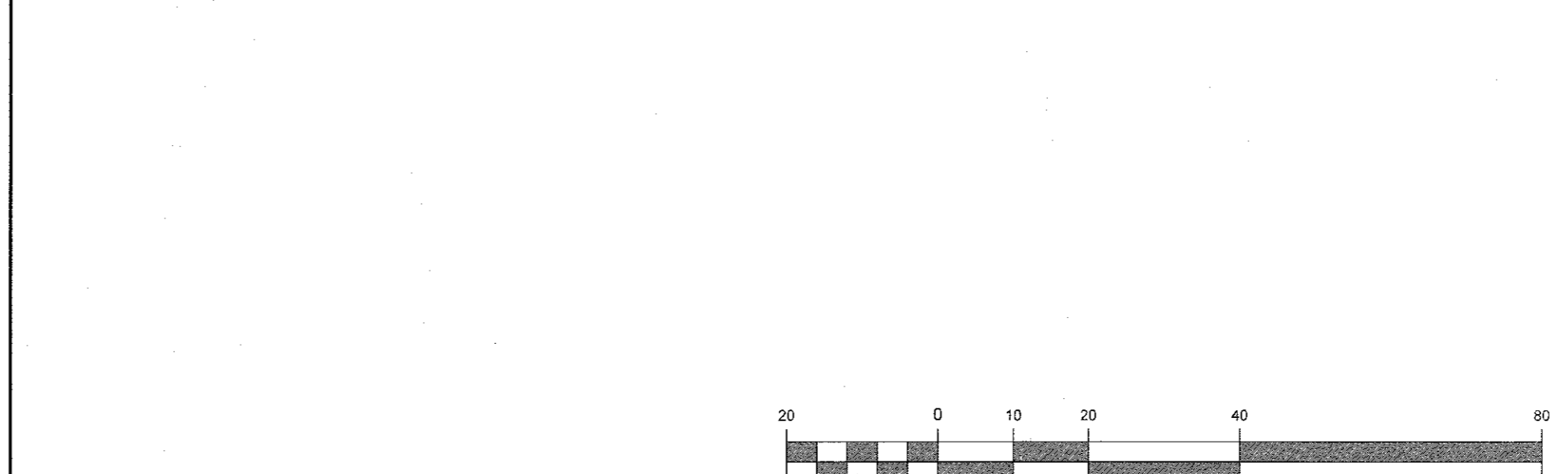
1 ADA RAMP ALONG BUILDING DETAIL
NOT TO SCALE (S070104-01/2013)



3 ADA FLUSH CURB DETAIL
NOT TO SCALE (S030904-01/2013)



4 ADA PARKING SIGN ON BOLLARD DETAIL
NOT TO SCALE (S070207-11/2016)



GRAPHIC SCALE
1 INCH = 20 FEET

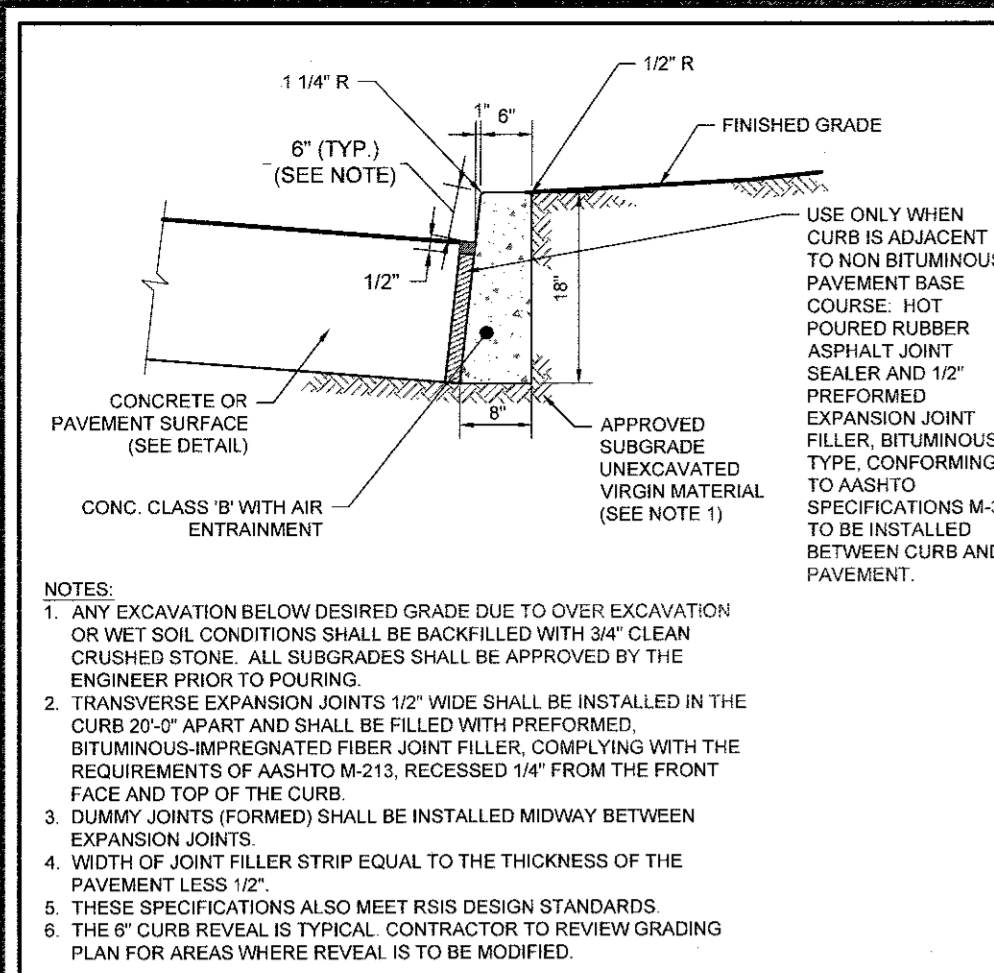
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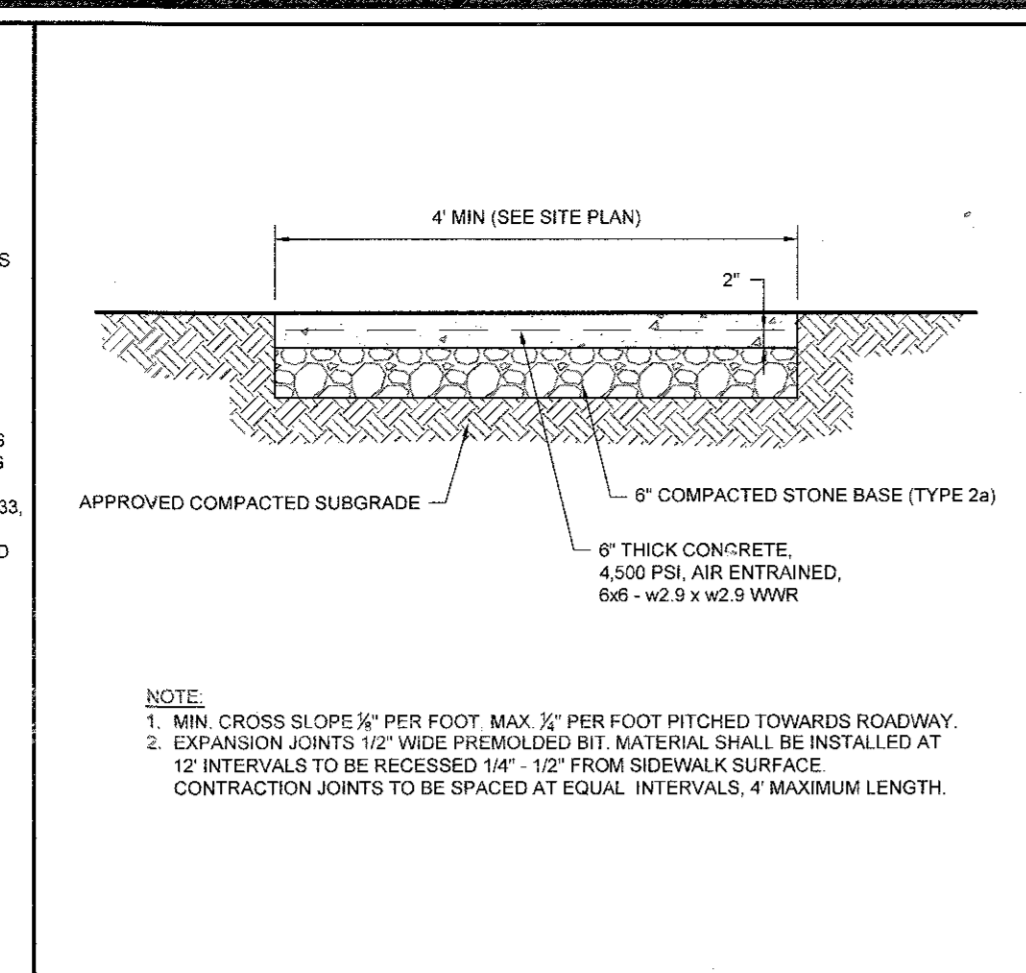
STATE OF NEW JERSEY
REGISTERED PROFESSIONAL ENGINEER

PROPOSED SITE IMPROVEMENTS	
SECTION 76, BLOCK 1, LOT 1.1	
STREET ADDRESS	
65 NORTH PLANK ROAD	
CITY	STATE
TOWN OF NEWBURGH	NY
COUNTY	ORANGE
REGIONAL DWG. NO.	PLAN DESCRIPTION
031-0145	ADA PLAN & DETAILS

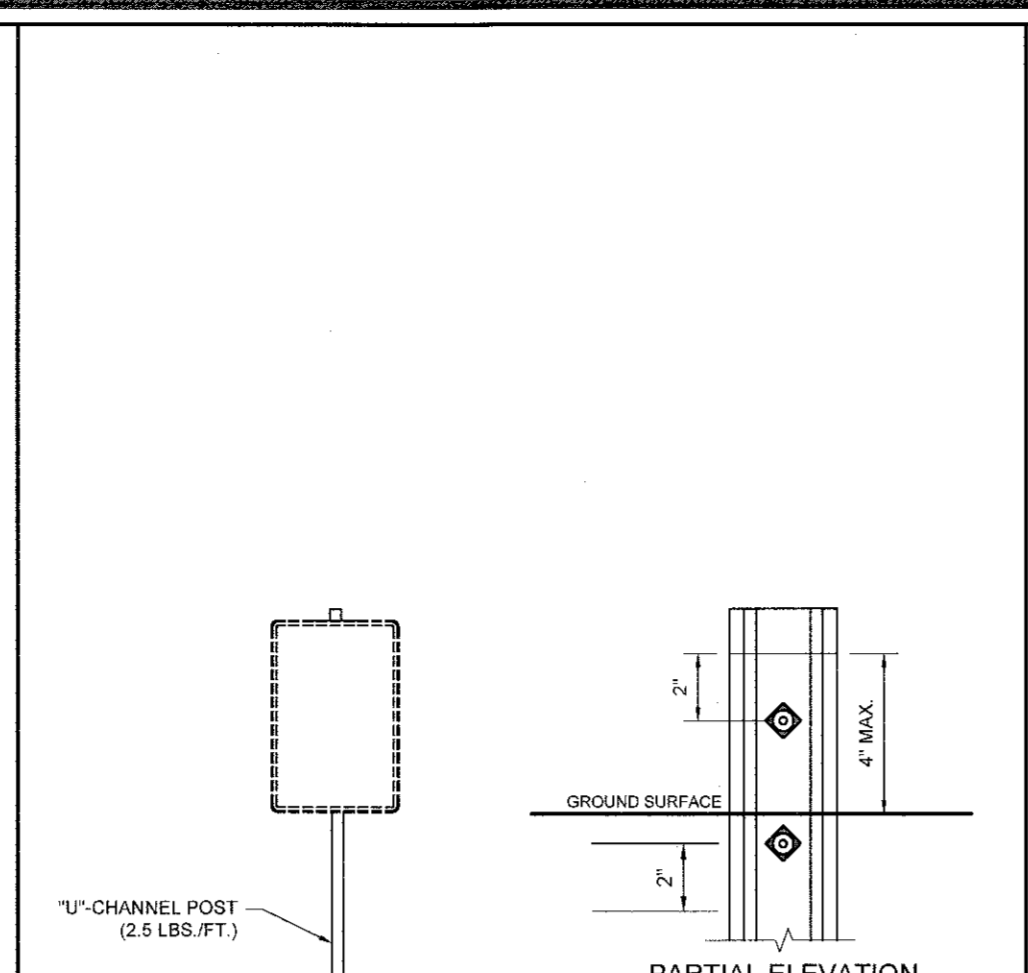
ISSUE REF	
BY	
DESCRIPTION	
DATE	
REV	
FINAL PLAN SIGNATURES	
P.M.	G.C.
O/O	
McDonald's	
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DATE	
PLAN APPROVALS	
SIGNATURE (2 REQUIRED)	
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
CONTRACTOR OWNER	
STATUS	
PRELIMINARY	08/15/17
PLAN CHECKED	08/15/17
AS-BUILT	N/A
DATE	
08/15/17	
08/15/17	
N/A	
BY	
KF	
LM	
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OF	15



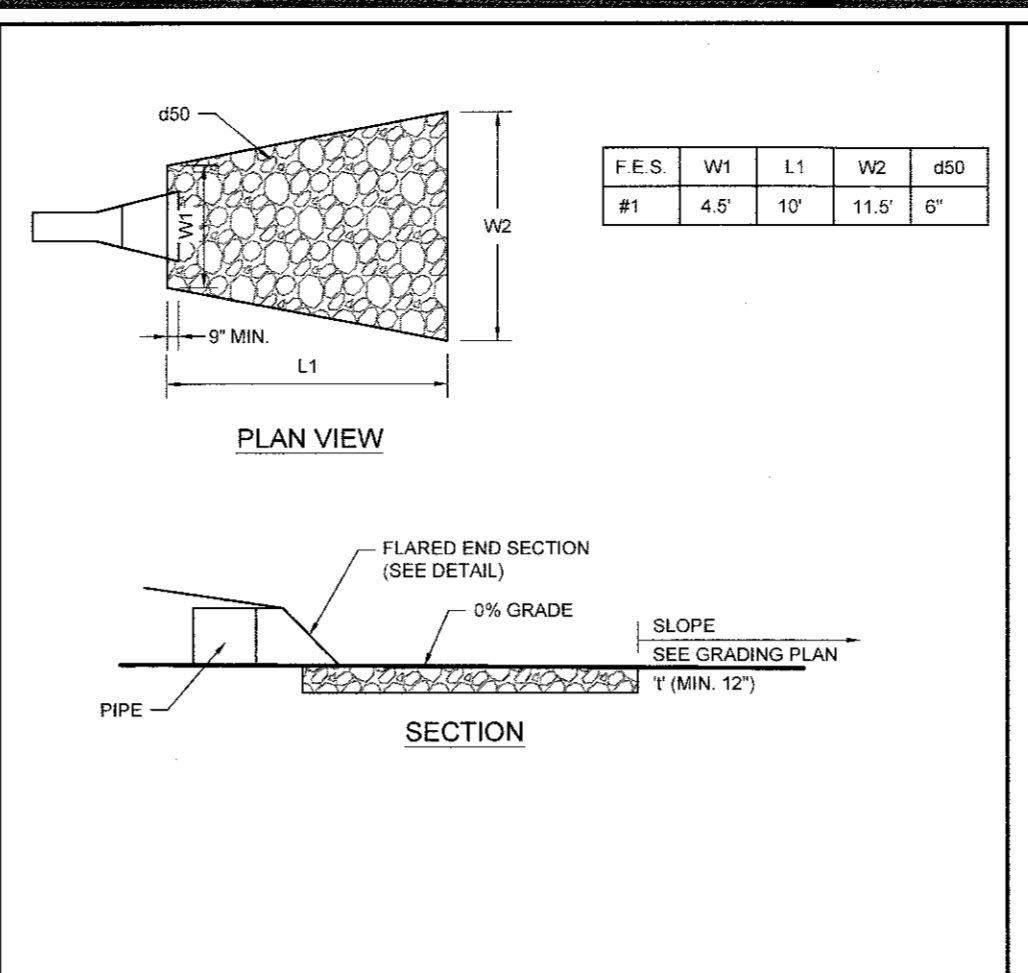
1 CONCRETE CURB 6" REVEAL DETAIL
NOT TO SCALE (S030202-01/2013)



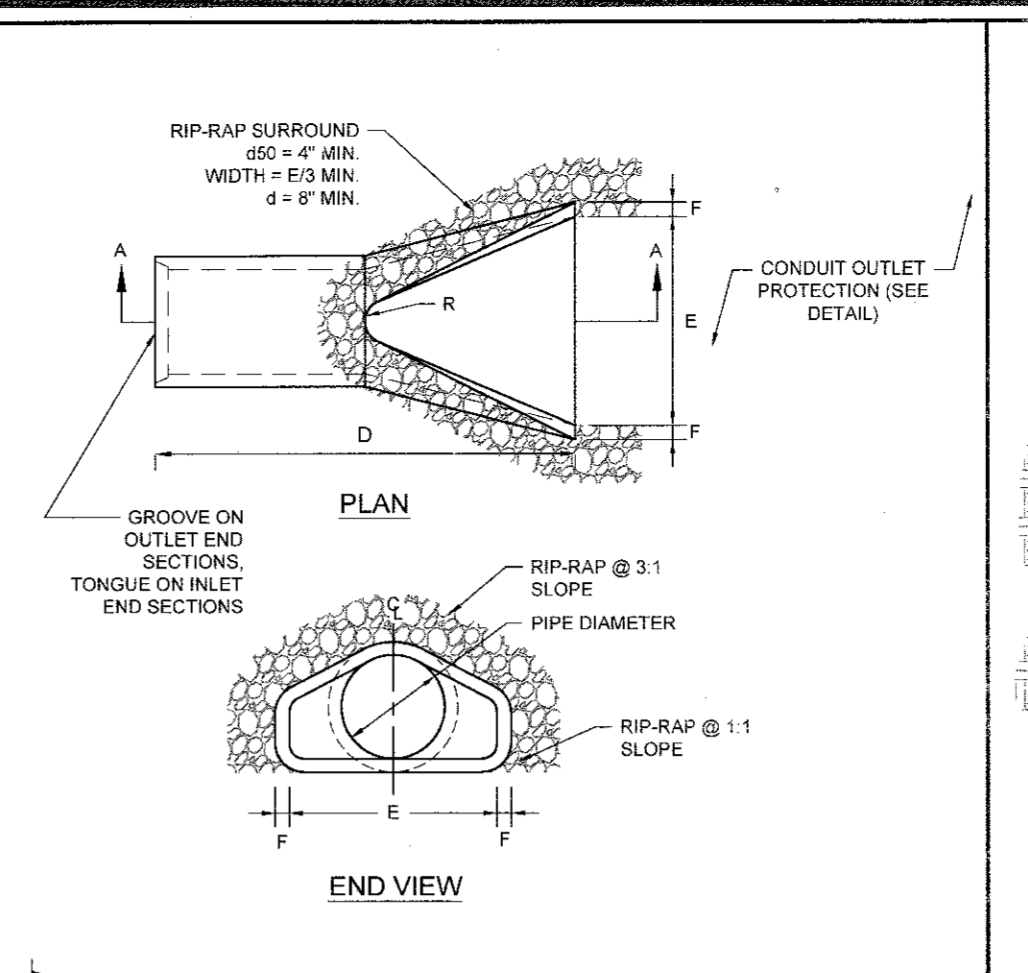
2 CONCRETE SIDEWALK WITH STONE BASE DETAIL
NOT TO SCALE (S050105-01/2013)



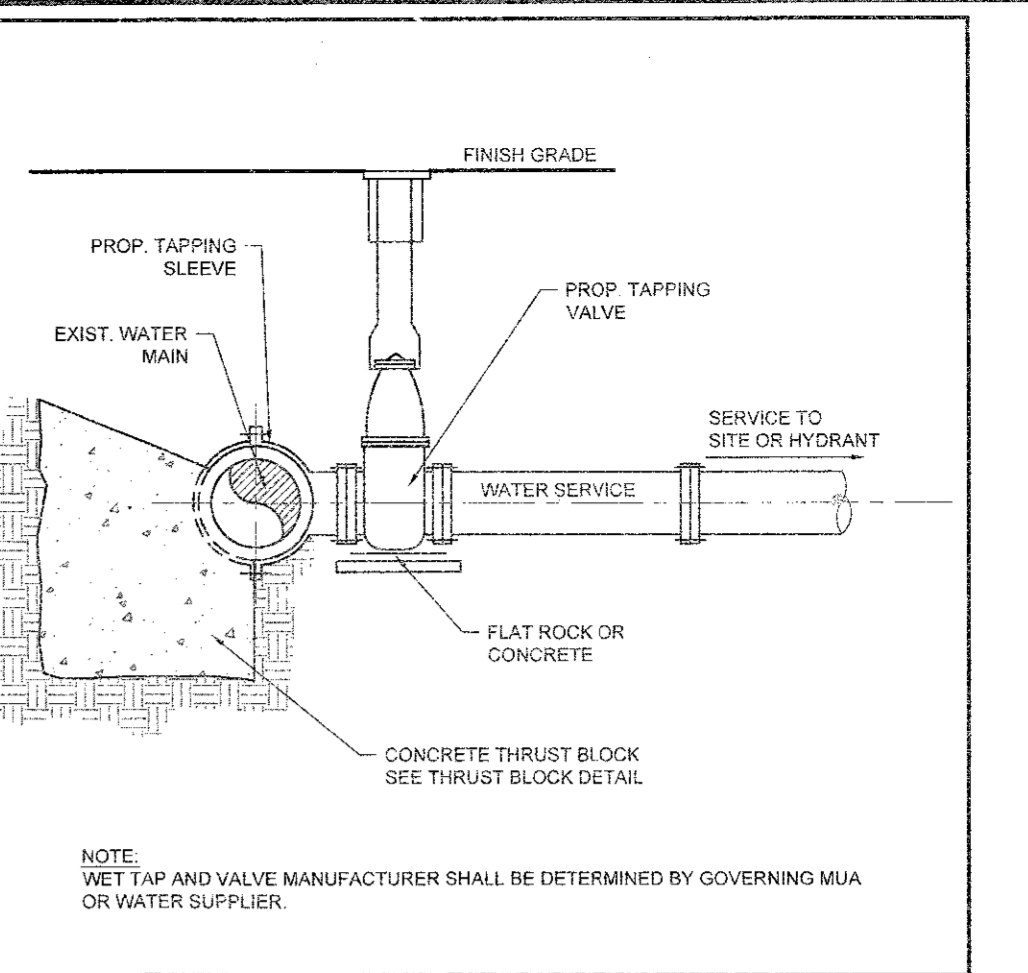
3 FLARED END RIP RAP DETAIL
NOT TO SCALE (O999909-09/2016)



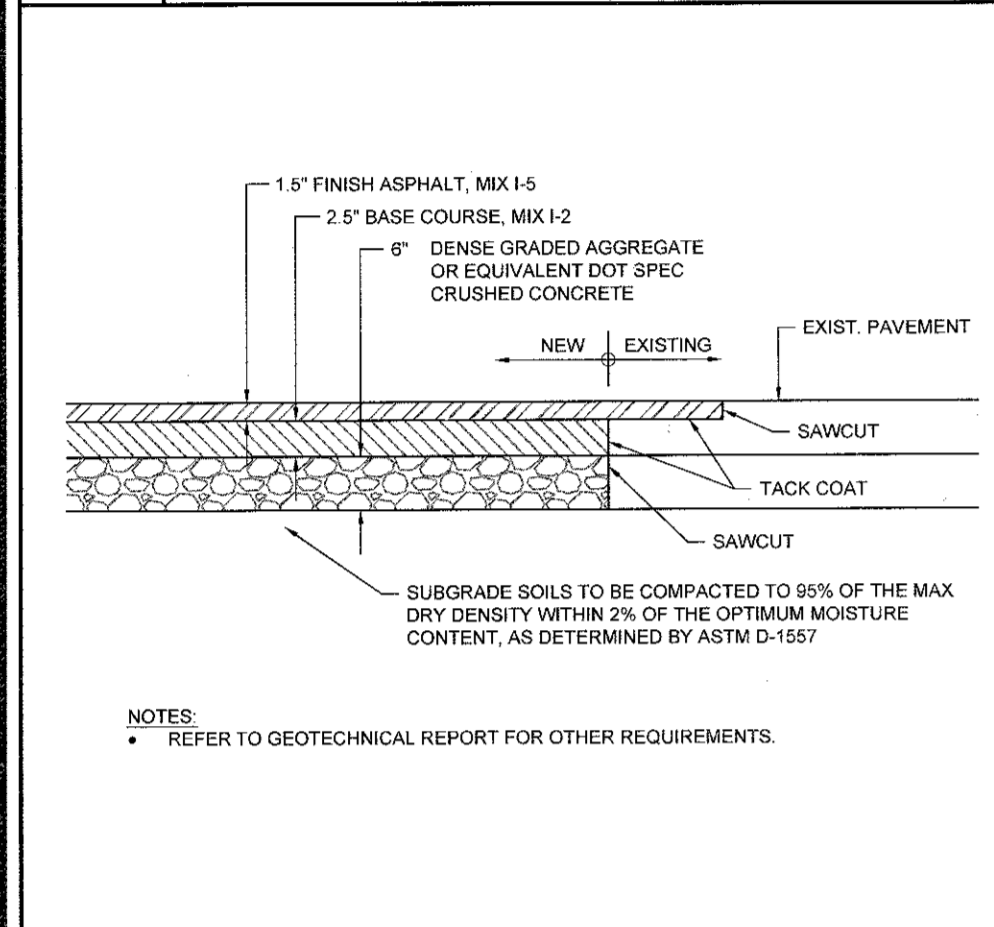
4 WET TAP DETAIL
NOT TO SCALE (U049907-01/2013)



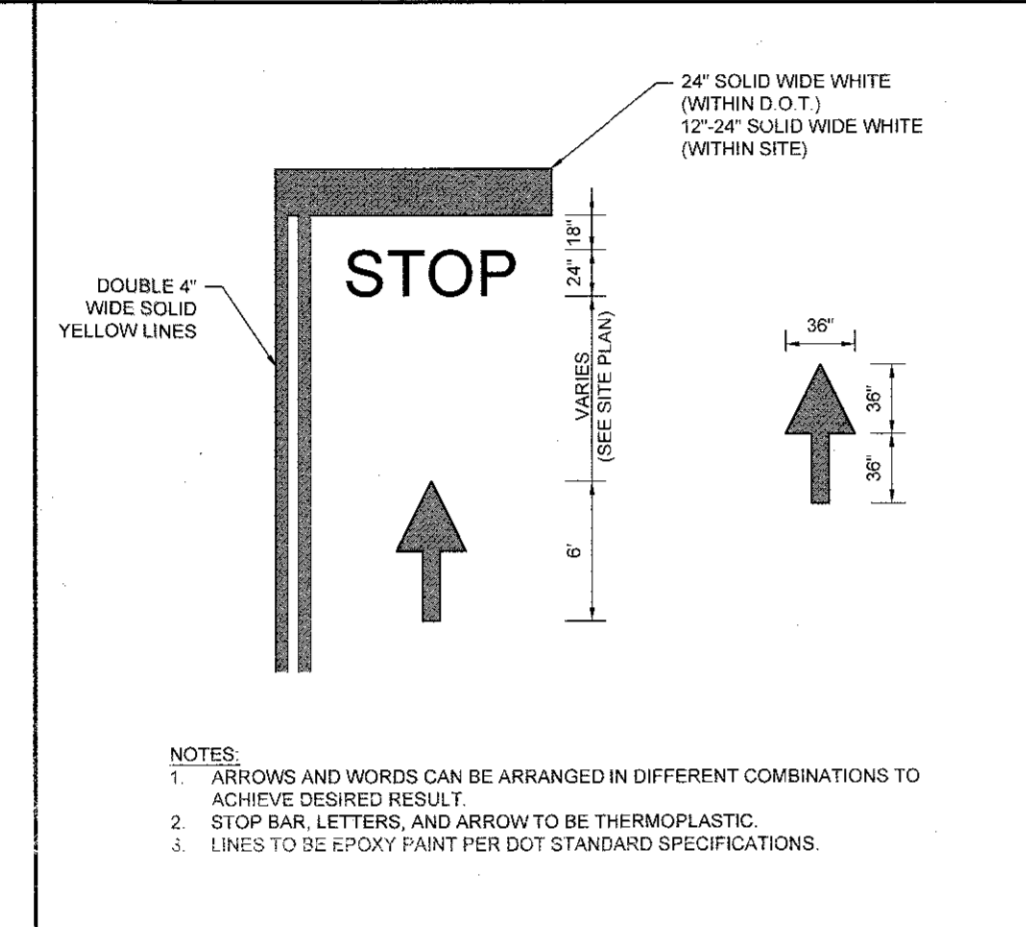
5 STANDARD PAVING WITH BUTT JOINT DETAIL
NOT TO SCALE (S08103-01/2013)



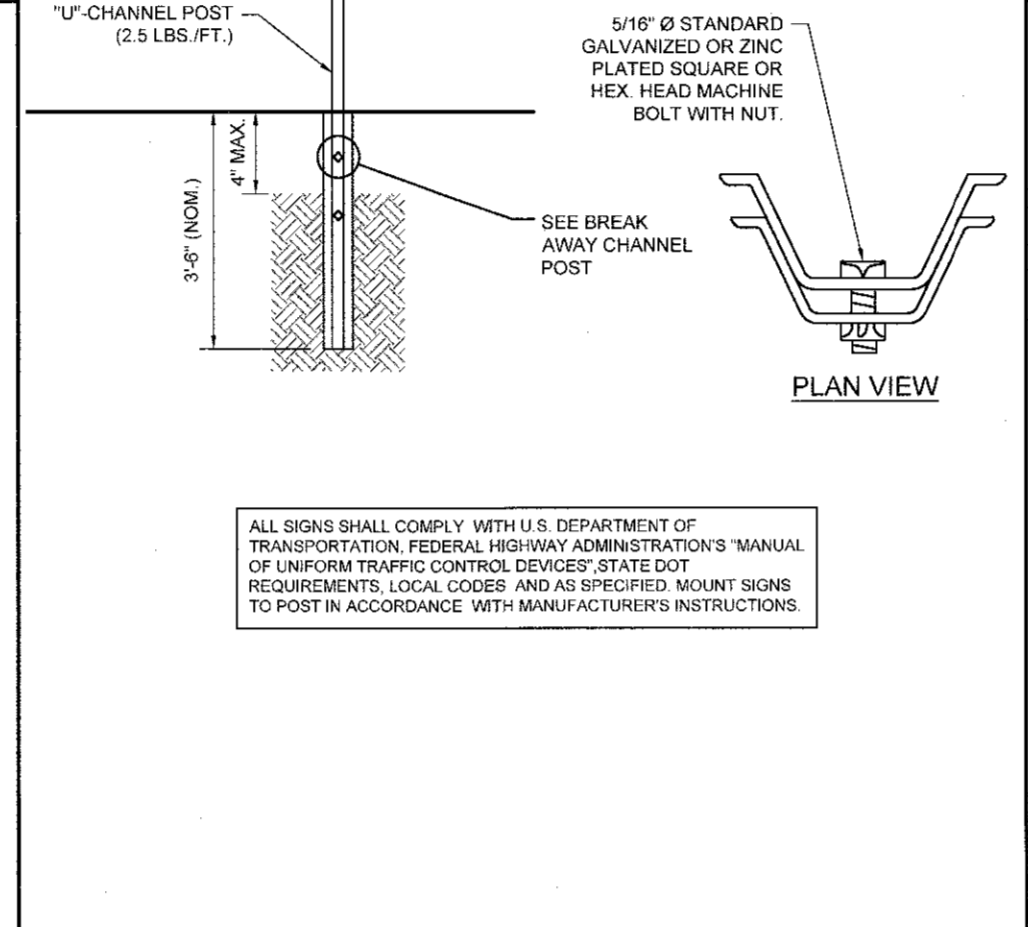
6 PAINTED MARKING DETAILS
NOT TO SCALE (S080501-01/2013)



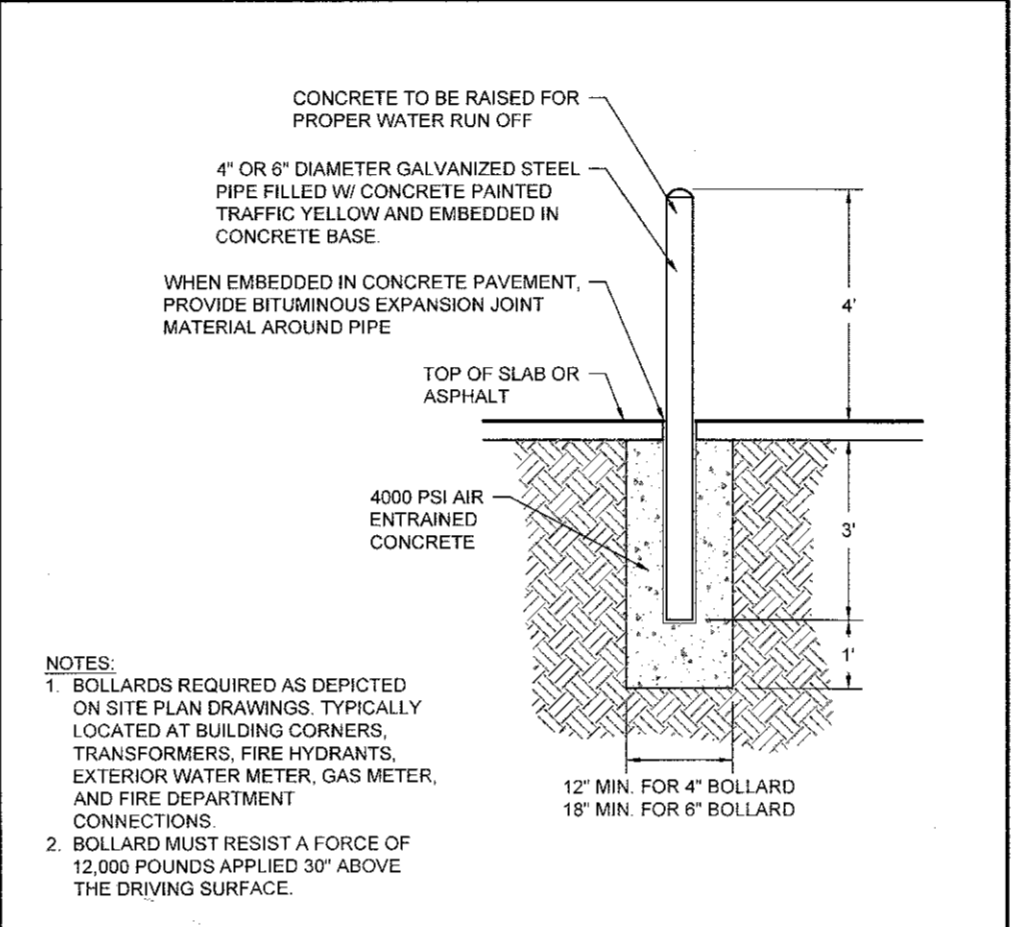
7 BREAKAWAY SIGN POST DETAIL
NOT TO SCALE (S100202-01-01/2013)



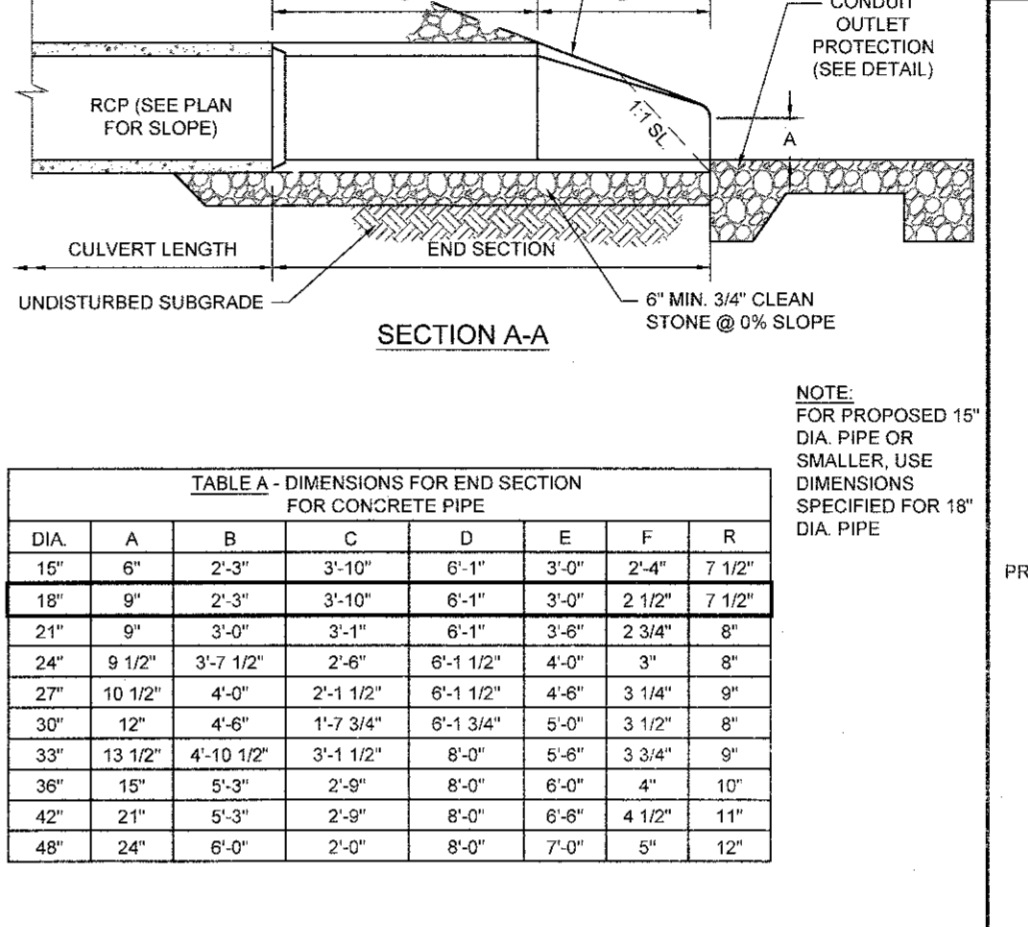
8 4" OR 6" BOLLARD DETAIL
NOT TO SCALE (S010201-01/2013)



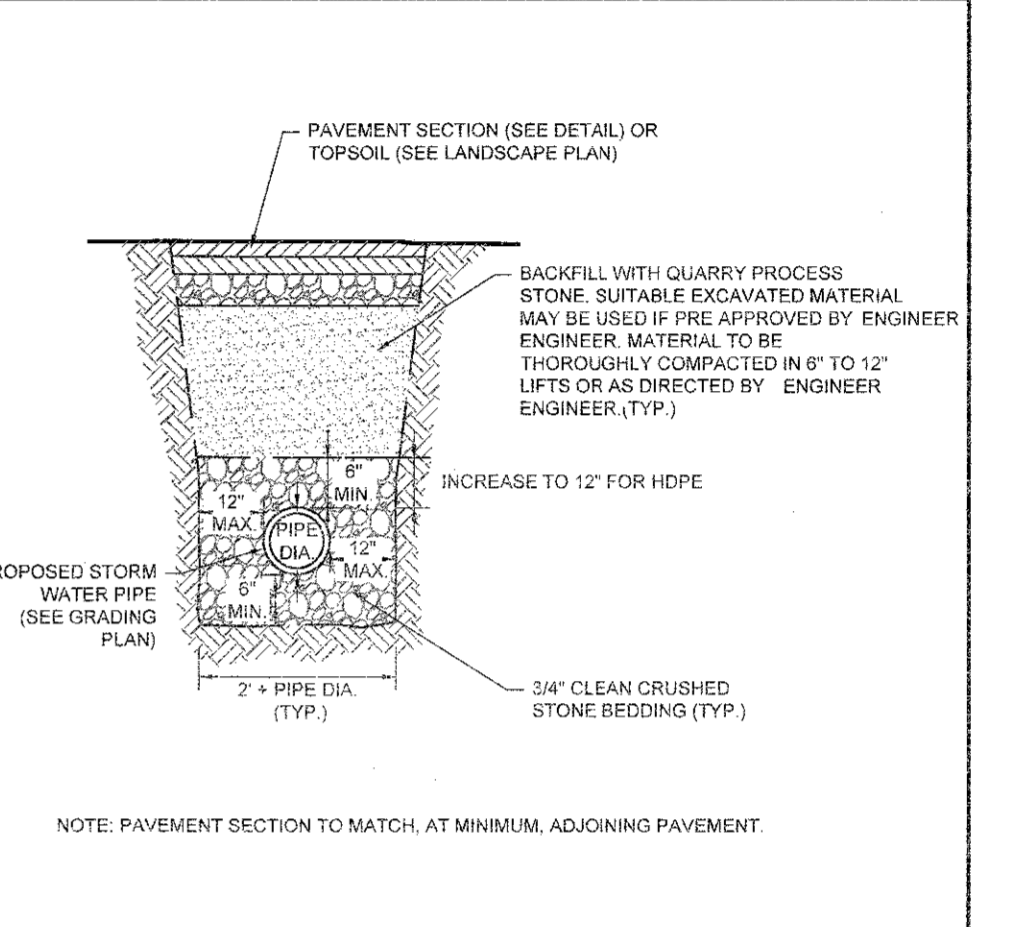
9 F.E.S. FOR REINFORCED CONCRETE PIPE DETAIL
NOT TO SCALE (G020202-01/2013)



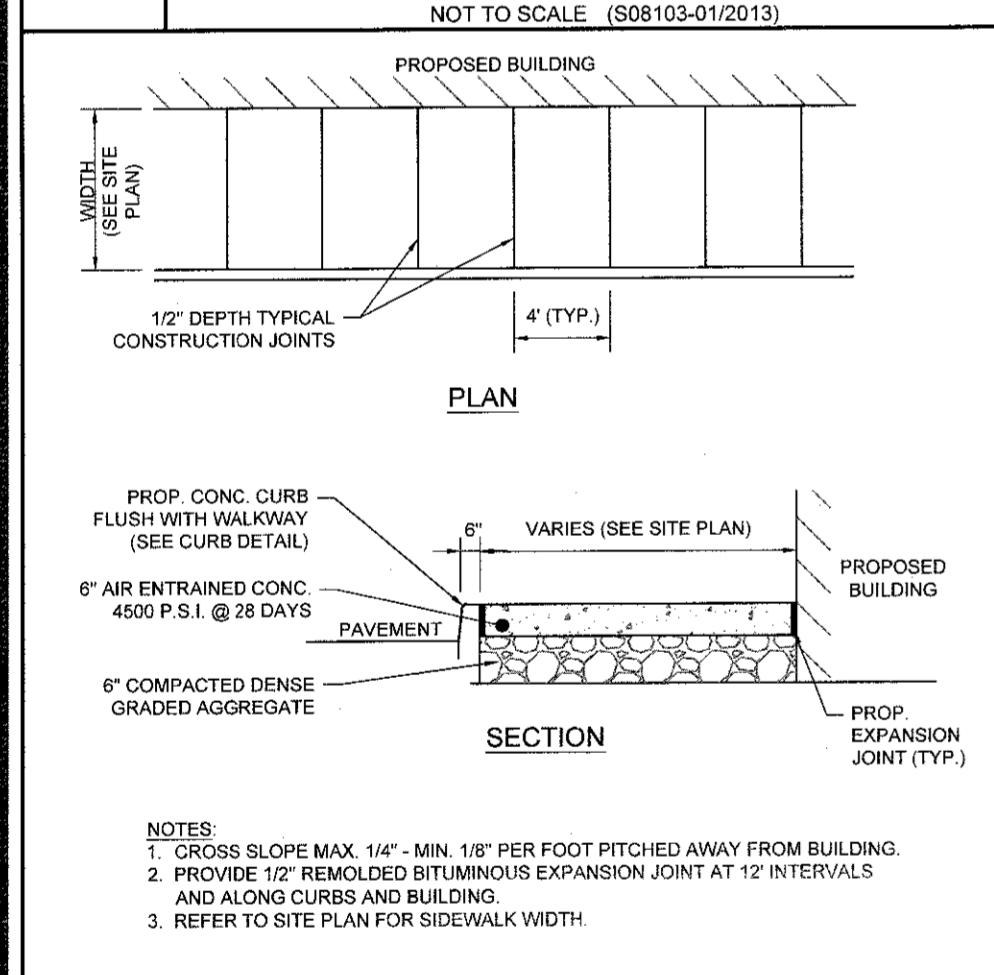
10 STORM TRENCH & PAVEMENT RESTORATION DETAIL
NOT TO SCALE (G029907-01/2013)



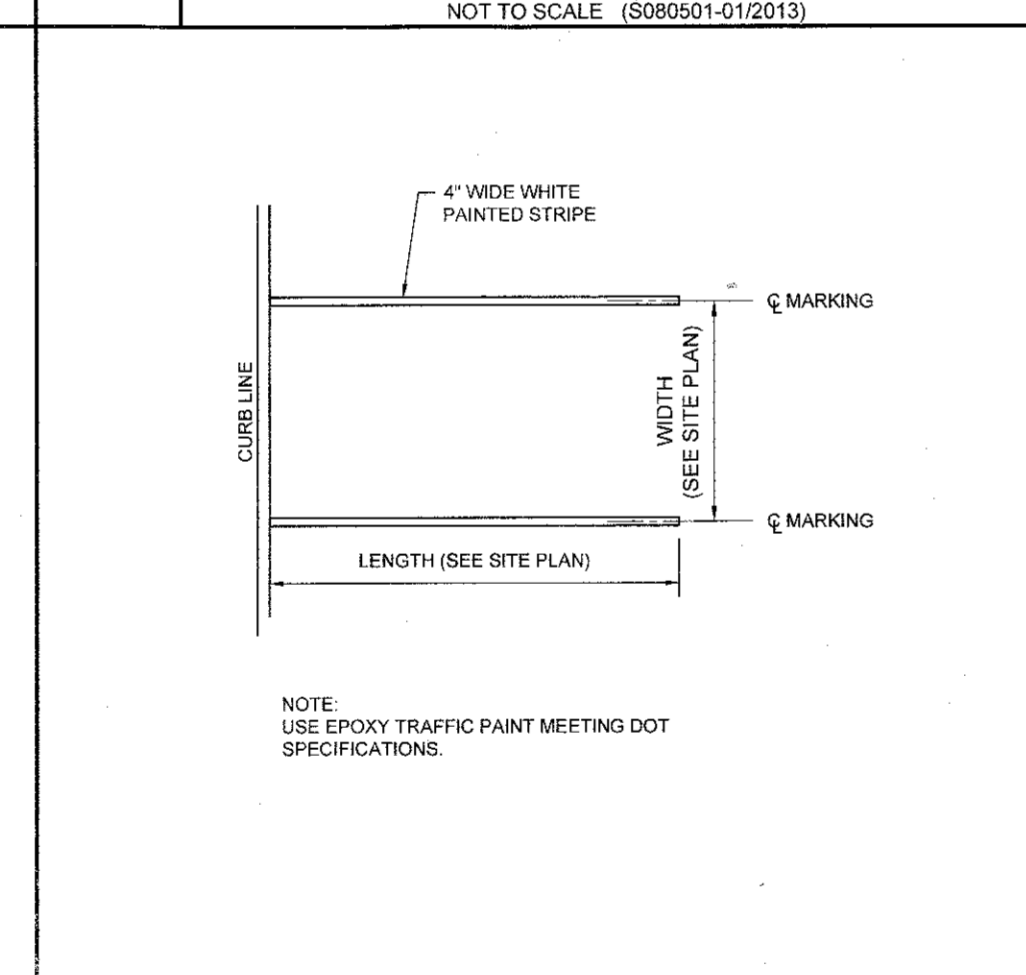
11 CURB AND WALK AT BUILDING DETAIL
NOT TO SCALE (S090104-01/2013)



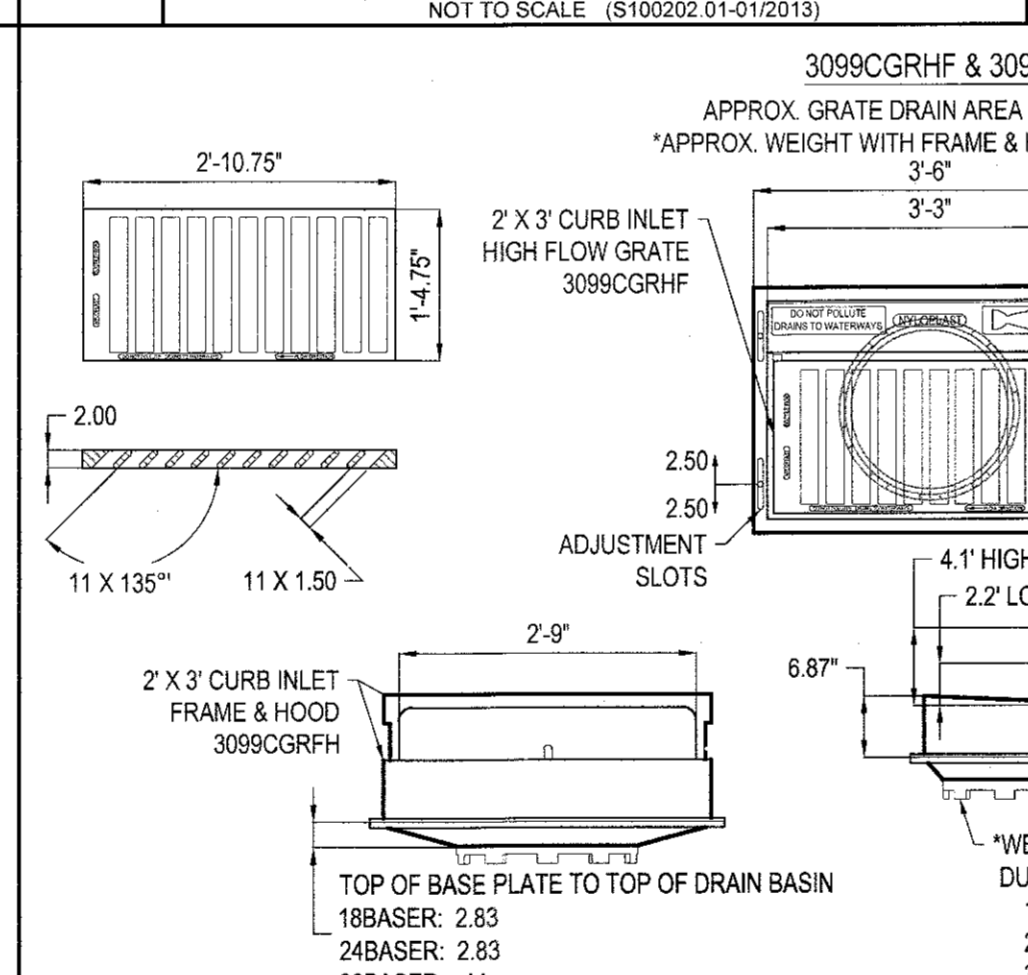
12 STANDARD STRIPING DETAIL
NOT TO SCALE (S080506-01/2013)



13 NYLOPLAST CURB INLET FRAME & GRATE
N.T.S.



14 YARD INLET
N.T.S.

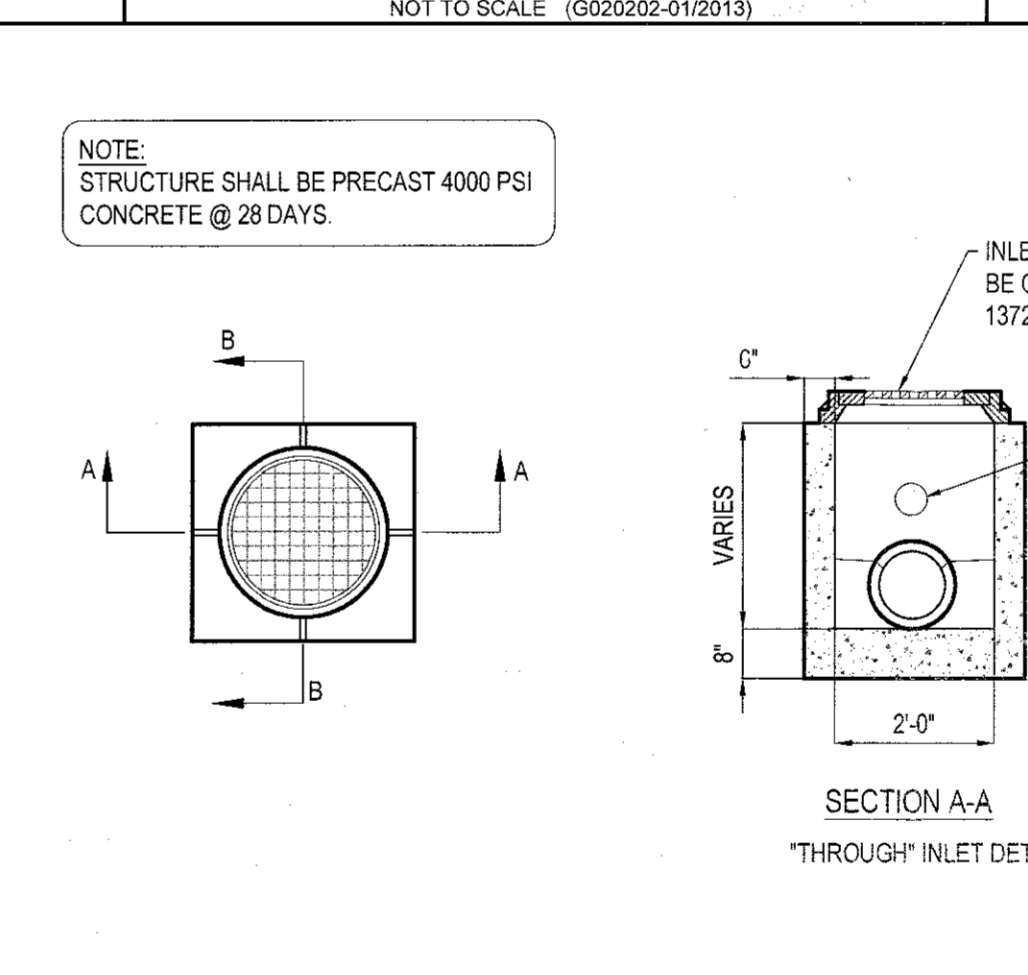


15 STEEL RAILING DETAIL
NOT TO SCALE

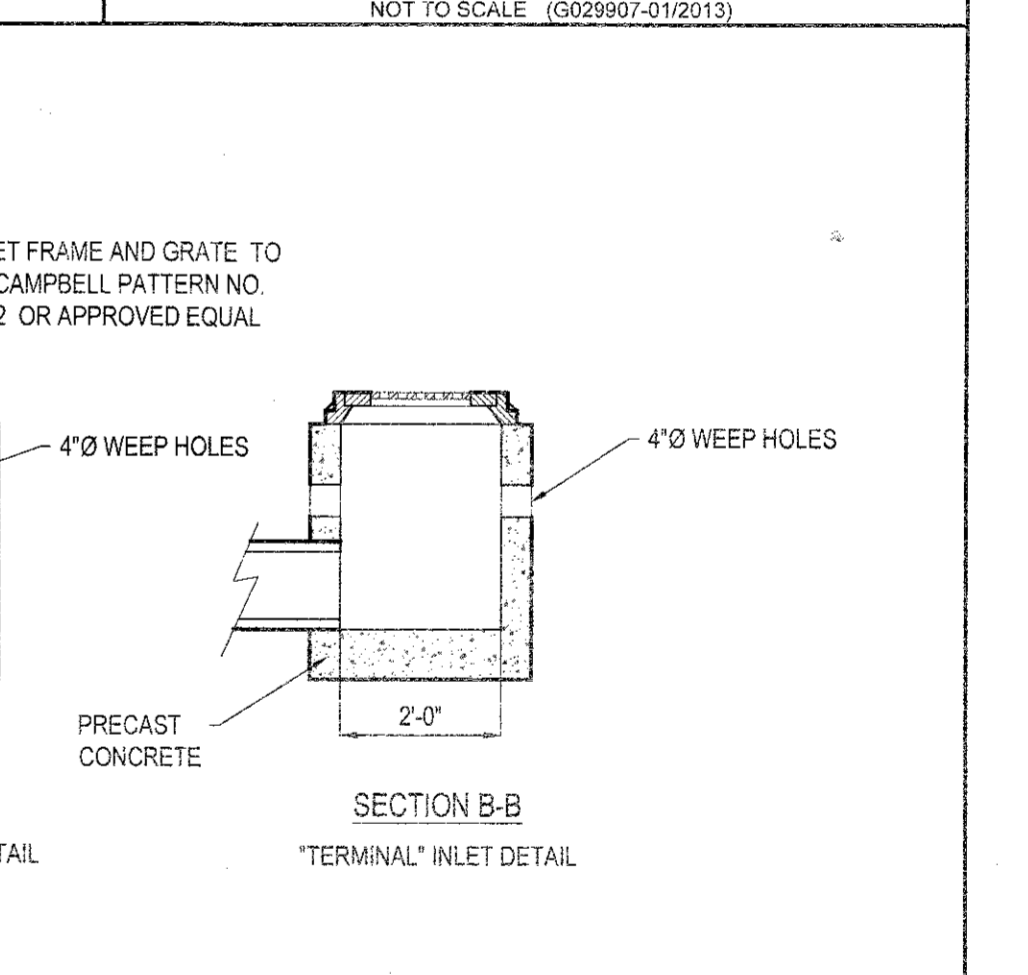
TABLE A - DIMENSIONS FOR END SECTION FOR CONCRETE PIPE

DIA.	A	B	C	D	E	F	R
15"	6"	2'-3"	3'-10"	6'-1"	3'-0"	2'-4"	7'-10"
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	2'-10"	7'-10"
21"	9"	3'-0"	3'-1"	6'-1"	3'-0"	3'-0"	8"
24"	9'-10"	3'-7'-10"	2'-8"	6'-1'-10"	4'-0"	3"	8"
27"	10'-10"	4'-0"	2'-1'-10"	6'-1'-10"	4'-8"	3'-10"	9"
30"	12"	4'-6"	1'-2'-3/4"	6'-1'-3/4"	5'-0"	3'-10"	8"
33"	13'-10"	4'-10'-10"	3'-1'-10"	6'-0"	5'-6"	3'-3/4"	9"
36"	15"	5'-3"	2'-9"	6'-0"	6'-0"	4"	10"
42"	21"	5'-3"	2'-9"	6'-0"	6'-8"	4'-10"	11"
48"	24"	6'-0"	2'-0"	6'-0"	7'-0"	5"	12"

9 F.E.S. FOR REINFORCED CONCRETE PIPE DETAIL
NOT TO SCALE (G020202-01/2013)



10 STORM TRENCH & PAVEMENT RESTORATION DETAIL
NOT TO SCALE (G029907-01/2013)



11 CURB AND WALK AT BUILDING DETAIL
NOT TO SCALE (S090104-01/2013)

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111 WOOD AVENUE SOUTH, SUITE 400
ISELIN, NJ 08830 (732) 932-8500

OFFICE ADDRESS

DATE

PLAN APPROVALS

SIGNATURE (2 REQUIRED)

REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT.

CO-SIGN SIGNATURES

CONTRACTOR OWNER

STATUS DATE BY

PRELIMINARY 08/15/17 KF

PLAN CHECKED 08/15/17 LM

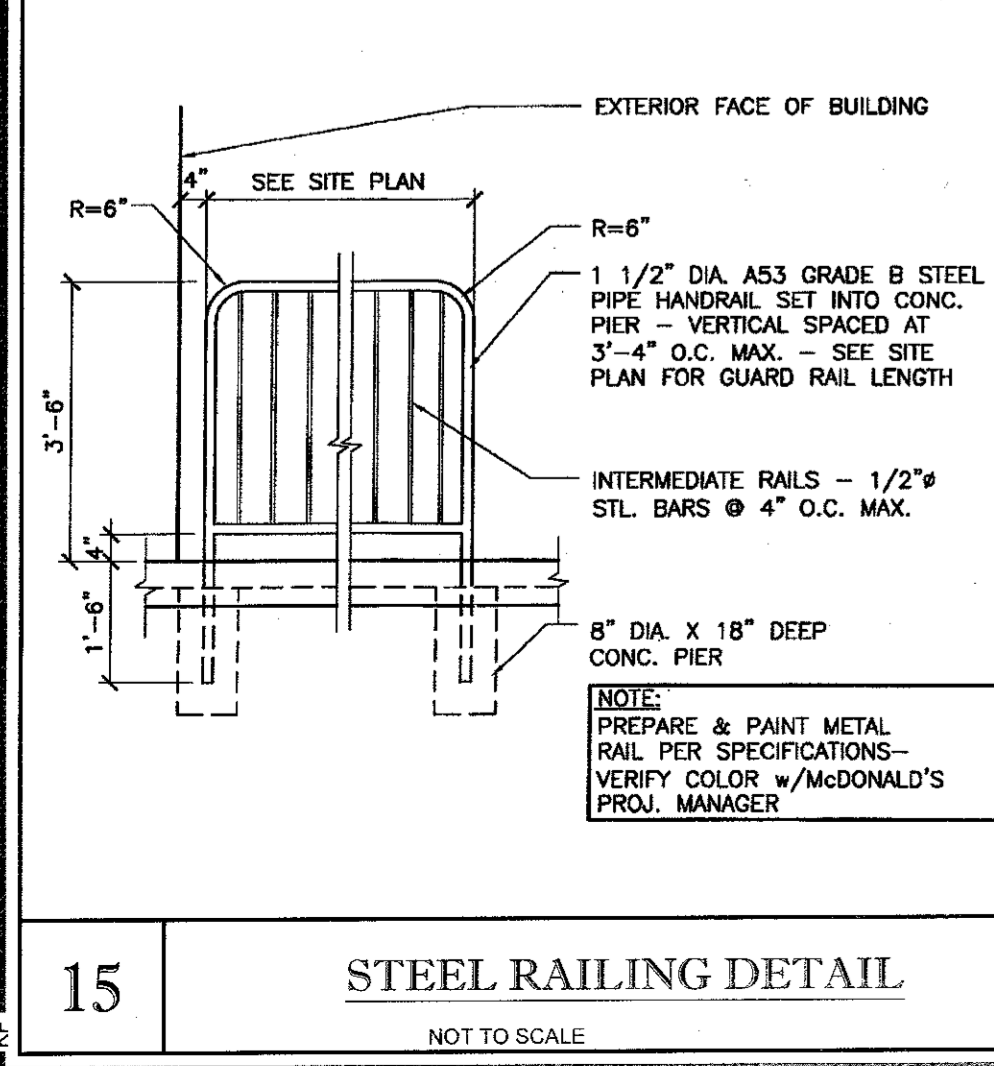
AS-BUILT N/A N/A

PROPOSED SITE IMPROVEMENTS
SECTION 76, BLOCK 1, LOT 1.1
STREET ADDRESS
65 NORTH PLANK ROAD
CITY TOWN OF NEWBURGH STATE NY
COUNTY ORANGE

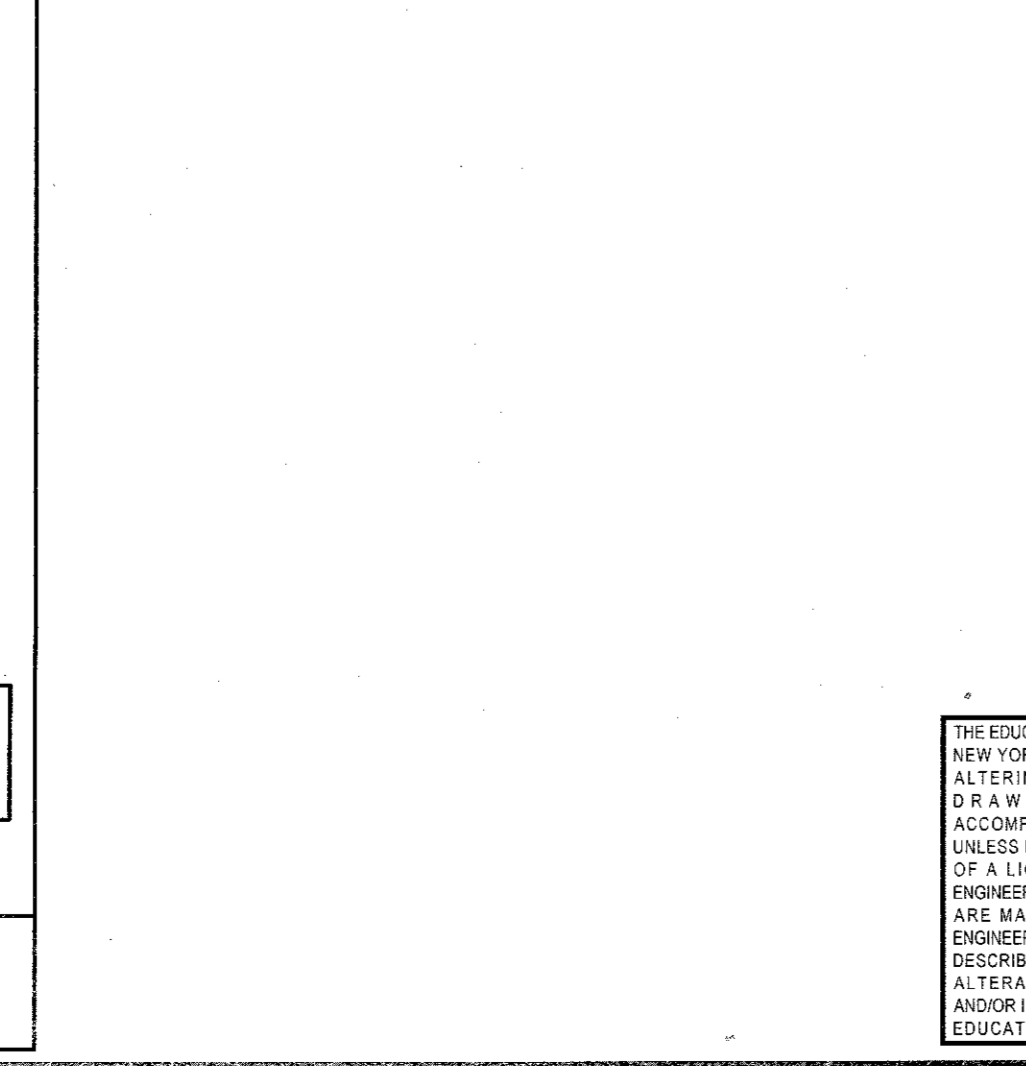
REGIONAL DWG. NO 031-0145
PLAN DESCRIPTION
DETAIL SHEET

CAD FILE: J10058-CDS-03

OF 15



15 STEEL RAILING DETAIL
NOT TO SCALE



13 NYLOPLAST CURB INLET FRAME & GRATE
N.T.S.



14 YARD INLET
N.T.S.

Dig Safely. New York
800-962-7962
www.digsafelyny.com

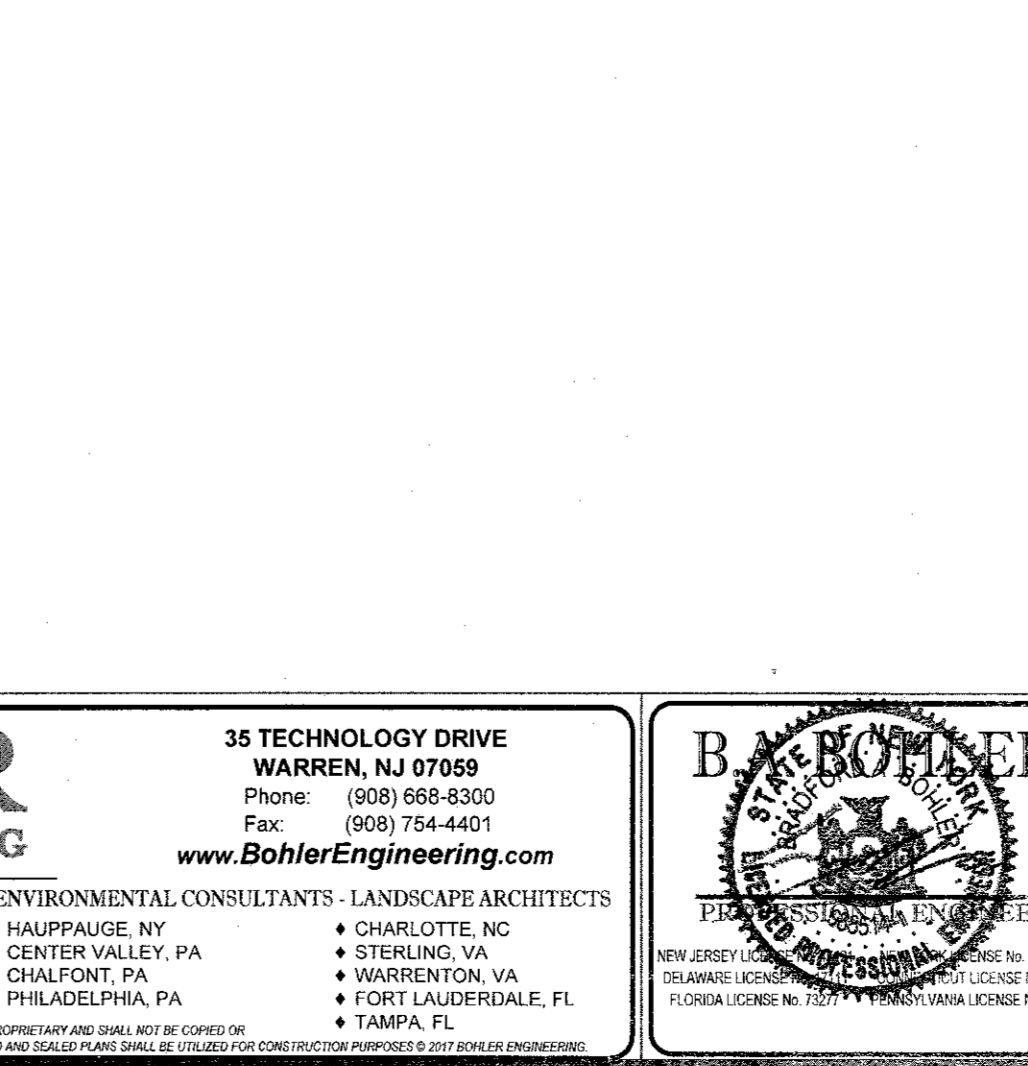
THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPES, DRYWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPARISON OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

BOHLER ENGINEERING
35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 988-8300
Fax: (908) 754-4401
www.BohlerEngineering.com

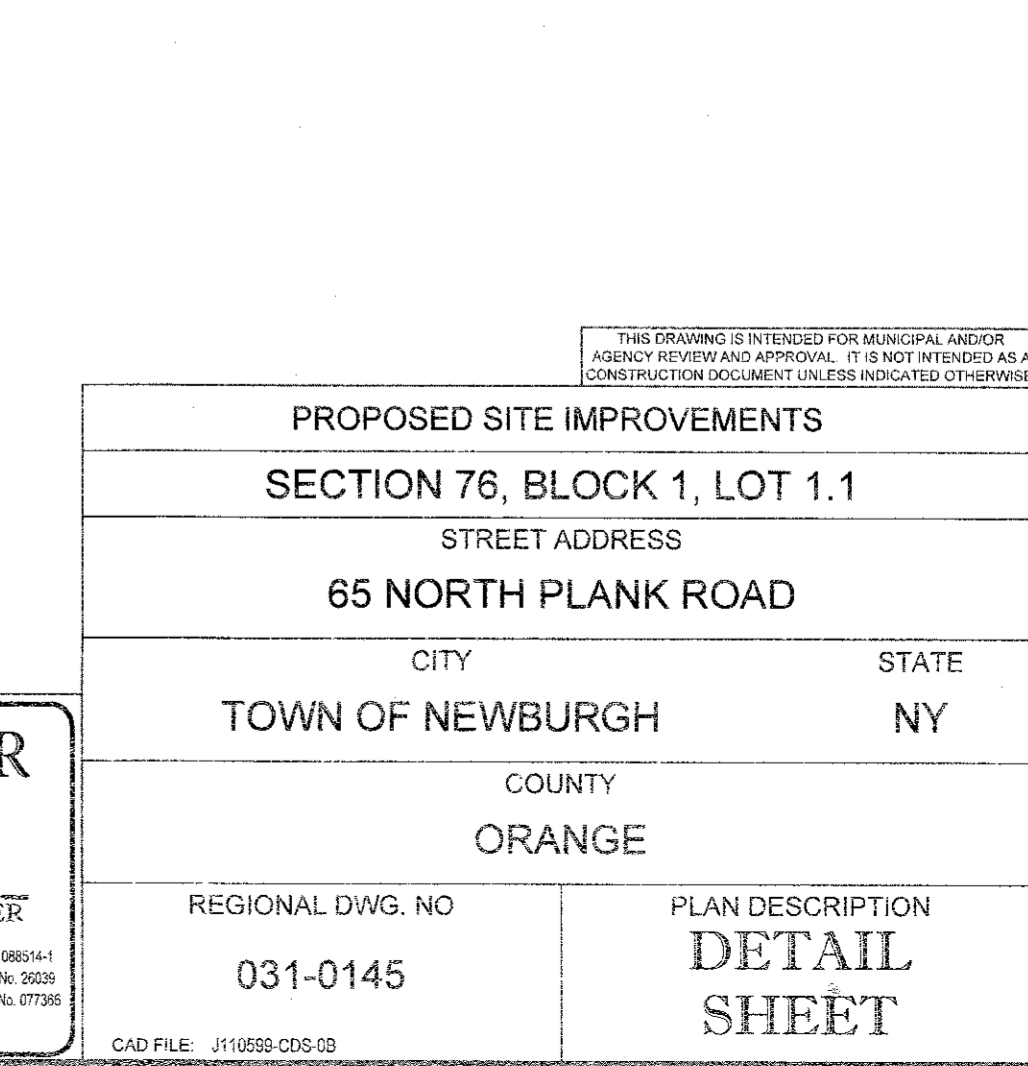
CIVIL & CONSULTING ENGINEERS - SURVEYORS - PROJECT MANAGERS - ENVIRONMENTAL CONSULTANTS - LANDSCAPE ARCHITECTS

CORPORATE OFFICE:
• WARREN, NJ
• SOUTHBOROUGH, MA
• BOWIE, MD
• TOWSON, MD
• ALBANY, NY

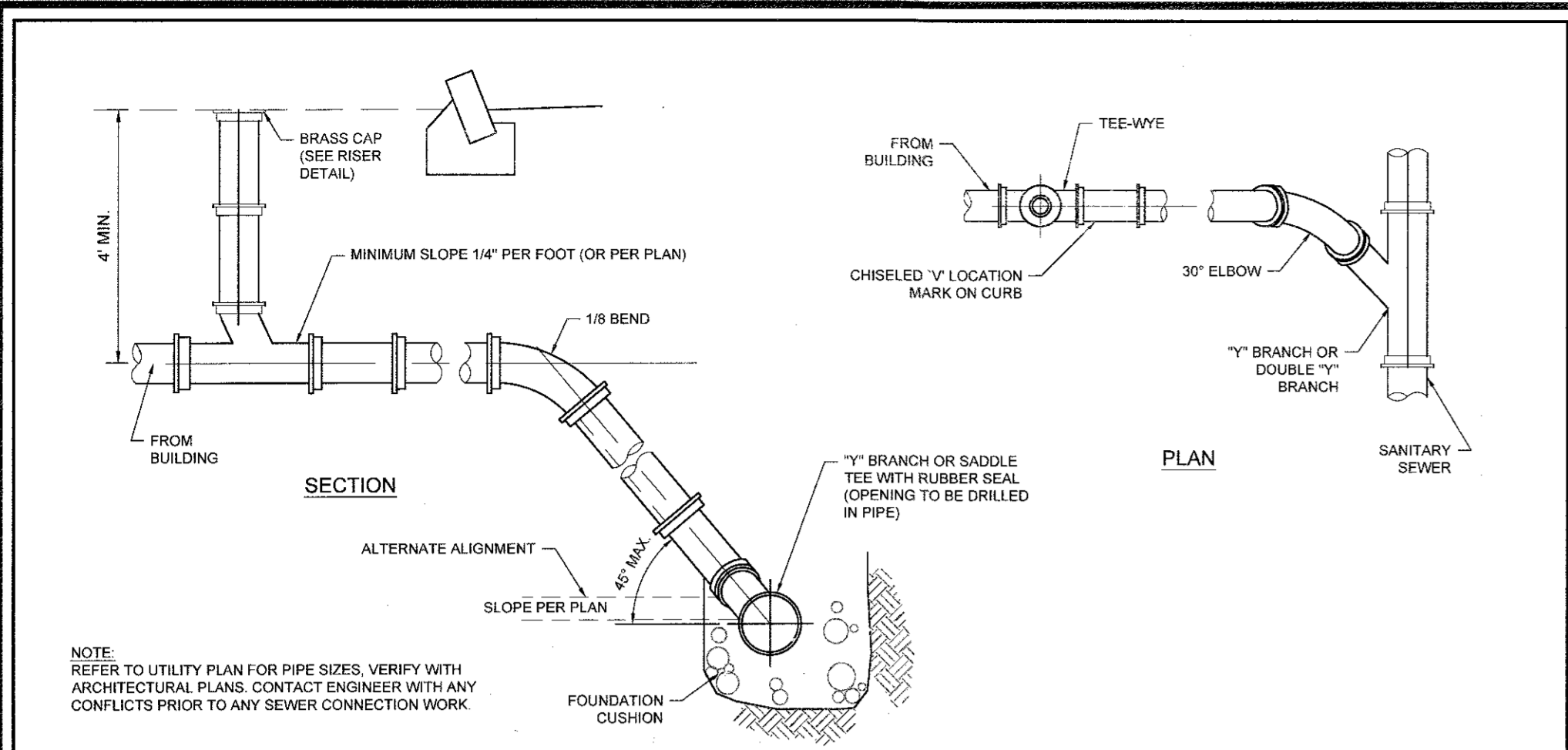
• CHARLOTTE, NC
• CENTER VALLEY, PA
• STERLING, VA
• WARRENTON, VA
• FORT LAUDERDALE, FL
• TAMPA, FL



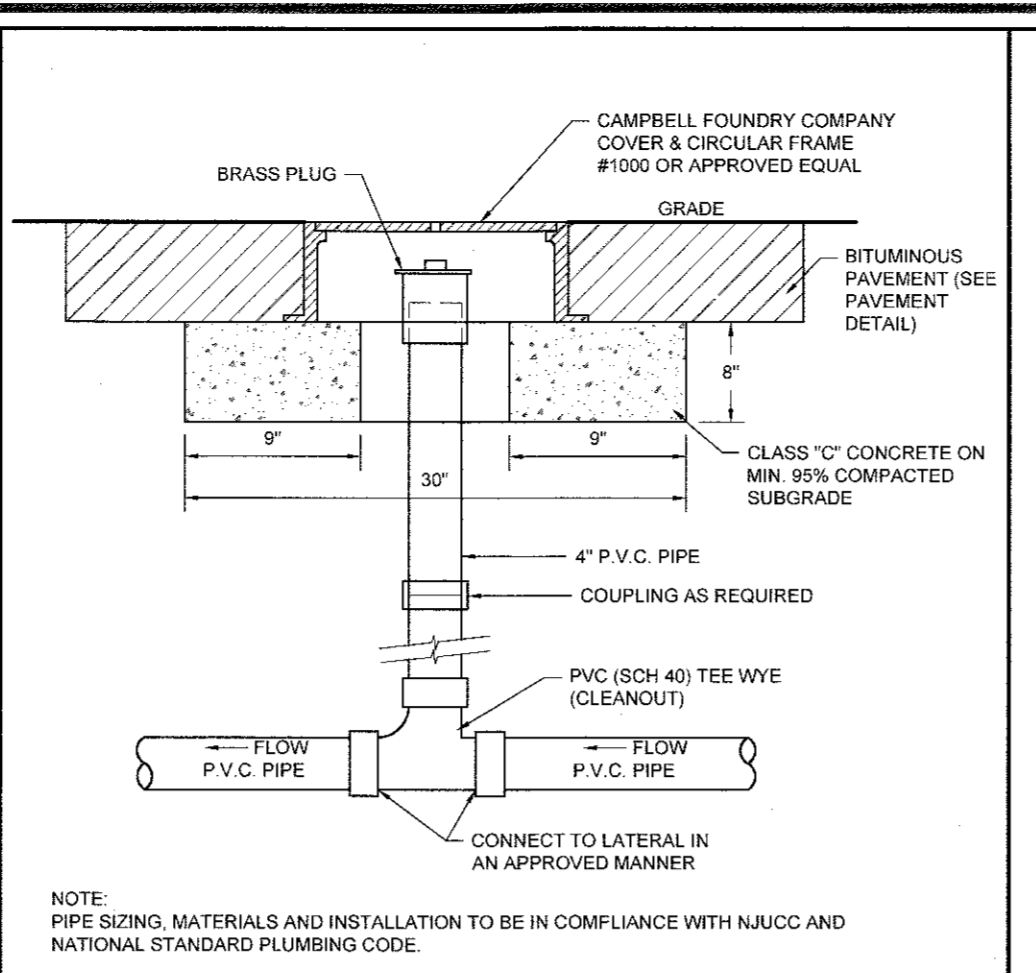
10 STORM TRENCH & PAVEMENT RESTORATION DETAIL
NOT TO SCALE (G029907-01/2013)



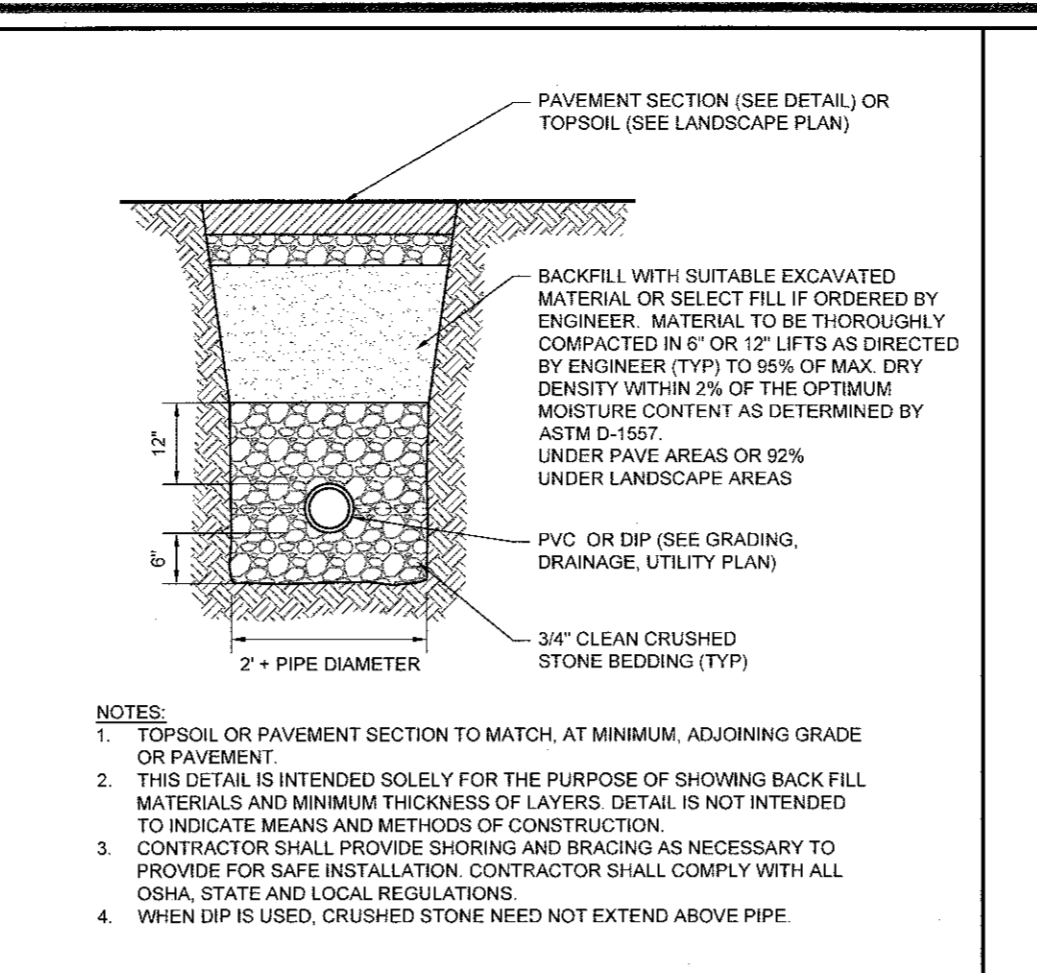
11 CURB AND WALK AT BUILDING DETAIL
NOT TO SCALE (S090104-01/2013)



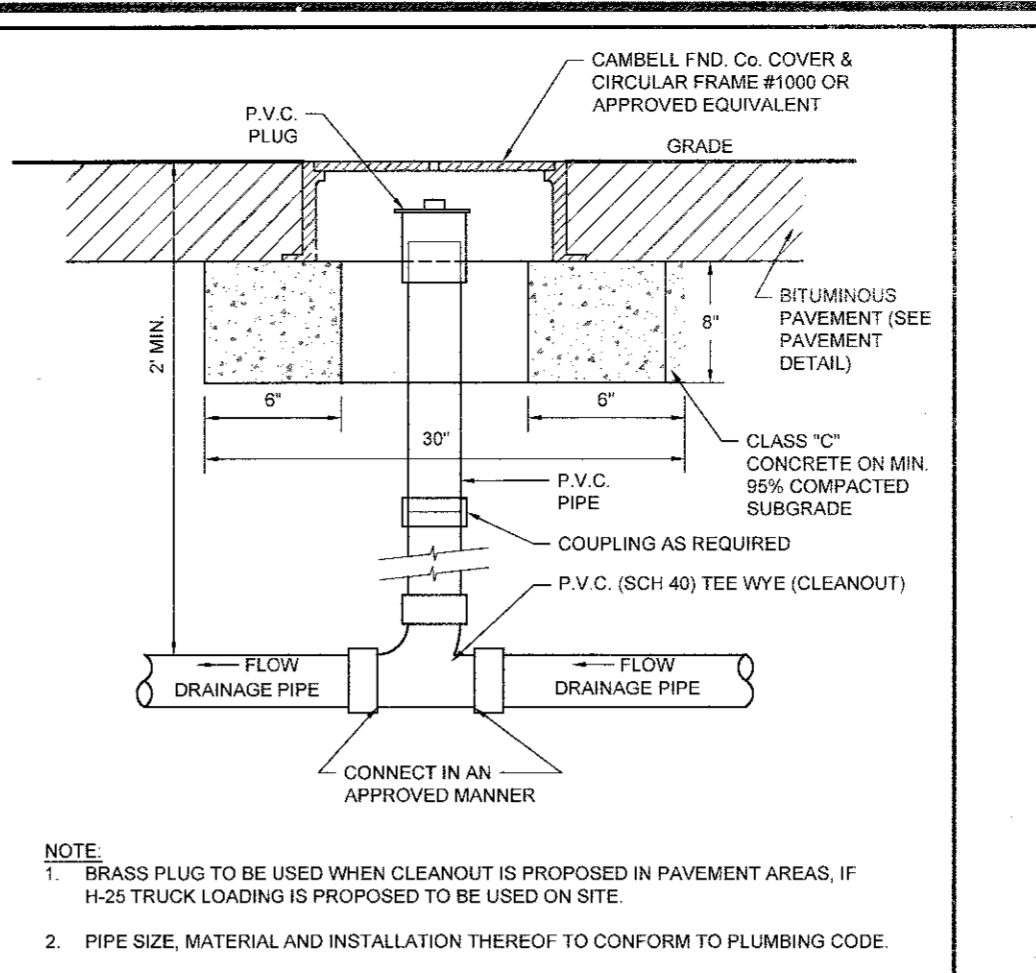
1 STANDARD CONNECTION DETAIL
NOT TO SCALE (U03904-01/2013)



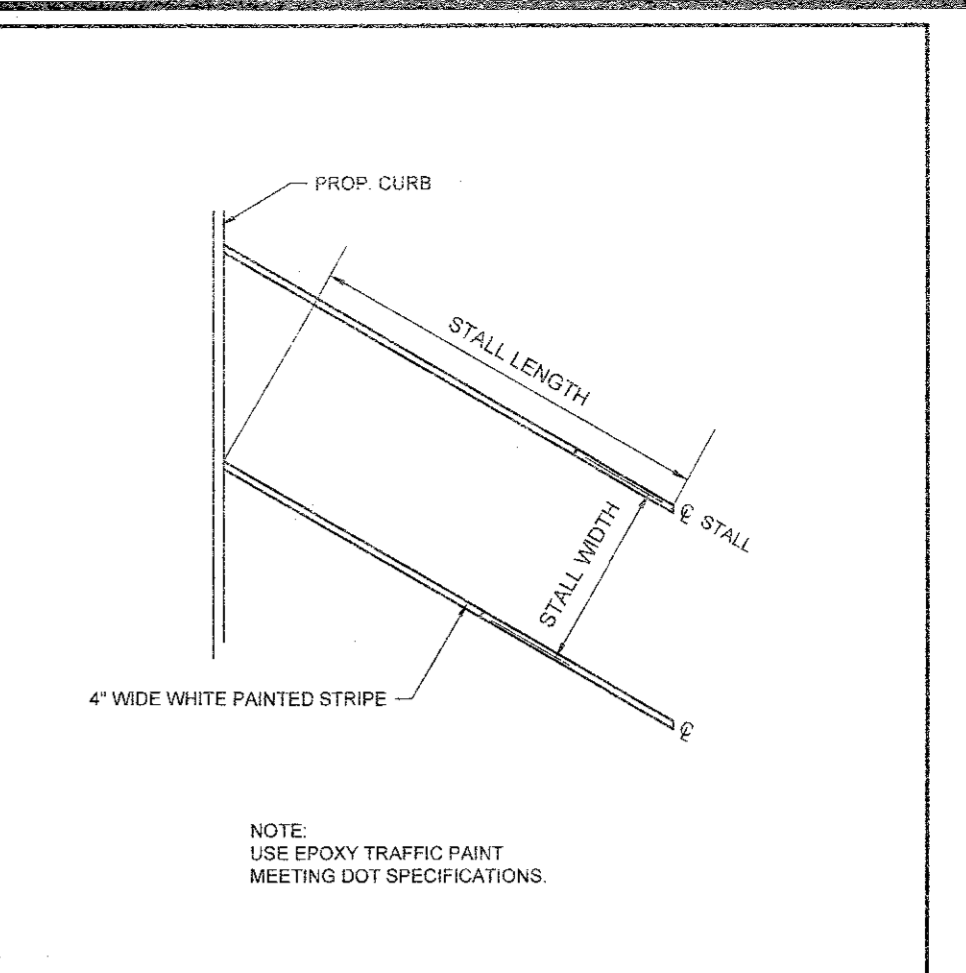
2 SEWER CLEANOUT WITHIN PAVED AREAS DETAIL
NOT TO SCALE (U030101-01/2013)



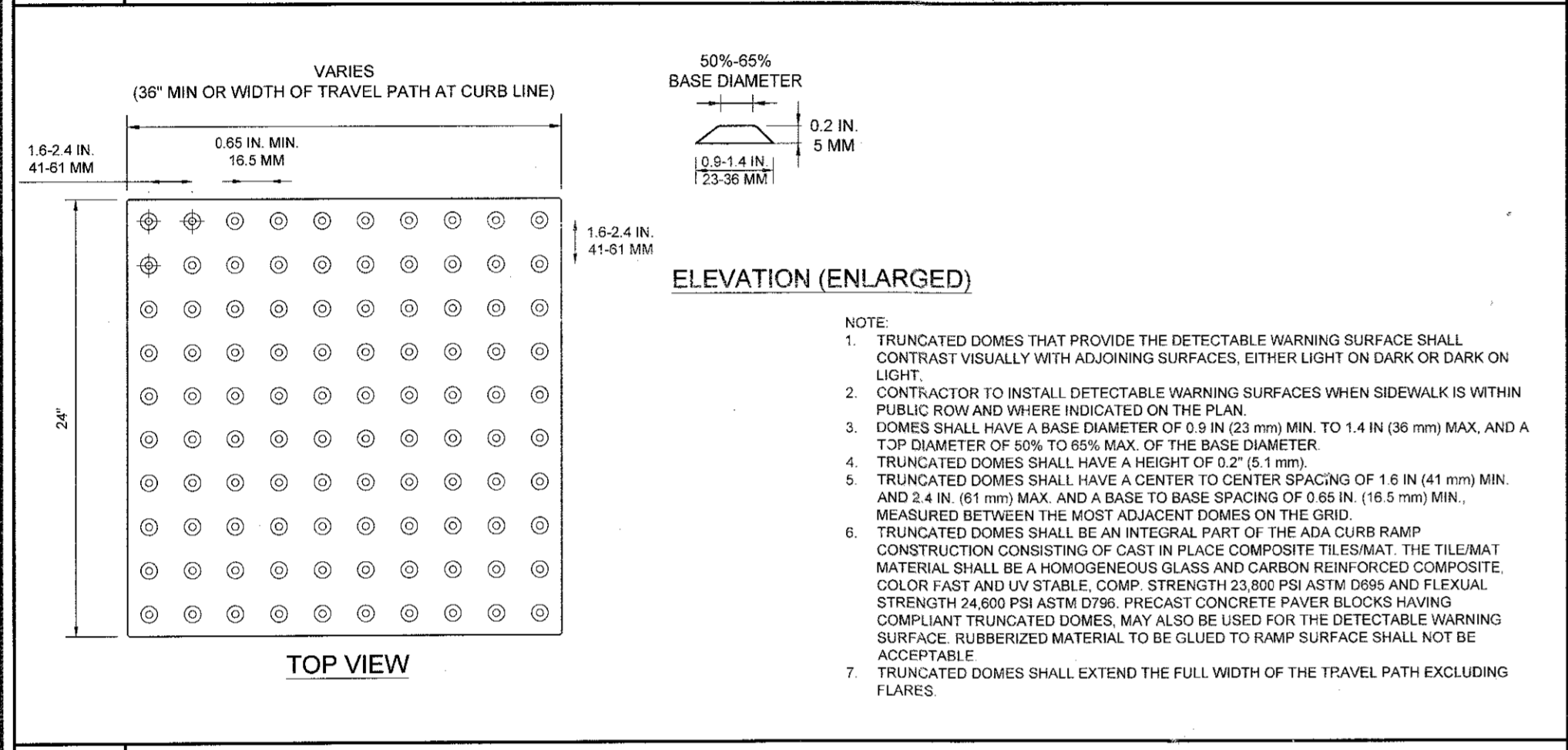
3 SANITARY TRENCH DETAIL
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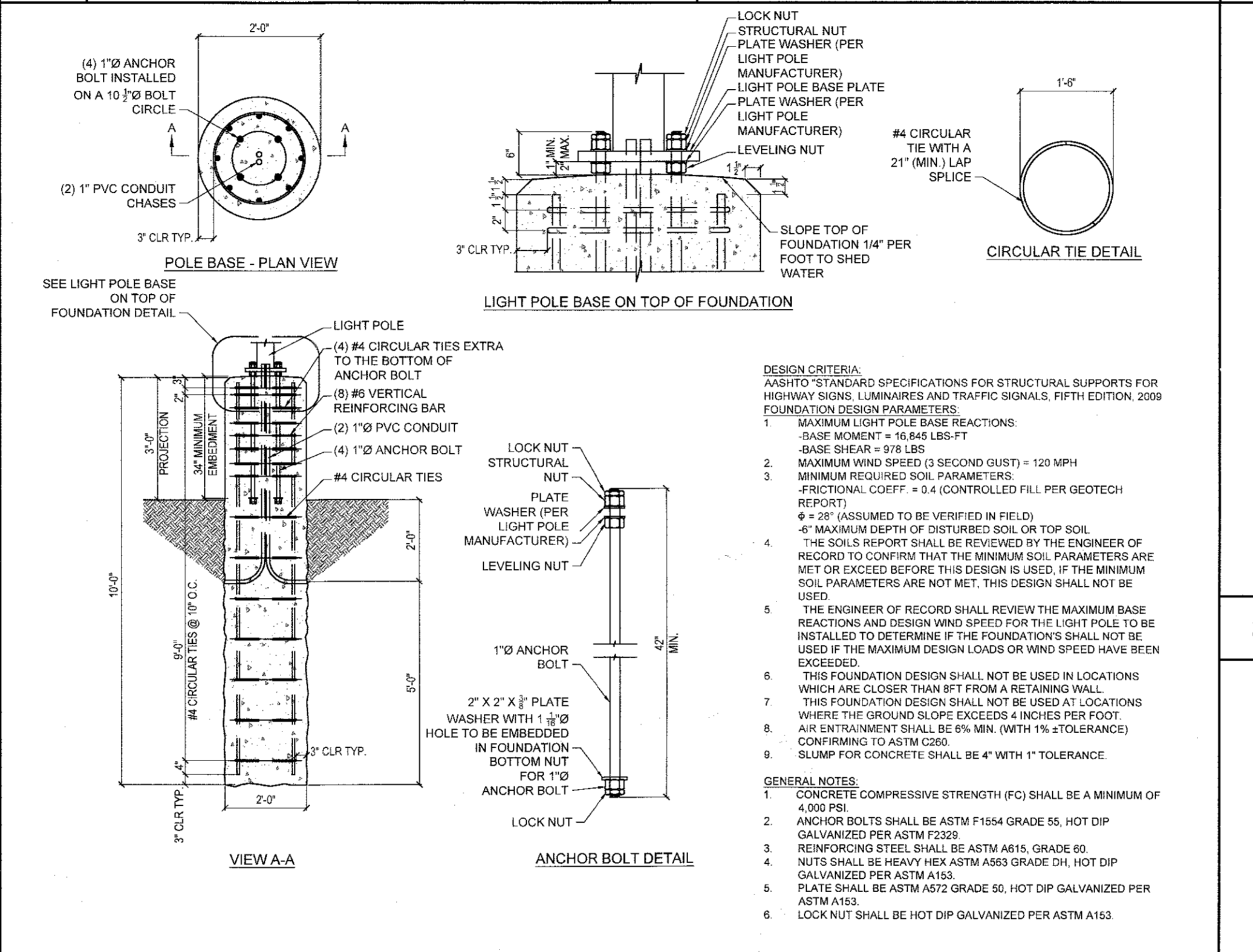
4 ROOF DRAIN CLEANOUT IMPERVIOUS SURFACES DETAIL
NOT TO SCALE (G02017-01/2013)



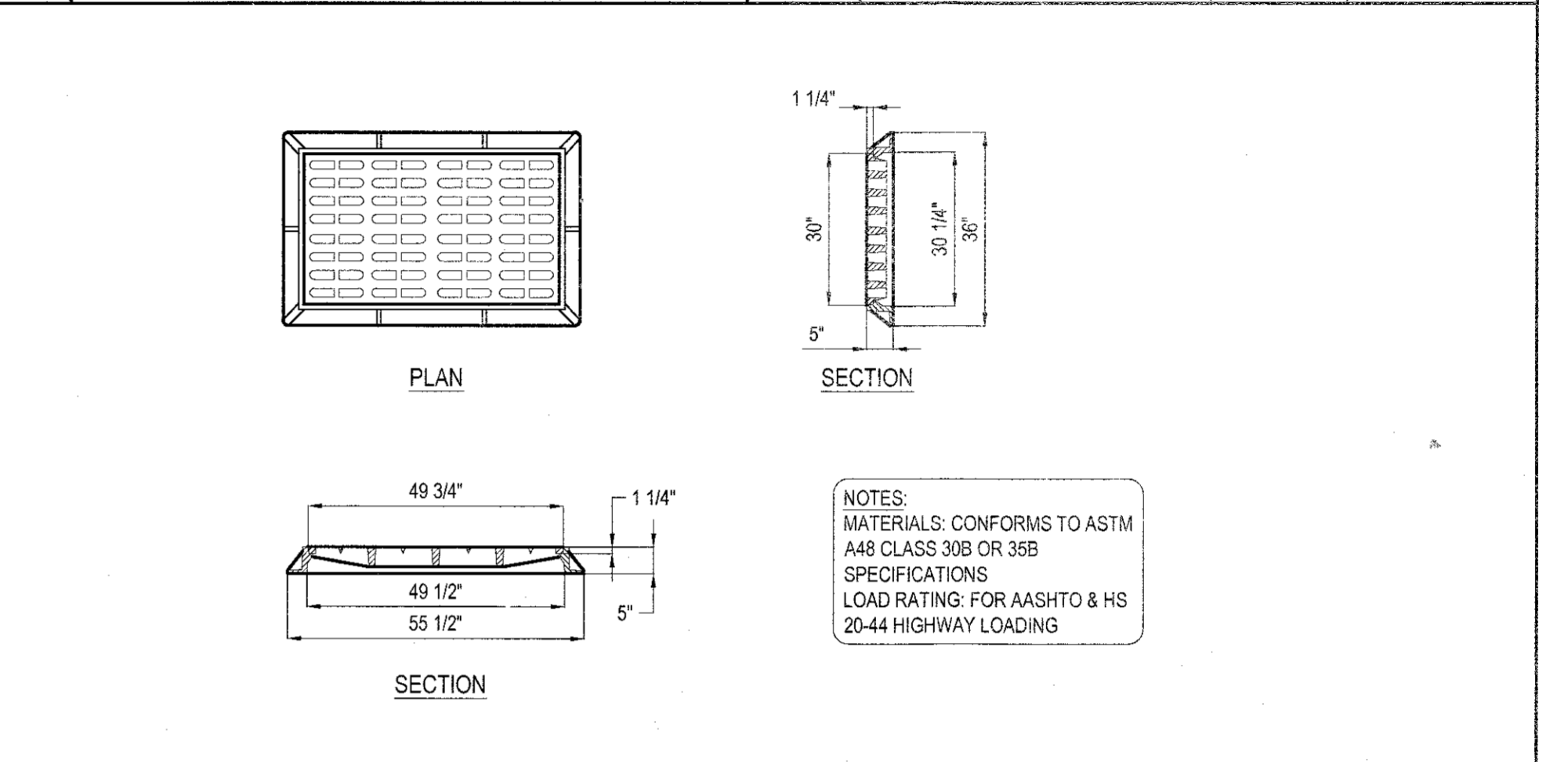
5 60° ANGLED STRIPING DETAIL
NOT TO SCALE (S080503-01/2013)



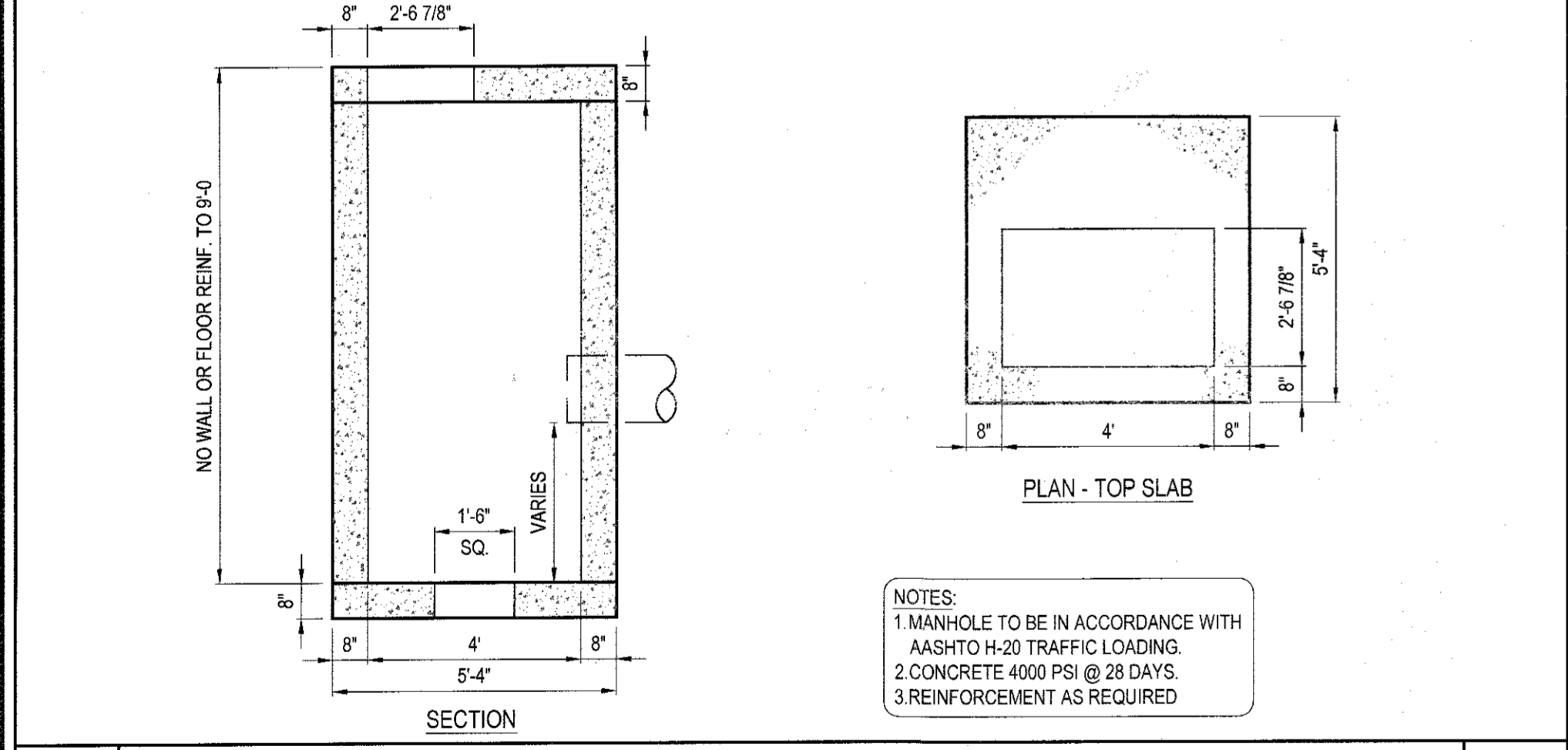
6 TRUNCATED DOME PATTERN DETAIL
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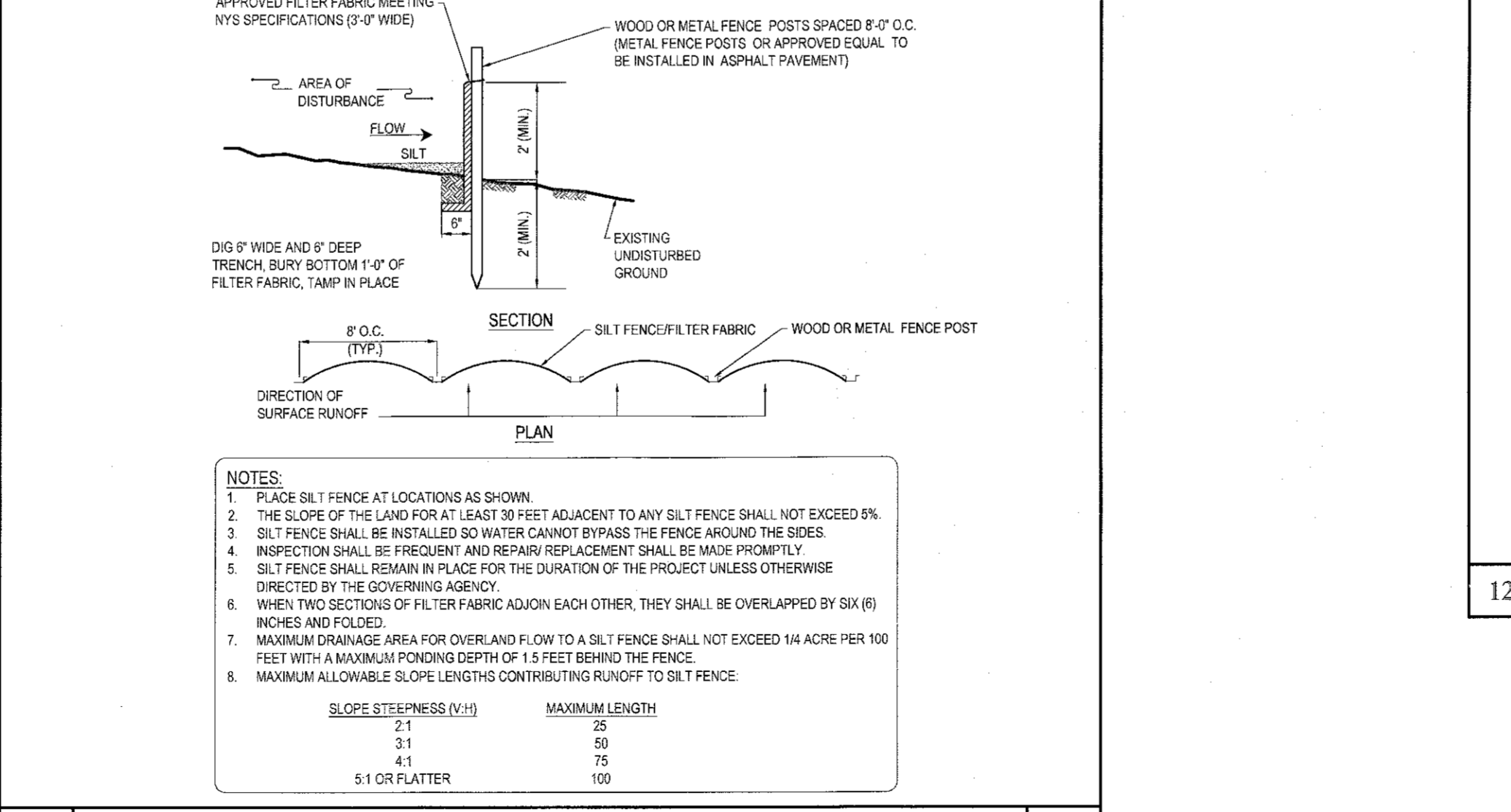
7 LIGHT POLE FOUNDATION DETAIL
NOT TO SCALE (SOURCE: MCDONALD'S)



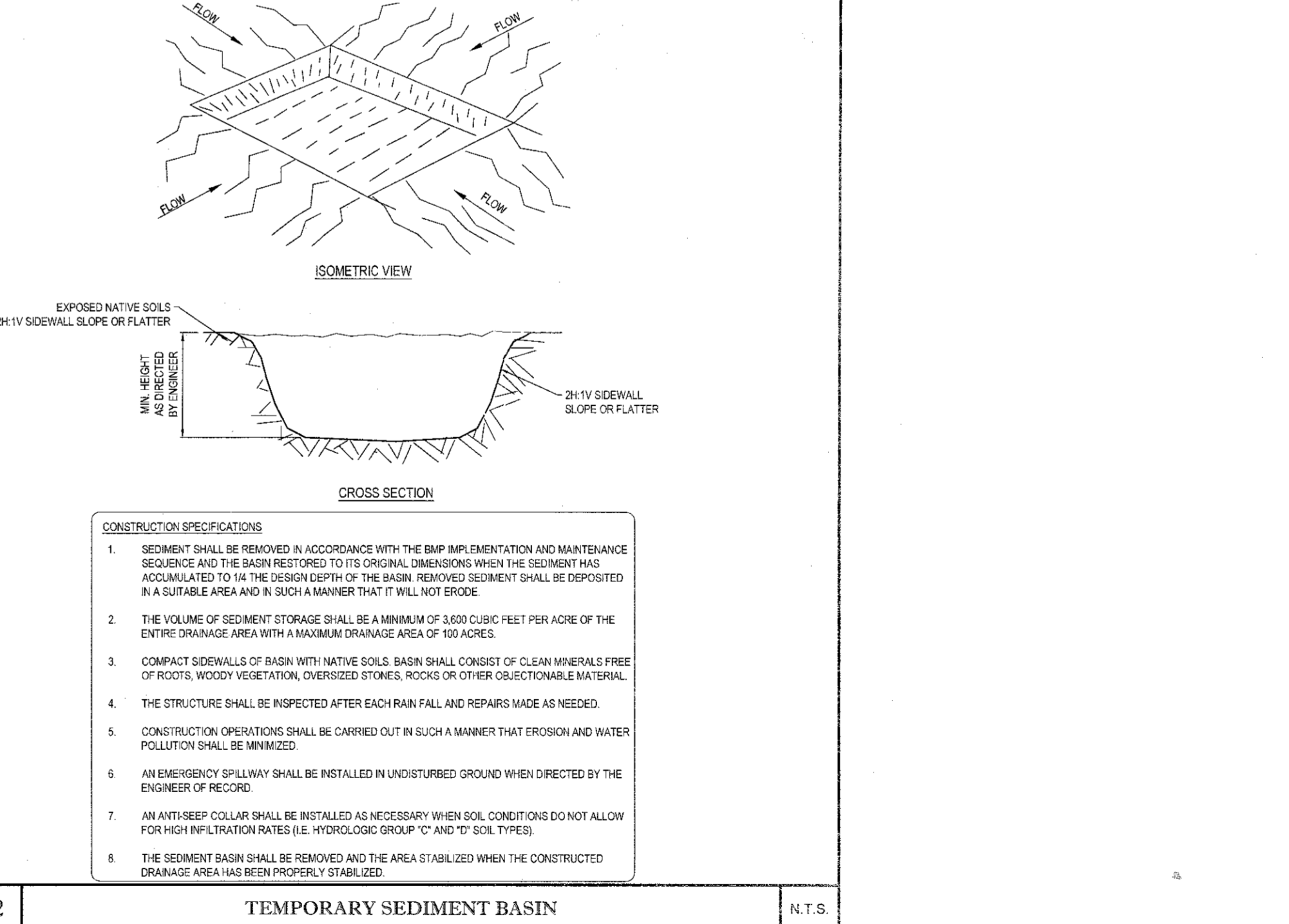
8 30" X 49" H.D. FLAT FRAME AND GRATE
N.T.S.



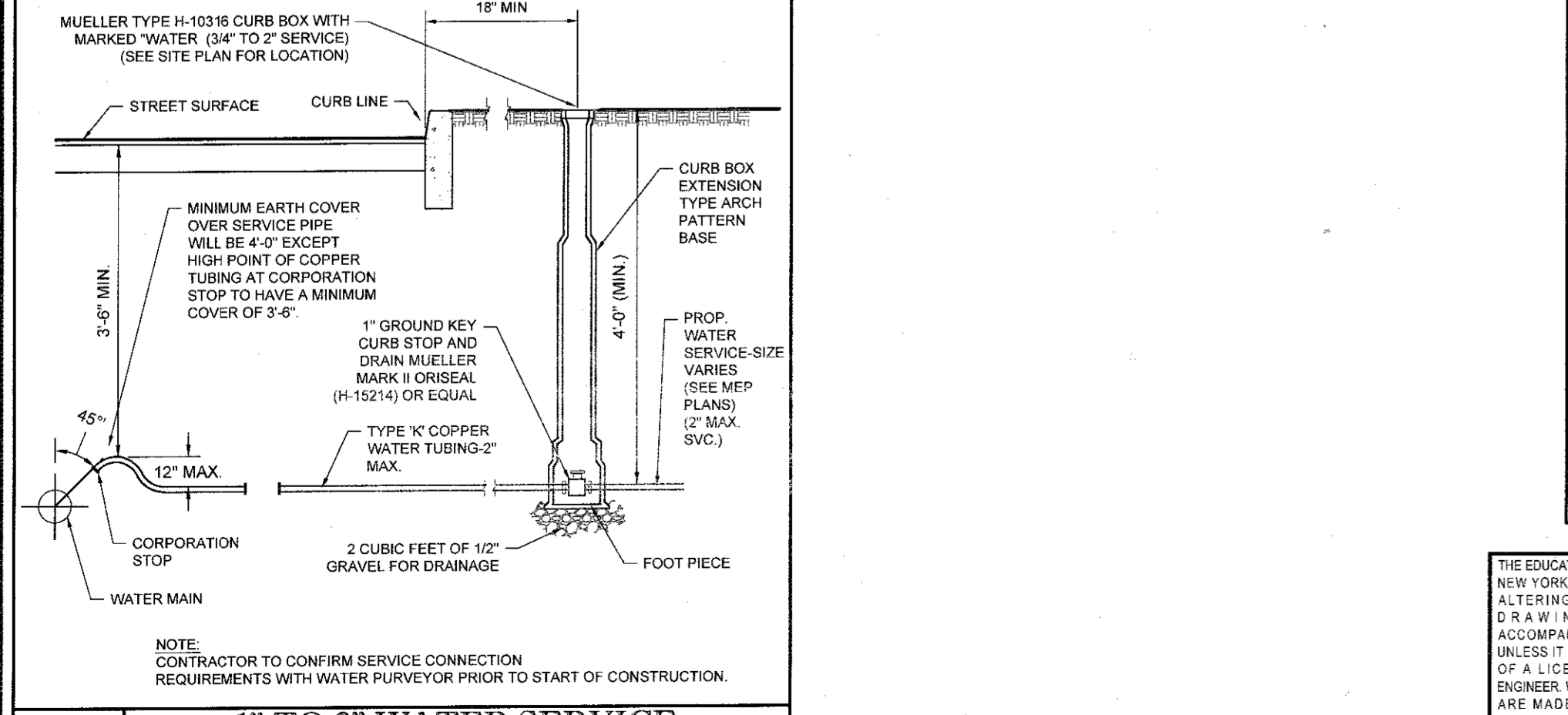
9 STANDARD CATCH BASIN WITH RECTANGULAR OPENING
N.T.S.



11 SILT FENCE
N.T.S.



12 TEMPORARY SEDIMENT BASIN
N.T.S.



10 1" TO 2" WATER SERVICE CONNECTION DETAIL
NOT TO SCALE (U04902-01/2013)

McDonald's

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NEW YORK REGION
111 WOOD AVENUE SOUTH, SUITE 400
ISELIN, NJ 08830 (732) 923-8500

DATE	BY	DESCRIPTION	ISSUE REF.

DATE	BY	DESCRIPTION

DATE	BY	DESCRIPTION

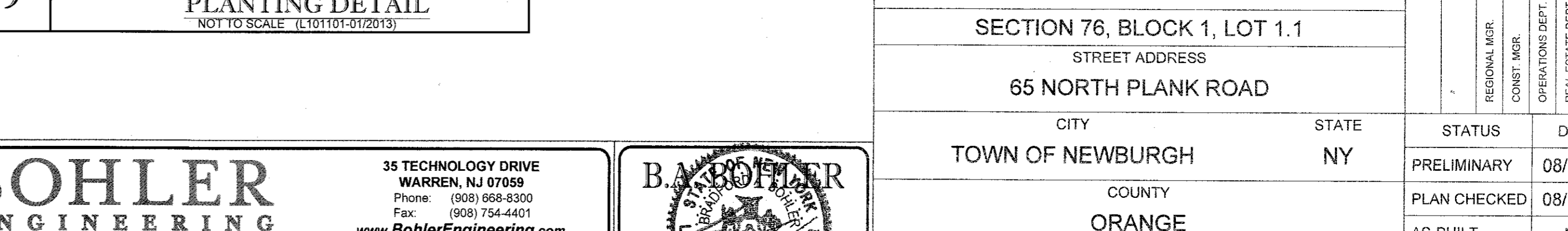
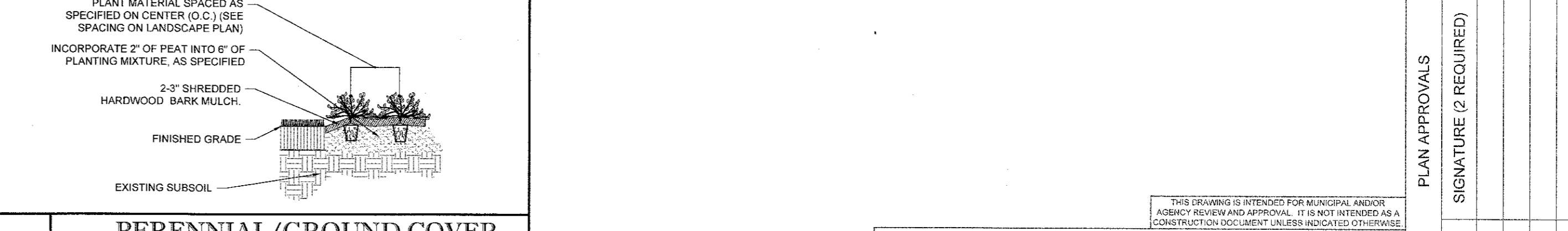
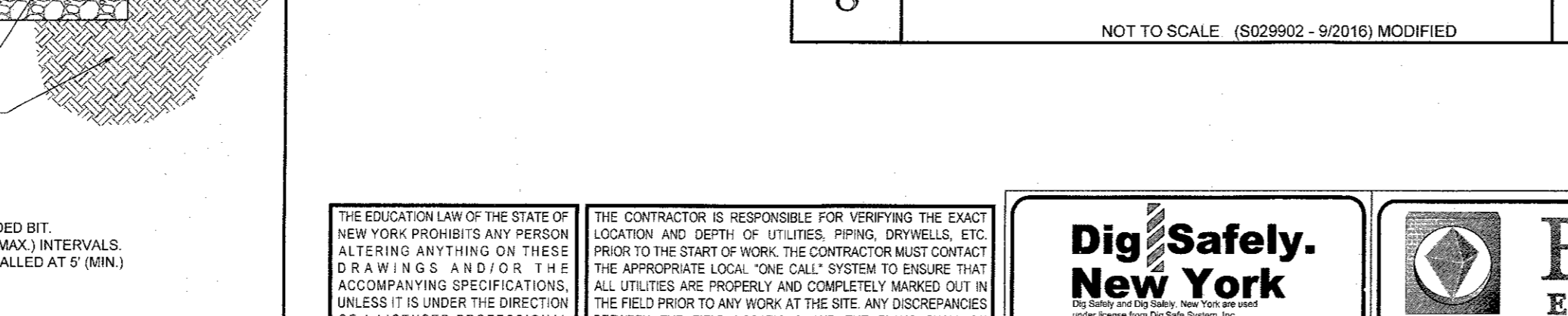
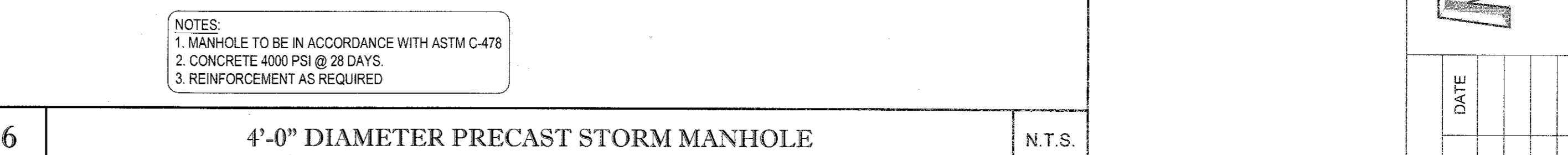
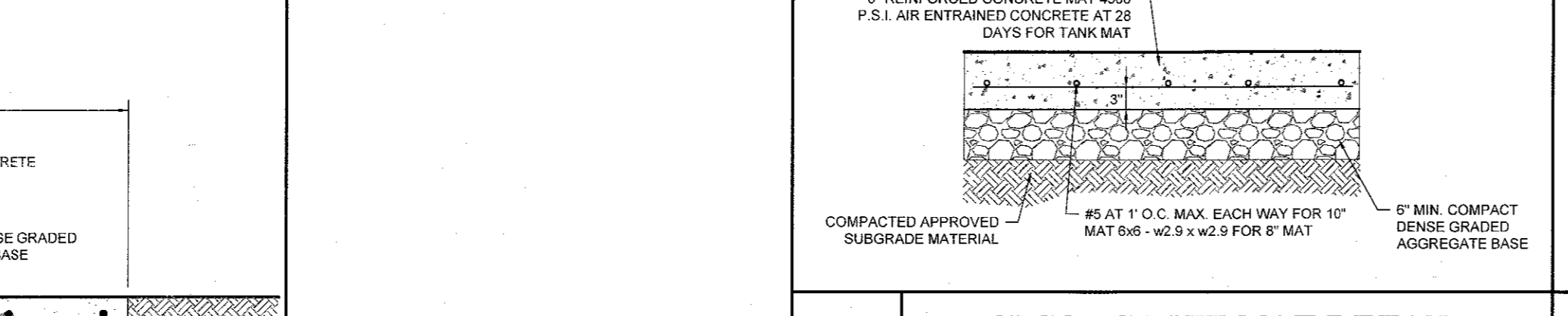
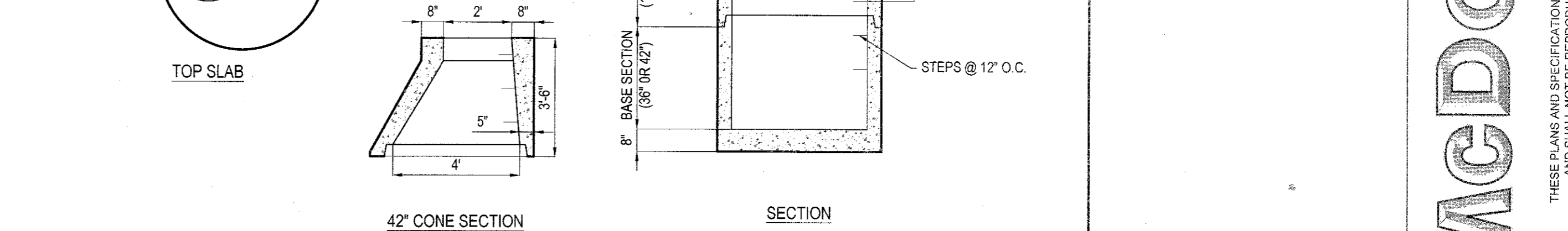
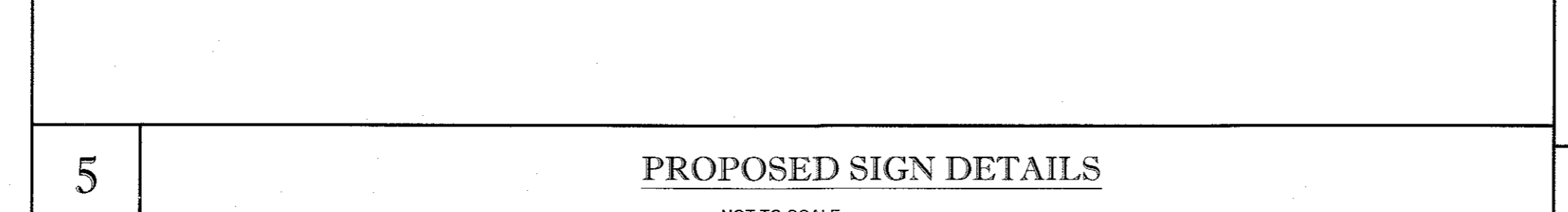
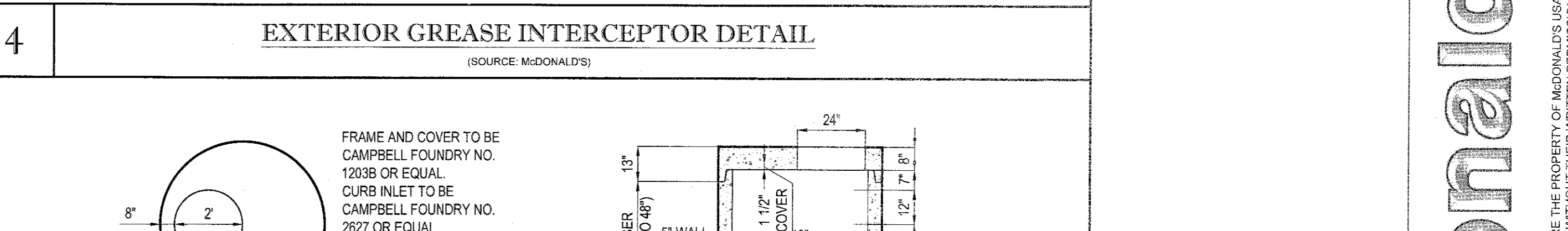
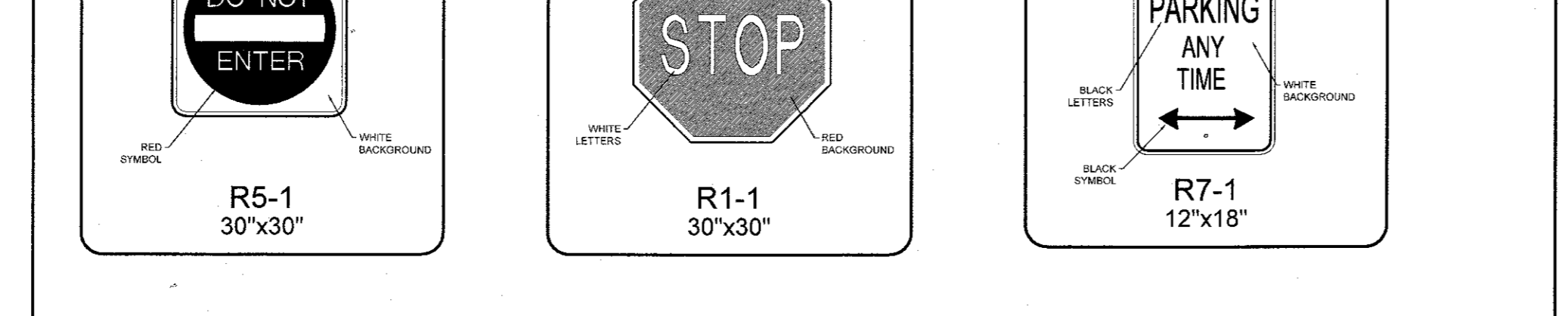
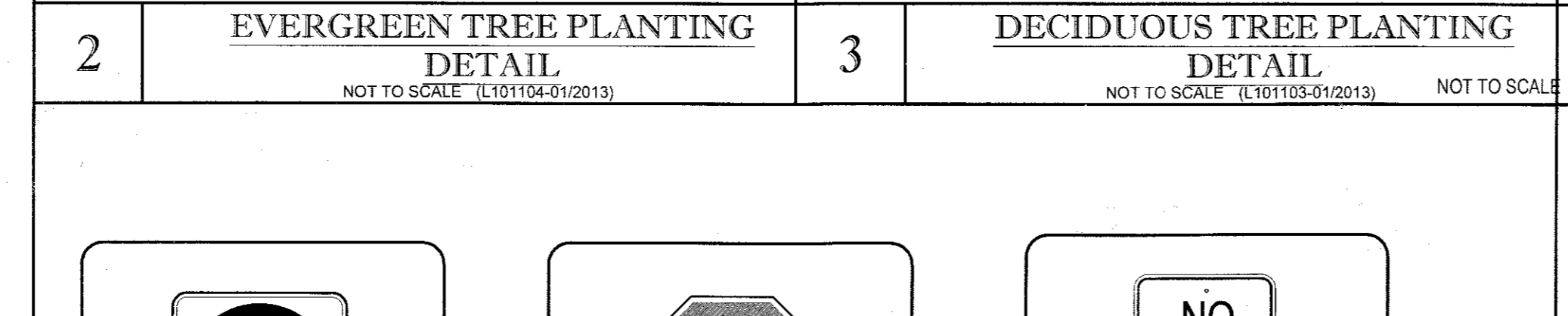
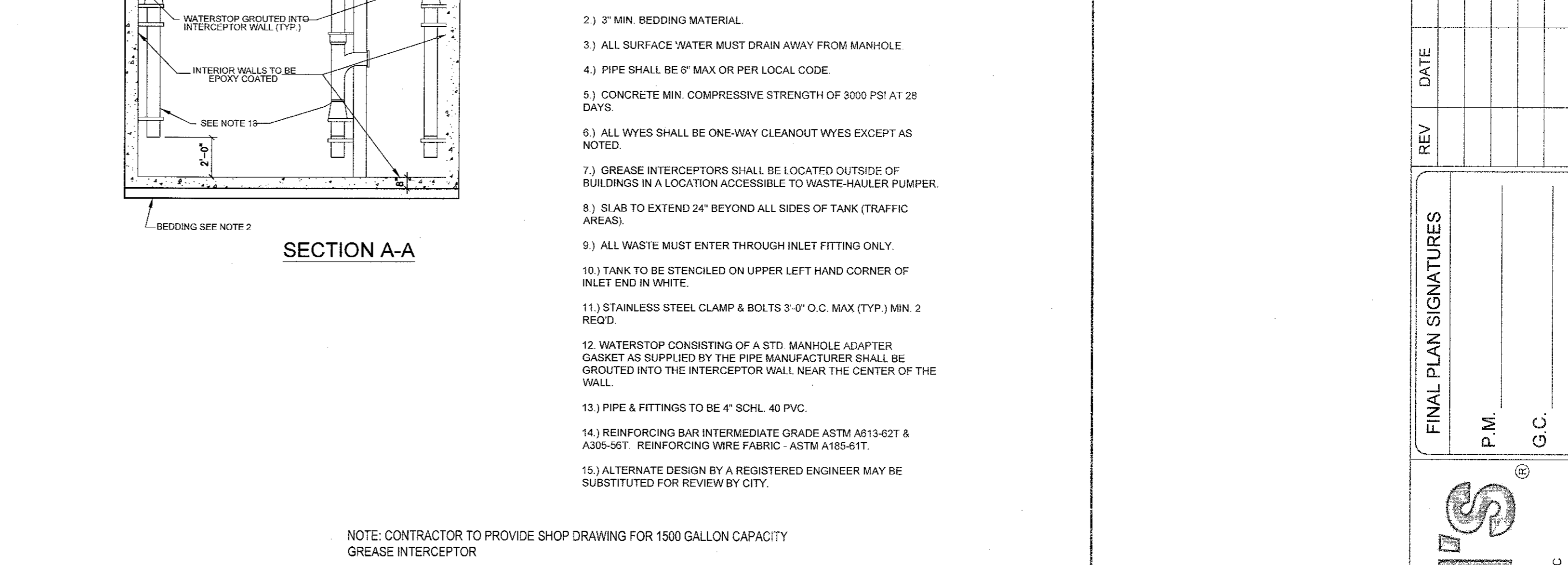
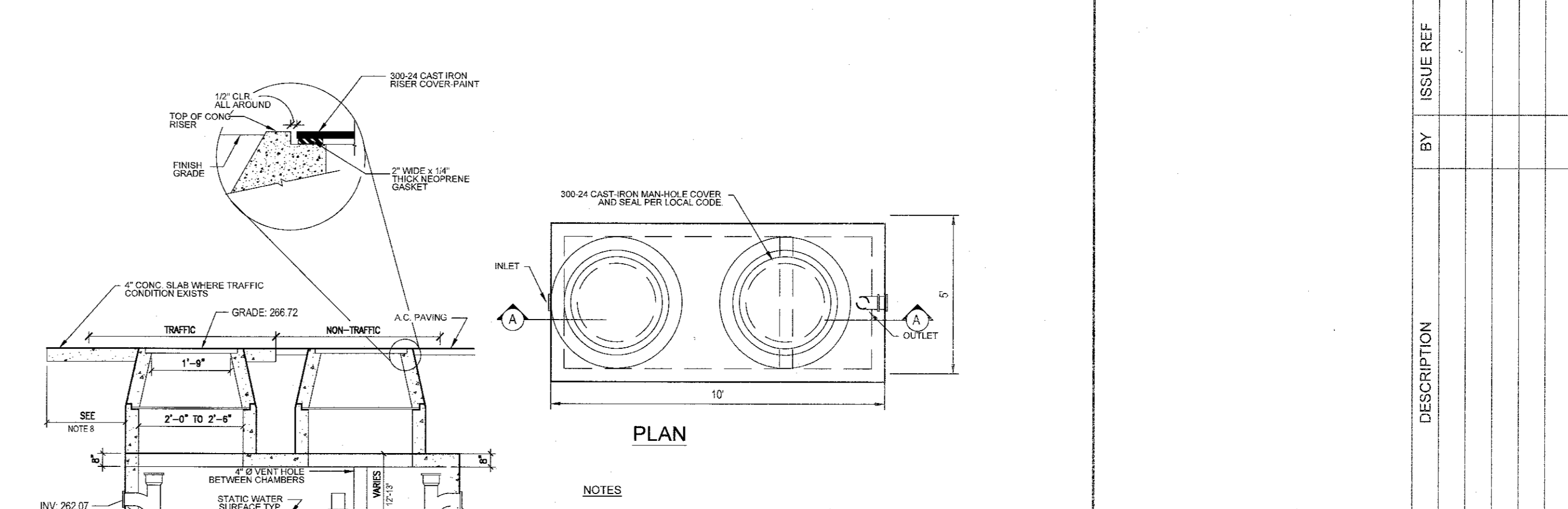
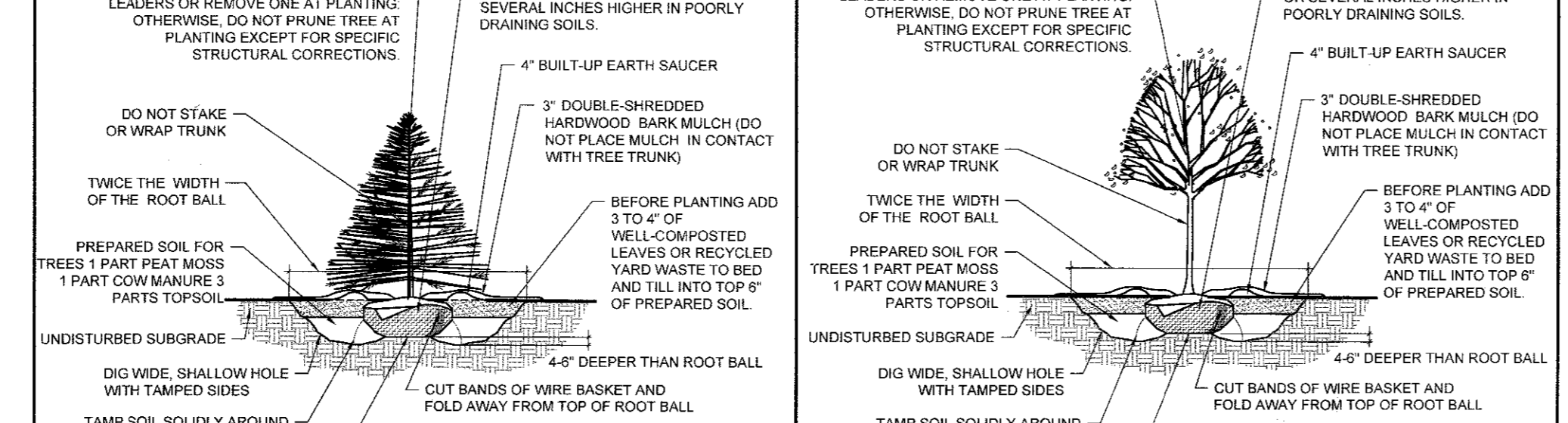
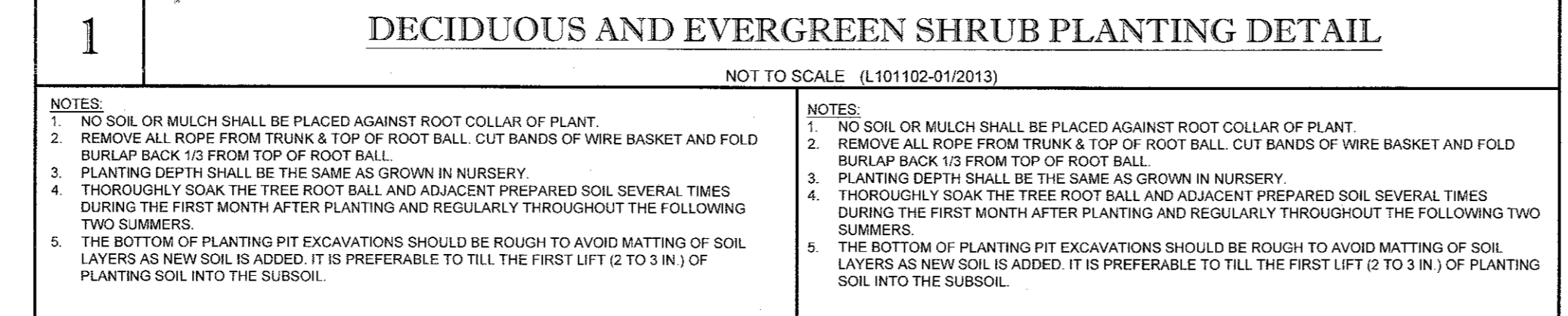
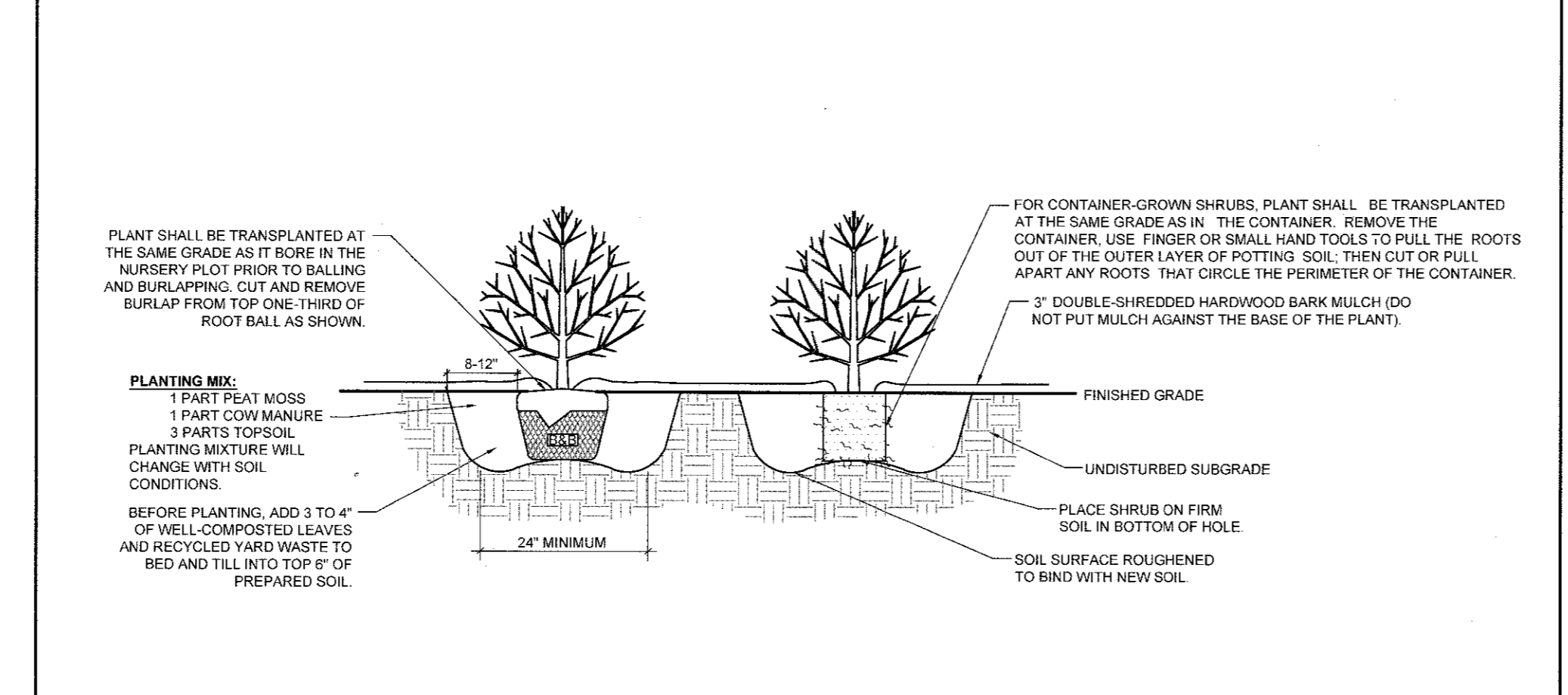
PROPOSED SITE IMPROVEMENTS
SECTION 76, BLOCK 1, LOT 1.1
STREET ADDRESS
65 NORTH PLANK ROAD
CITY TOWN OF NEWBURGH STATE NY
COUNTY ORANGE

STATUS DATE BY
PRELIMINARY 08/15/17 KF
PLAN CHECKED 08/15/17 LM
AS-BUILT N/A N/A

REGIONAL DWG NO 031-0145
PLAN DESCRIPTION DETAIL SHEET
C-14
OF 15

LANDSCAPE SPECIFICATIONS:

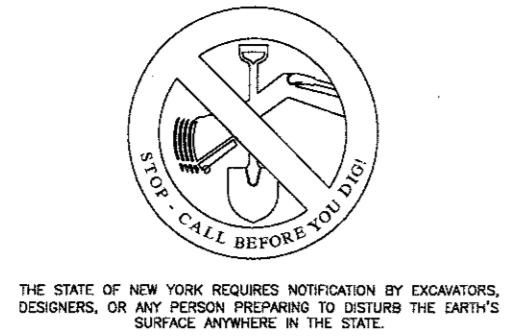
- 1. SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOILING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT... 2. MATERIALS: ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE MOST CURRENT VERSION OF THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS... 3. TOPSOIL: NATURAL, FRAGILE, LOAMY SILT SOIL... 4. LAWN: ALL DISTURBED AREAS ARE TO BE COVERED WITH A MINIMUM 4" THICK LAYER OF TOPSOIL... 5. MULCH: ALL PLANTING BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH... 6. FERTILIZER: FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS... 7. PLANT MATERIAL: ALL PLANTS SHALL BE DELIVERED TO THE SITE... 8. GENERAL WORK PROCEDURES: THE CONTRACTOR SHALL UTILIZE WORKMANSHIP STANDARDS IN PERFORMING ALL LANDSCAPE WORK... 9. TREE PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES... 10. SOIL MODIFICATIONS: THE CONTRACTOR SHALL OBTAIN A SOIL TEST FOR ALL AREAS OF THE SITE... 11. FINISHED GRADING: UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL... 12. TOPSOILING: THE CONTRACTOR SHALL PROVIDE A 4" THICK MINIMUM LAYER OF TOPSOIL... 13. PLANTING: THE CONTRACTOR SHALL PROVIDE ALL PLANTING MATERIALS... 14. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON...



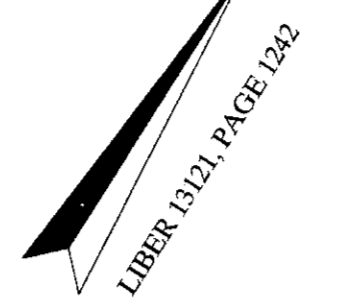
UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY THE DIG SAFELY NEW YORK (1-800-962-7962) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 10071-074-048-00

UTILITY COMPANY	PHONE NUMBER
CENTRAL HUDSON GAS AND ELECTRIC SOUTH	845-208-6046
TOWN OF NEWBURGH HIGHWAY	845-564-7813
VERIZON / HUDSON VALLEY	315-448-2506



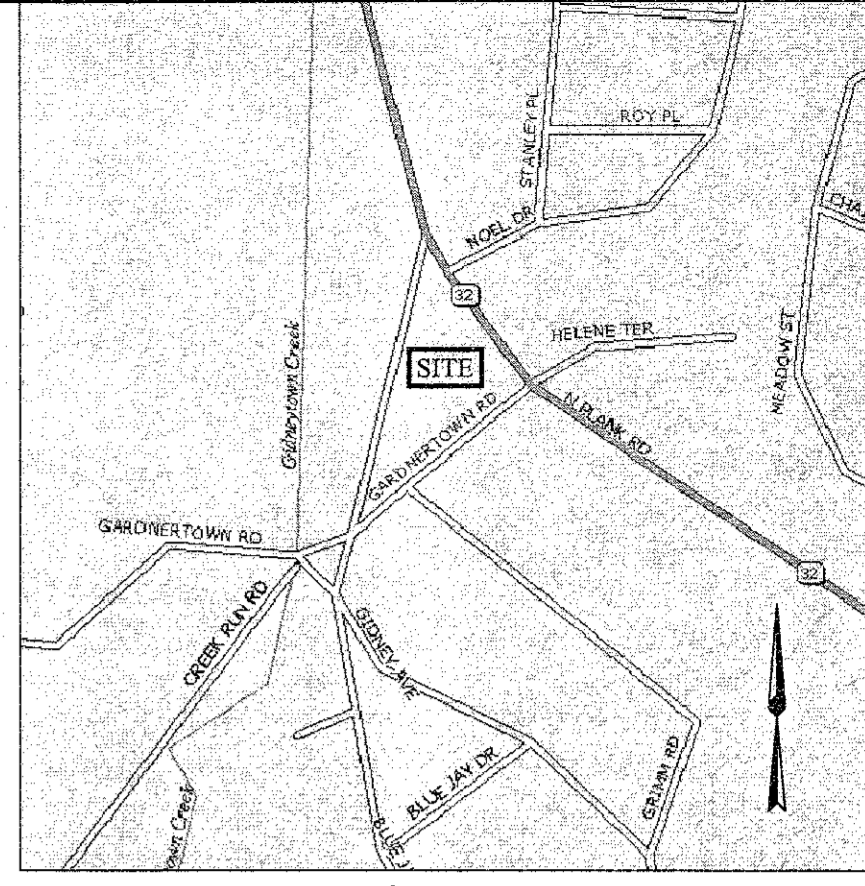
THE STATE OF NEW YORK requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the state.



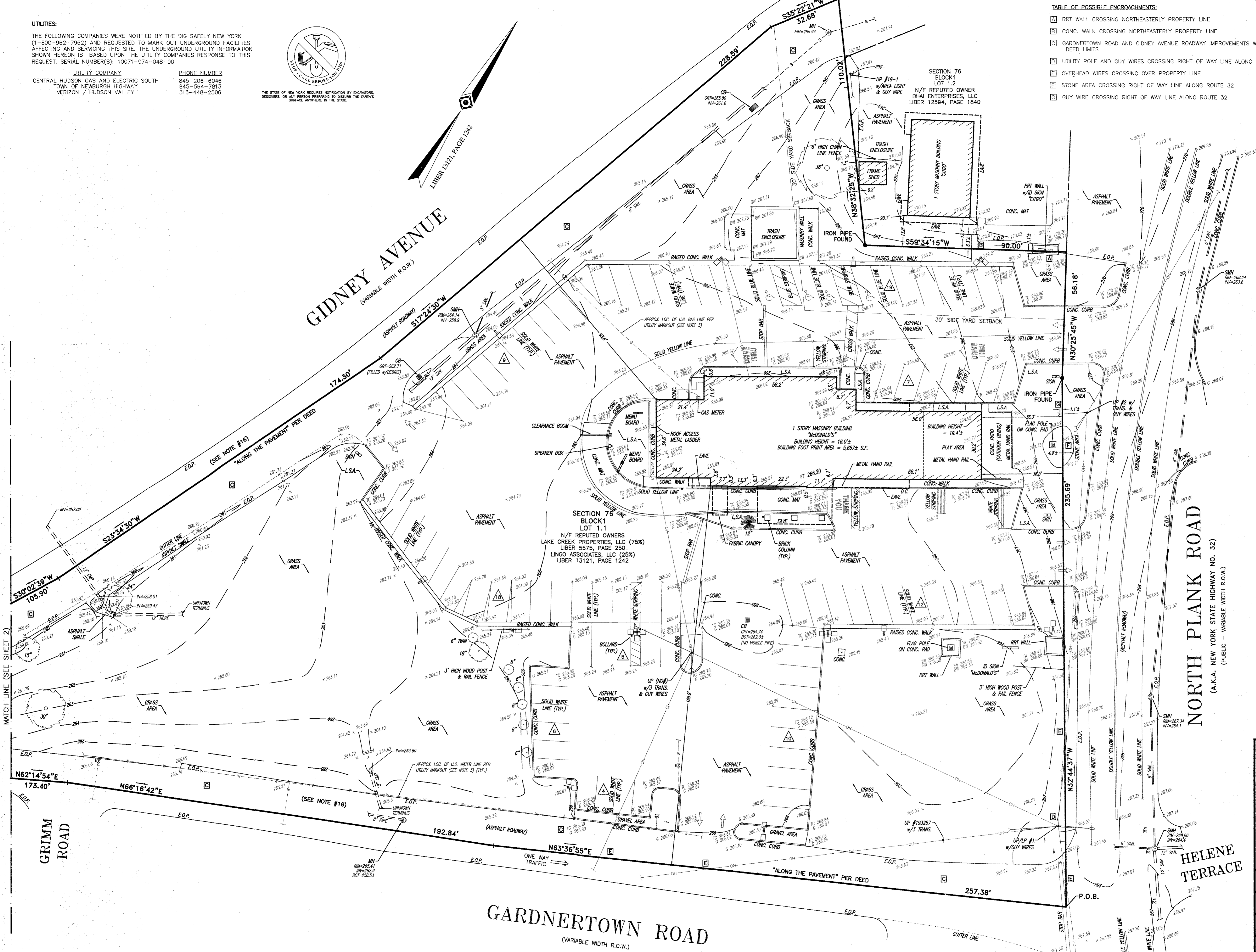
GIDNEY AVENUE
(VARIABLE WIDTH R.O.W.)

TABLE OF POSSIBLE ENCROACHMENTS:

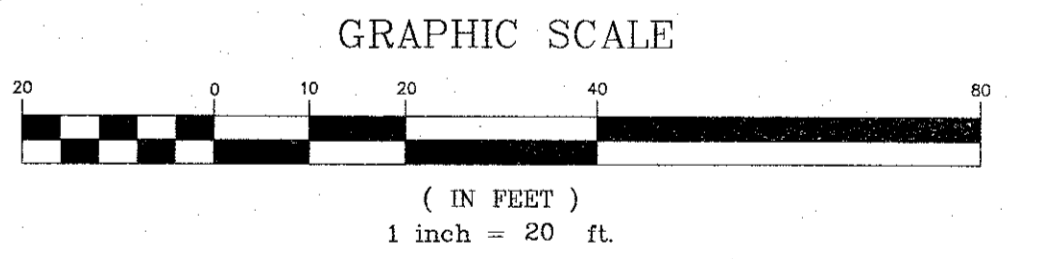
- RRT WALL CROSSING NORTHEASTERLY PROPERTY LINE
- CONC. WALK CROSSING NORTHEASTERLY PROPERTY LINE
- GARDNERTOWN ROAD AND GIDNEY AVENUE ROADWAY IMPROVEMENTS WITHIN DEED LIMITS
- UTILITY POLE AND GUY WIRES CROSSING RIGHT OF WAY LINE ALONG ROUTE 32
- OVERHEAD WIRES CROSSING OVER PROPERTY LINE
- STONE AREA CROSSING RIGHT OF WAY LINE ALONG ROUTE 32
- GUY WIRE CROSSING RIGHT OF WAY LINE ALONG ROUTE 32



VICINITY MAP
©2008 DeLorme, Street Atlas USA



SEE SHEET 2 FOR NOTES, REFERENCES, DESCRIPTIONS AND ZONING TABLE



TO: McDonald's CORPORATION, A DELAWARE CORPORATION; McDonald's REAL ESTATE COMPANY, A DELAWARE CORPORATION; McDonald's USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(b), 7(c), 7(d)(1), 7(c), 8, 9, 11(b), 13, 14 & 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 1, 2012.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH A BLUE INK SEAL.

James C. Weed
JAMES C. WEED
 NEW YORK PROFESSIONAL LAND SURVEYOR #50765

FIELD DATE: 10-20-11
 FIELD BOOK NO.: 11-21
 FIELD BOOK PG.: 78

ALTA/ACSM LAND TITLE SURVEY
McDonald's USA, LLC
 187 NORTH PLANK ROAD
 LOT 1.1, BLOCK 1, SECTION 76
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

FIELD CREW: T.M./B.A.
 DRAWN: J.P.
 REVISIONS: 3

CONTROL POINT ASSOCIATES, INC.
 35 TECHNOLOGY DRIVE
 WARREN, NJ 07059
 908.668.0099 - 908.668.9595 FAX

CHALFONT, PA 215.712.9800
 SOUTHBOROUGH, MA 508.948.3000

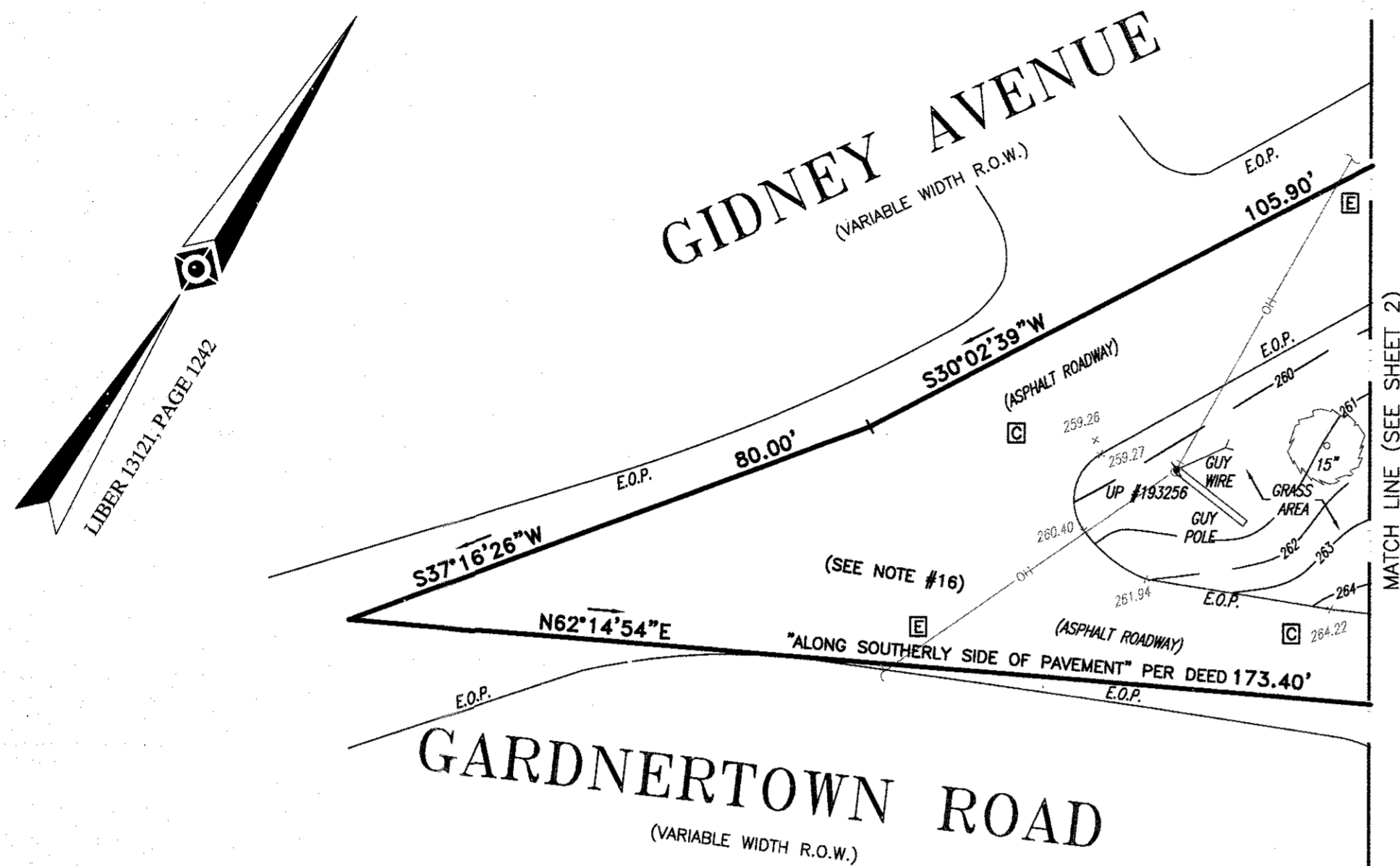
FILE NO.: C11443
 DWG. NO.: 1 OF 2

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAP OR PLAN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

No.	REVISION	DATE	BY	APPROVED
3	REVISE SIGNATURE	10-2-13	J.P.	J.C.W.
2	REVISE TO SHOW TREES	3-8-12	J.P.	J.D.B.
1	REVISE WITH RECEIPT OF TITLE	2-28-12	J.P.	J.D.B.



SCHEDULE "A" LEGAL DESCRIPTION
 ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, BOUNDED AND DESCRIBED MORE PARTICULARLY AS FOLLOWS:

BEGINNING AT A POINT MARKED BY AN IRON ROD AT THE INTERSECTION OF THE WESTERLY LINE OF ROUTE #32 AND THE APPROXIMATE CENTER OF THE PAVEMENT TO GARDNERTOWN ROAD;
 THENCE NORTH 32° 44' 37" WEST 235.69 FEET ALONG THE WESTERLY LINE OF ROUTE #32 AND ALONG THE REMAINS OF A STONE WALL, TO AN ANGLE POINT MARKED BY AN IRON PIPE;
 THENCE NORTH 30° 25' 45" WEST 56.18 FEET ALONG THE WESTERLY LINE OF ROUTE #32 AND ALONG THE REMAINS OF A STONE WALL TO A POINT MARKED BY AN IRON PIPE, AT LEASED LANDS OF THE AMERICAN OIL CO.;
 THENCE SOUTH 59° 34' 15" WEST 90.00 FEET ALONG SAID LANDS OF THE AMERICAN OIL CO., TO A POINT MARKED BY AN IRON PIPE;
 THENCE NORTH 38° 32' 25" WEST 110.02 FEET ALONG SAID LANDS OF THE AMERICAN OIL CO., TO A POINT MARKED BY AN IRON ROD, IN THE NORTHERLY SIDE OF THE PAVEMENT IN GIDNEY AVENUE;
 THENCE THE FOLLOWING FIVE COURSES AND DISTANCES ALONG THE PAVEMENT IN GIDNEY AVENUE:
 1) SOUTH 35° 22' 21" WEST 32.68 FEET TO A POINT MARKED BY AN IRON ROD; THENCE
 2) SOUTH 17° 24' 30" WEST 228.59 FEET TO A POINT MARKED BY AN IRON ROD; THENCE
 3) SOUTH 23° 34' 30" WEST 174.30 FEET TO A POINT MARKED BY AN IRON ROD; THENCE
 4) SOUTH 30° 02' 39" WEST 105.90 FEET TO A POINT MARKED BY AN IRON PIPE; THENCE
 5) SOUTH 37° 16' 26" WEST 80.00 FEET TO A POINT MARKED BY AN IRON ROD, AT THE INTERSECTION OF GARDNERTOWN ROAD;
 THENCE NORTH 62° 14' 54" EAST 173.40 FEET ALONG THE SOUTHERLY SIDE OF THE PAVEMENT IN GARDNERTOWN ROAD TO A POINT MARKED BY AN IRON ROD;
 THENCE NORTH 66° 16' 42" EAST 192.84 FEET ALONG THE PAVEMENT IN GARDNERTOWN ROAD TO A POINT MARKED BY AN IRON ROD;
 THENCE NORTH 63° 36' 55" EAST 257.38 FEET ALONG THE PAVEMENT IN GARDNERTOWN ROAD TO THE POINT OR PLACE OF BEGINNING.

SURVEY METES AND BOUNDS DESCRIPTION
 LOT 1.1, BLOCK 1, SECTION 76
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

BEGINNING AT A POINT WHERE THE WESTERLY LINE OF NORTH PLANK ROAD (A.K.A. NEW YORK STATE HIGHWAY #32, PUBLIC, VARIABLE WIDTH RIGHT OF WAY) IS INTERSECTED BY A LINE THROUGH GARDNER TOWN ROAD (VARIABLE WIDTH RIGHT OF WAY), AND FROM SAID POINT OF BEGINNING RUNNING THENCE:
 1. ALONG SAID WESTERLY LINE, NORTH 32 DEGREES - 44 MINUTES - 37 SECONDS WEST, A DISTANCE OF 235.69 FEET TO AN IRON PIPE FOUND, THENCE;
 2. CONTINUING ALONG SAME, NORTH 30 DEGREES - 25 MINUTES - 45 SECONDS WEST, A DISTANCE OF 56.18 FEET TO A POINT, THENCE;
 3. ALONG THE DIVIDING LINE BETWEEN LOT 1.1 AND LOT 1.2 (N/F REPUTED OWNER BHAI ENTERPRISES, LLC), BLOCK 1, SOUTH 59 DEGREES - 34 MINUTES - 15 SECONDS WEST, A DISTANCE OF 90.00 FEET TO AN IRON PIPE FOUND, THENCE;
 4. CONTINUING ALONG SAME AND ALONG A LINE THROUGH GIDNEY AVENUE (VARIABLE WIDTH RIGHT OF WAY), NORTH 38 DEGREES - 32 MINUTES - 25 SECONDS WEST, A DISTANCE OF 110.02 FEET TO A POINT, THENCE; ALONG A LINE THROUGH GIDNEY AVENUE, THE FOLLOWING FIVE (5) COURSES:
 5. SOUTH 35 DEGREES - 22 MINUTES - 21 SECONDS WEST, A DISTANCE OF 32.68 FEET TO A POINT, THENCE;
 6. SOUTH 17 DEGREES - 24 MINUTES - 30 SECONDS WEST, A DISTANCE OF 228.59 FEET TO A POINT, THENCE;
 7. SOUTH 23 DEGREES - 34 MINUTES - 30 SECONDS WEST, A DISTANCE OF 174.30 FEET TO A POINT, THENCE;
 8. SOUTH 30 DEGREES - 02 MINUTES - 39 SECONDS WEST, A DISTANCE OF 105.90 FEET TO A POINT, THENCE;
 9. SOUTH 37 DEGREES - 16 MINUTES - 26 SECONDS WEST, A DISTANCE OF 80.00 FEET TO A POINT, THENCE; ALONG A LINE THROUGH GARDNER TOWN ROAD, THE FOLLOWING THREE (3) COURSES:
 10. NORTH 62 DEGREES - 14 MINUTES - 54 SECONDS EAST, A DISTANCE OF 173.40 FEET TO A POINT, THENCE;
 11. NORTH 66 DEGREES - 16 MINUTES - 42 SECONDS EAST, A DISTANCE OF 192.84 FEET TO A POINT, THENCE;
 12. NORTH 63 DEGREES - 36 MINUTES - 55 SECONDS EAST, A DISTANCE OF 257.38 FEET TO THE POINT AND PLACE OF BEGINNING.

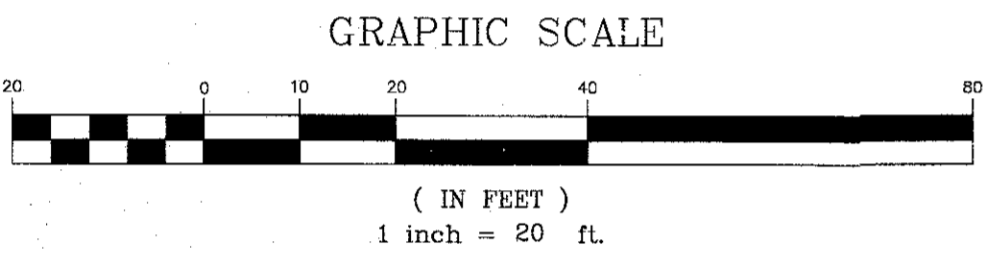
CONTAINING 121,554 SQUARE FEET OR 2.791 ACRES
 BEING THE SAME PROPERTY DESCRIBED IN SCHEDULE "A" OF A TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER 3711-00600, WITH AN EFFECTIVE DATE OF DECEMBER 15, 2011.

LEGEND

--- 124 ---	EXISTING CONTOUR
--- 125 ---	EXISTING SPOT ELEVATION
X 123.45	EXIST. TOP OF CURB ELEVATION
X 123.45	EXIST. GUTTER ELEVATION
X 123.45	EXIST. TOP OF WALL ELEVATION
X 123.45	EXIST. BOTTOM OF WALL ELEVATION
X 123.45	EXIST. FINISHED FLOOR ELEVATION
⊕	HYDRANT
⊕	GAS VALVE
⊕	WATER VALVE
— OH —	OVERHEAD WIRES
— G —	APPROX. LOC. UNDERGROUND GAS LINE
— W —	APPROX. LOC. UNDERGROUND WATER LINE
UP	UTILITY POLE
UP/LP	UTILITY POLE/LIGHT POLE
⊕	GUY WIRE
⊕	SIGN
⊕	BOLLARD
⊕	AREA LIGHT
⇐	PAINTED ARROWS
D.C.	DEPRESSED CURB
E.O.P.	EDGE OF PAVEMENT
L.S.A.	LANDSCAPED AREA
RRT WALL	RAILROAD TIE WALL
U.G.	UNDER GROUND
CB	CATCH BASIN/INLET
SMH	SANITARY/SEWER MANHOLE
MH	UNKNOWN MANHOLE
△	PARKING SPACE COUNT
—	DEPRESSED CURB

- NOTES:**
- PROPERTY KNOWN AS LOT 1.1, BLOCK 1, SECTION 76, AS SHOWN ON THE TAX MAP THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK.
 - AREA = 121,554 S.F. OR 2.791 AC.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 3711-00600, WITH AN EFFECTIVE DATE OF 12/15/2011, WHERE THE FOLLOWING SURVEY RELATED EXCEPTION APPEARS IN SCHEDULE B-I:
 - (14) COVENANTS AND RESTRICTIONS CONTAINED IN LIBER 1236 CP 373 AND LIBER 1337 CP 363 - BLANKET USE RESTRICTIONS AGAINST MANUFACTURING OR INDUSTRIAL PURPOSES, NOXIOUS TRADE, BUSINESS OR OCCUPATION, STORAGE OF JUNK OR WASTE MATERIALS, OR AS A LIVE POULTRY MARKET, BLANKET, AFFECTS PROPERTY.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - ELEVATIONS ARE BASED UPON NAVD 1988, PER GPS OBSERVATION UTILIZING THE NEW YORK STATE D.O.T. NETWORK.
 - BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.
 - THERE WERE NO NATURAL STREAMS OR WATERCOURSES VISIBLE AT THE TIME OF THE FIELD SURVEY.
 - ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - EASTERLY AND WESTERLY PROPERTY LINES DESCRIBED IN LIBER 13121, PAGE 1242 RUN IN GARDNERTOWN ROAD AND GIDNEY AVENUE. RECORDED DOCUMENTS OF RIGHT OF WAY TAKING OR PUBLIC RIGHTS NOT FOUND AT THE ISSUANCE OF THIS SURVEY (SEE NOTE 5).
 - THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
 - WATER, GAS & ELECTRICAL MAPPING, IF ANY, HAVE NOT BEEN RECEIVED PRIOR TO THE ISSUANCE OF THIS SURVEY.
 - PER CONTRACTUAL AGREEMENT WITH CLIENT, TOPOGRAPHY IN GIDNEY AVENUE AND GARDNERTOWN ROAD IS LIMITED TO NEAR EDGE OF PAVEMENT.

- REFERENCES:**
- THE TAX MAP OF THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, SECTION 76.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP FOR ORANGE COUNTY, NEW YORK (ALL JURISDICTIONS)," PANEL 143 OF 630, MAP NUMBER 3607100143E, EFFECTIVE DATE: AUGUST 3, 2009.
 - MAP ENTITLED "SITE PLAN, McDONALD'S, ROUTE 32 & GARDNERTOWN ROAD, NEWBURGH, N.Y., ORANGE COUNTY," PREPARED BY WILLIAM HOUTHUYSEN, A.I.A., DATED: MARCH 3, 1988 AND LAST REVISED ON NOVEMBER 14, 1995.
 - ZONING BULK REQUIREMENTS PROVIDED BY THE TOWN OF NEWBURGH AND <http://www.townofnewburgh.org/index.cfm>



ZONING INFORMATION
 INTERCHANGE BUSINESS ZONE (IB DISTRICT)
 TOWN OF NEWBURGH
 TABLE OF USE AND BULK REQUIREMENTS
 IB DISTRICT - SCHEDULE 8
 [AMENDED 7-15-1996 BY L.L. NO. 3-1996;
 9-23-1998 BY L.L. NO. 10-1998]
 PER REF. #4

FAST-FOOD ESTABLISHMENTS & RESTAURANTS PERMITTED

ITEMS	REQUIRED
MIN. LOT AREA	40,000 S.F.
MIN. LOT WIDTH	150'
MIN. LOT DEPTH	150'
MIN. FRONT YARD	—
MIN. REAR YARD	60'
MIN. ONE SIDE YARD	30'
MIN. BOTH SIDE YARD	80'
MAX. LOT BUILDING COVERAGE	40%
MAX. BUILDING HEIGHT	40'
MAX. LOT SURFACE COVERAGE	80%

NOTE: ZONING CRITERIA AND SETBACK LINES IDENTIFIED HEREON ARE BASED UPON PRELIMINARY INVESTIGATION AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF CONTROL POINT ASSOCIATES, INC. AND IS TO BE USED ONLY FOR THE PROJECT OR PROJECTS SPECIFICALLY IDENTIFIED HEREIN. WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC., IT IS PROHIBITED.

TO: McDONALD'S CORPORATION, A DELAWARE CORPORATION; McDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION; McDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY; AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(b), 7(b), 7(b)(1), 7(c), 8, 9, 11(b), 13, 14 & 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 1, 2012.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH A BLUE INK SEAL

JAMES C. WEED 10-02-2013
 NEW YORK PROFESSIONAL LAND SURVEYOR #50785

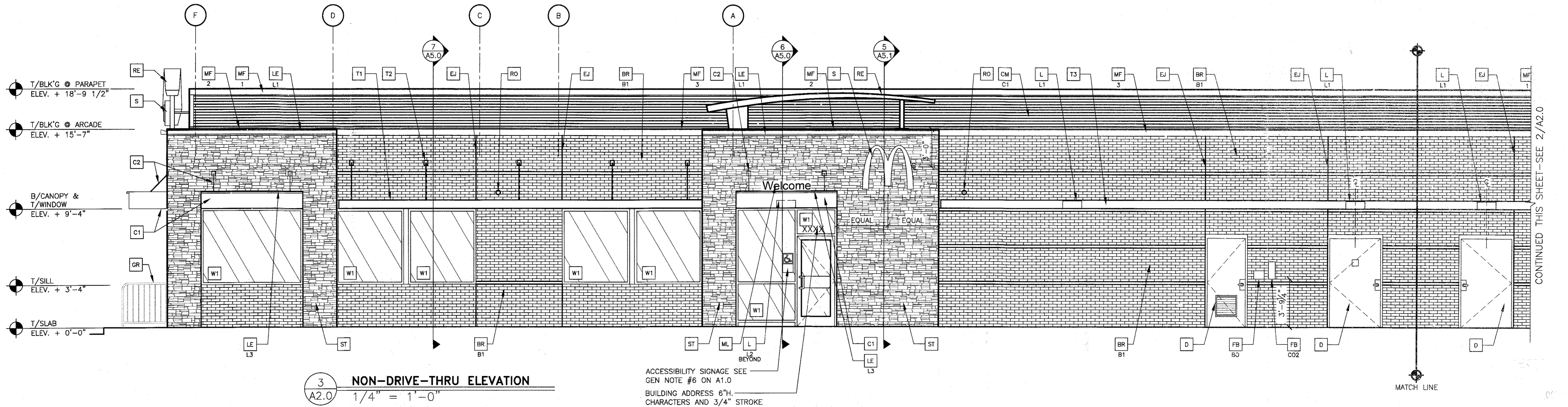
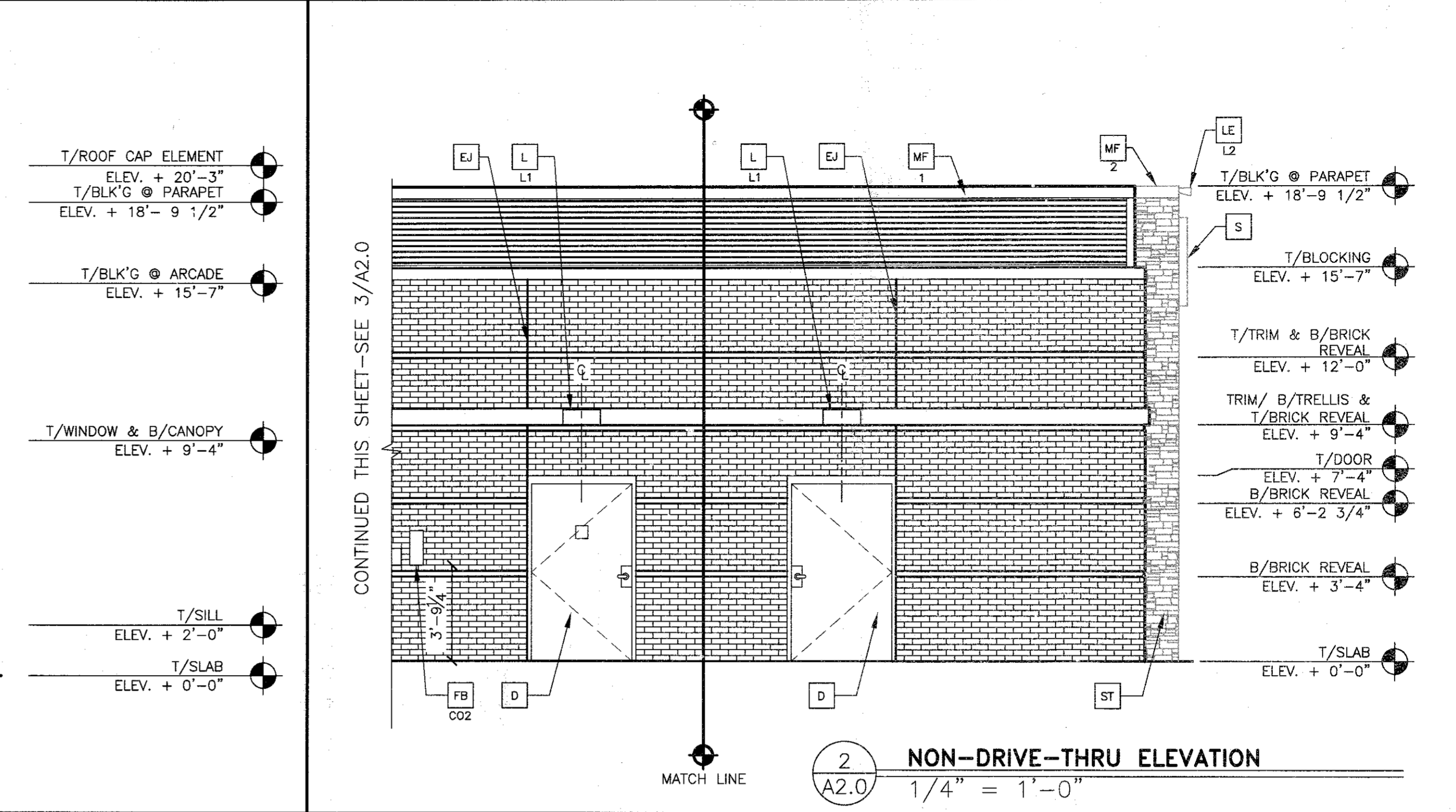
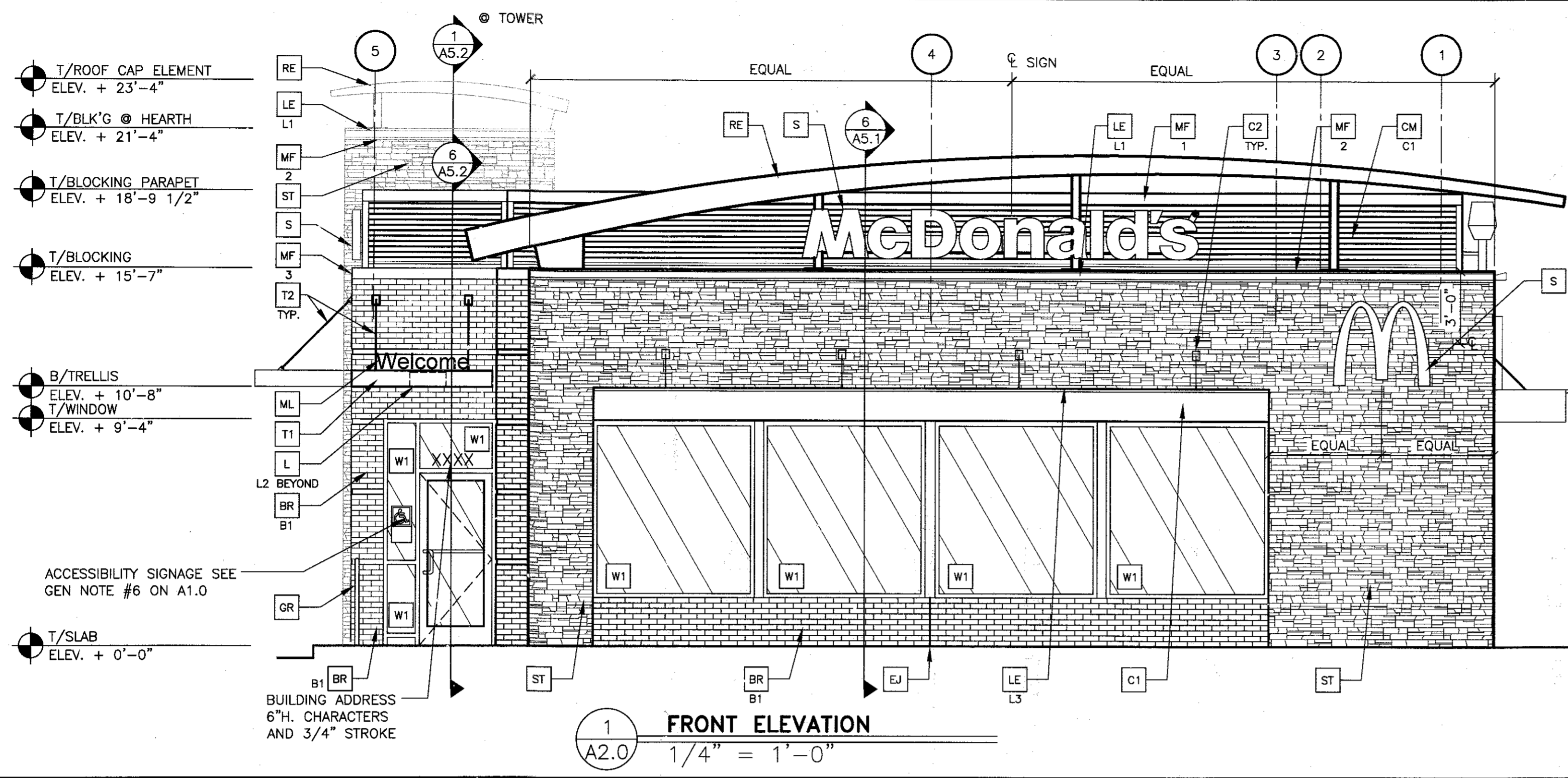
FIELD DATE: 10-20-11
 FIELD BOOK NO.: 11-21
 FIELD BOOK PG.: 78
 FIELD CREW: T.M./B.A.
 DRAWN: J.P.
 REVISED: J.P.
 APPROVED: J.P.
 DATE: 10-26-11
 SCALE: 1"=20'
 FILE NO.: C11443
 SHEET NO.: 2 OF 2

ALTA/ACSM LAND TITLE SURVEY
McDONALD'S USA, LLC
 187 NORTH PLANK ROAD
 LOT 1.1, BLOCK 1, SECTION 76
 TOWN OF NEWBURGH
 L/C #031-0145 ORANGE COUNTY, NEW YORK
CONTROL POINT ASSOCIATES, INC.
 35 TECHNOLOGY DRIVE
 WARREN, NJ 07059
 908.668.0099 - 908.668.9595 FAX
 CHALFONT, PA 215.712.9800
 SOUTHBOROUGH, MA 508.948.3000

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

No.	DESCRIPTION OF REVISION	DATE	BY	APPROVED
3	REVISE SIGNATURE	10-2-13	J.P.	J.C.W.
2	REVISE TO SHOW TREES	3-8-12	J.P.	J.D.B.
1	REVISE WITH RECEIPT OF TITLE	2-28-12	J.P.	J.D.B.



KEY NOTES:

- BR FACEBRICK
- B1 - COLOR SCHEME: KHAKI
- B1 = "MOD. TUMBLEWEED VELOUR A" BY BELDEN BRICK OR EQUAL
- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- CM CORRUGATED METAL PANEL - SEE 1B/A5.0
- C1-COLOR: C1 = "CITYSCAPE" BY METAL-ERA
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- EJ EXPANSION JOINT, SEE DETAIL 15/A4.1
- FB CO2= BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
- BO= BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- L1-L1 = UP AND DOWN FIXTURE
- L2 = DOWN ONLY FIXTURE
- LE ACCENT LIGHTING - SEE ELECTRICAL
- L1 LED LIGHT: L1 = UP AND DOWN FIXTURE
- L2 = DOWN ONLY FIXTURE
- L3 = INTEGRAL CANOPY FIXTURE
- L4 = UP ONLY FIXTURE
- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/A5.0
- TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA
- 2 = PRE-FAB CUSTOM ARCADE FASCIA
- 3 = PRE-FAB MASONRY CAP FASCIA
- ML METAL LETTERING - BY OTHERS
- PB PIPE BOLLARD - PAINTED YELLOW WITH SLIP COVER
- PT (RIMCO) COIN COLLECTOR UNIT #WPT DT2000 STD CALL 1-888-743-7435 TO ORDER
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- ST CULTURED STONE: "MCD PFSW BLEND" LEDGESTONE -BY BORAL -CONTACT: KEVIN RIEDY, (717) 377-2746 COLOR: SOUTHWEST
- T1 ALUMINUM TRELIS
- T2 TRELIS TIE-BACK
- T3 ALUMINUM TRELIS 2" x 8" WALL FASCIA SYSTEM - REFER TO SIM. DETAIL 3/A5.1
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN; ELECTRONIC RELEASE
- SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

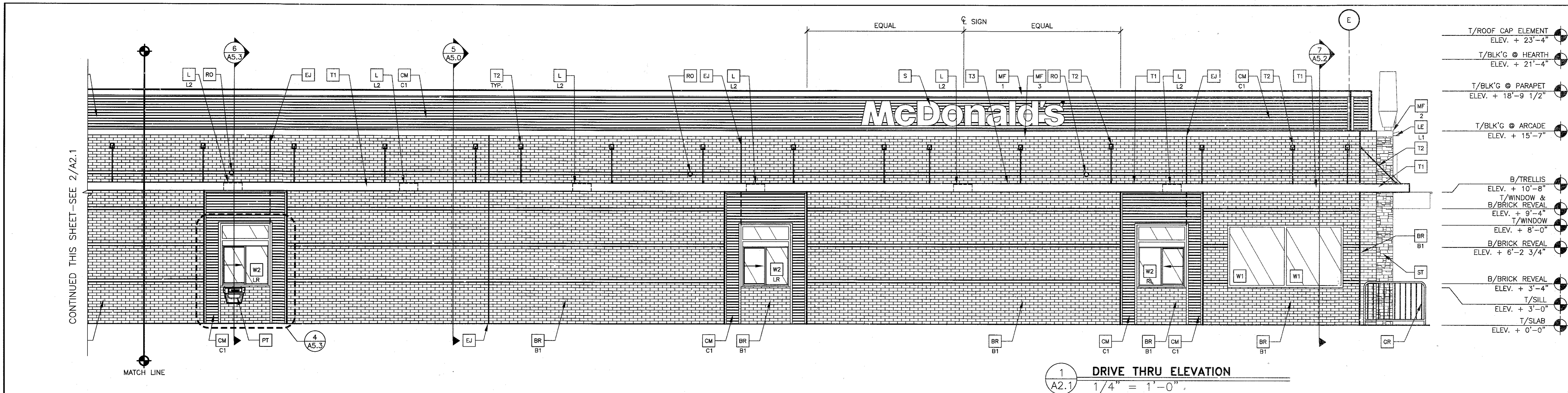
BUILDING SIGNAGE SCHEDULE		
FACADE	SIGN ELEMENT	S.F.
FRONT	1 McDONALD'S LOGO	33.5
	2 McDONALD'S "M" ARCH LOGO	14
TOTAL:		47.5
NON-DRIVE THRU SIDE	2 McDONALD'S "M" ARCH LOGO	14
TOTAL:		14
DRIVE THRU SIDE	1 McDONALD'S LOGO	33.5
TOTAL:		33.5
REAR SIDE	2 McDONALD'S "M" ARCH LOGO	14
TOTAL:		14
TOTAL BUILDING SIGNAGE		109

DATE: _____ REV _____ DATE _____ DESCRIPTION _____ BY _____

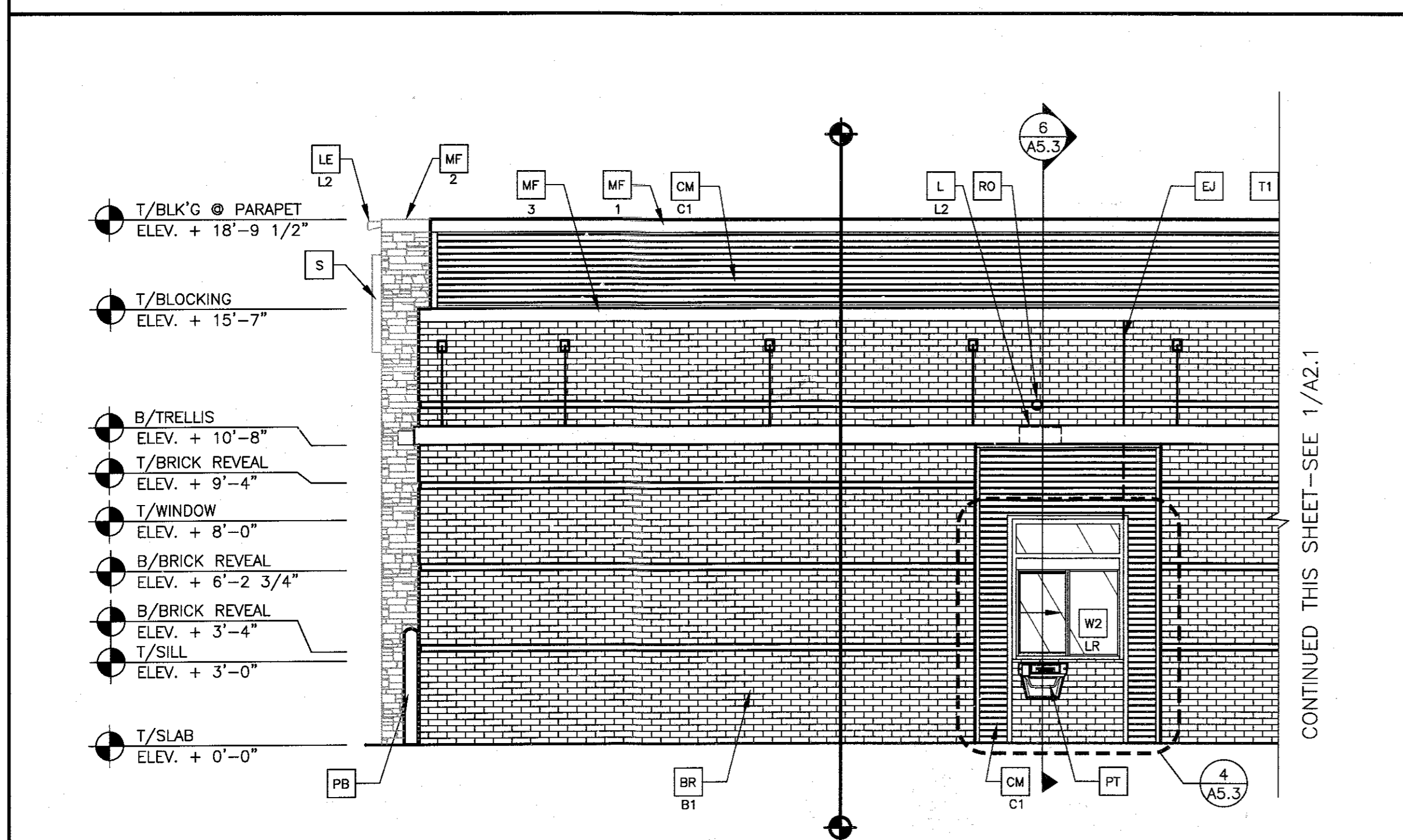
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McDonald's USA, LLC
 1255 Broad Street, Suite 201
 Clifton, NJ 07013-3986
 973.883.8590 fax 973.883.8501
 http://www.urscorp.com

DRAWN BY: RC
 STD ISSUE DATE: 2015-07
 REVIEWED BY: GA
 DATE ISSUED: 7/19/17
 SITE ADDRESS: 65 NORTH PLANK ROAD
 NEWBURGH, NY

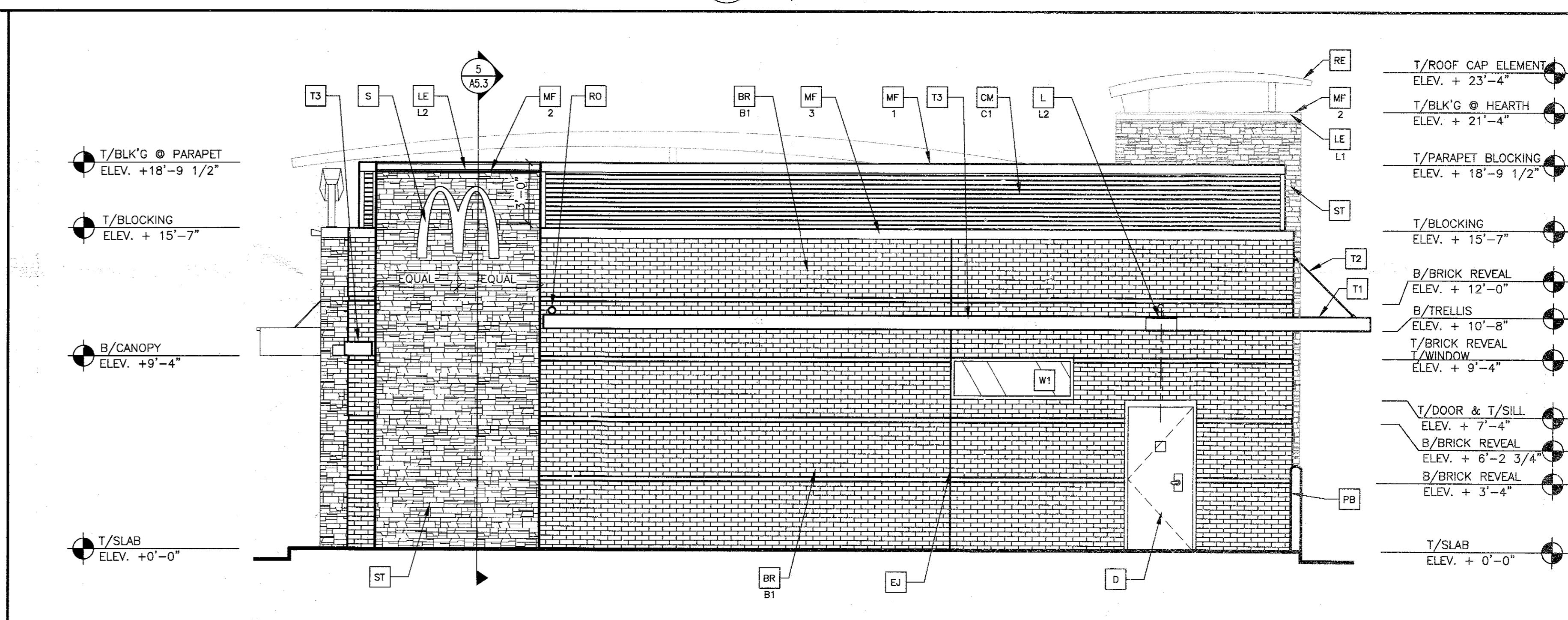
TITLE: 2015 STANDARD BUILDING
 45114-WOOD/WOOD - C/T READY
 DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD ROOF TRUSS FRAMING CULTURED STONE EXTERIOR FINISH ARCADE/ENTRY
 SHEET NO. 031-0145.00.0
A2.0
 ELEVATIONS



1 DRIVE THRU ELEVATION
1/4" = 1'-0"



2 DRIVE THRU ELEVATION (CONT.)
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"

KEY NOTES:

- BR FACEBRICK
- B1 - COLOR SCHEME: KHAKI
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- XX SLIDE DIRECTION: RL = RIGHT TO LEFT
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BUILDING SIGNAGE SCHEDULE		
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FRONT	① McDONALD'S LOGO	33.5
	② McDONALD'S "M" ARCH LOGO	14
TOTAL:		47.5
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TOTAL:		33.5
REAR SIDE	② McDONALD'S "M" ARCH LOGO	14
TOTAL:		14
TOTAL BUILDING SIGNAGE		109

DATE: _____

DESCRIPTION: _____

REV: _____

BY: _____

PREPARED BY: **URS Corporation**
1255 Broad Street, Suite 201
Clifton, NJ 07013-3988
973.683.6590 fax 973.863.8501
http://www.urscorp.com

PREPARED FOR: **McDonald's USA, LLC**

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TITLE: 2015 STANDARD BUILDING
45114-WOOD/WOOD - CYT READY

DESCRIPTION: WOOD BORING WALLS W/4" BRICK EXTERIOR FINISH & CI
WOOD ROOF TRUSS FRAMING
CULTURED STONE EXTERIOR FINISH ARCADE/ENTRY

SHEET NO. 031-0145.00.0
A2.1
ELEVATIONS

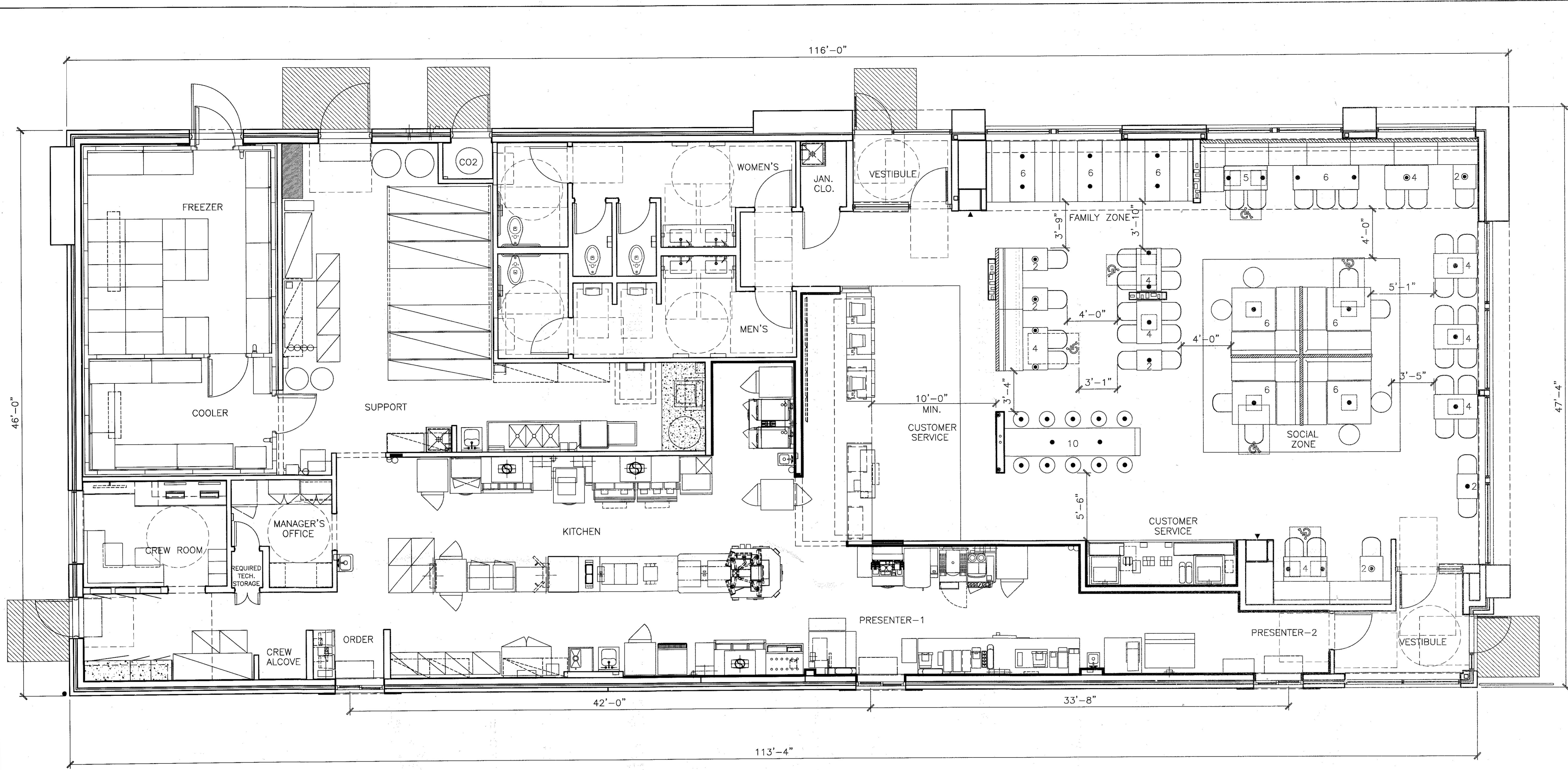
DRAWN BY: _____

RC: _____

DATE: 2015.07

ISSUED: 7/19/17

NEWBURGH, NY



1 FLOOR PLAN
R1.3 1/4"=1'-0"

45114-WW PLAN
5,311 GROSS SQ. FT. / 4,893 NET SQ. FT.
107 SEATS (6 ACCESSIBLE SEATS)

<p>PREPARED FOR: McDonald's USA, LLC</p> <p>PREPARED BY: URS Architecture & Engineering - New York, P.C. 1255 Broad Street, Suite 201 Clifton, NJ 07013-3988 973.883.8590 fax 973.883.8501 http://www.urscorp.com</p>	<p>DATE:</p> <p>REV:</p> <p>DESCRIPTION:</p>
<p>TITLE 2015 STANDARD BUILDING 45114-WOOD/WOOD - CYT READY</p> <p>DESCRIPTION WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD ROOF TRUSS FRAMING CULTURED STONE EXTERIOR FINISH ARCADE/ENTRY</p> <p>SHEET NO. R1.3 SEATING PLAN</p>	<p>DRAWN BY RC</p> <p>STD ISSUE DATE 2015_07</p> <p>REVIEWED BY GA</p> <p>DATE ISSUED 7/19/17</p> <p>NEWBURGH, NY</p>
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