



**McGOEY, HAUSER and EDSALL  
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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: RESTAURANT DEPOT – Clearing and Grading**  
**PROJECT NO.: 15-33**  
**PROJECT LOCATION: SECTION 95, BLOCK 1, LOT 8**  
**REVIEW DATE: 12 FEBRUARY 2016**  
**MEETING DATE: 18 FEBRUARY 2016**  
**PROJECT REPRESENTATIVE: MERCURIO-NORTON-TAROLLI-MARSHALL**

1. Applicant has applied for a Clearing and Grading permit. Clearing and grading permit is intended for removal of Trees prior to the restrictions for tree clearing due to the potential presence of two species of bats after March 31. A Public Hearing is required on the Clearing and Grading permit.
2. Erosion and sediment control securities must be posted prior to commencing clearing and grading activities after approval.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Principal

**Survey Notes:**

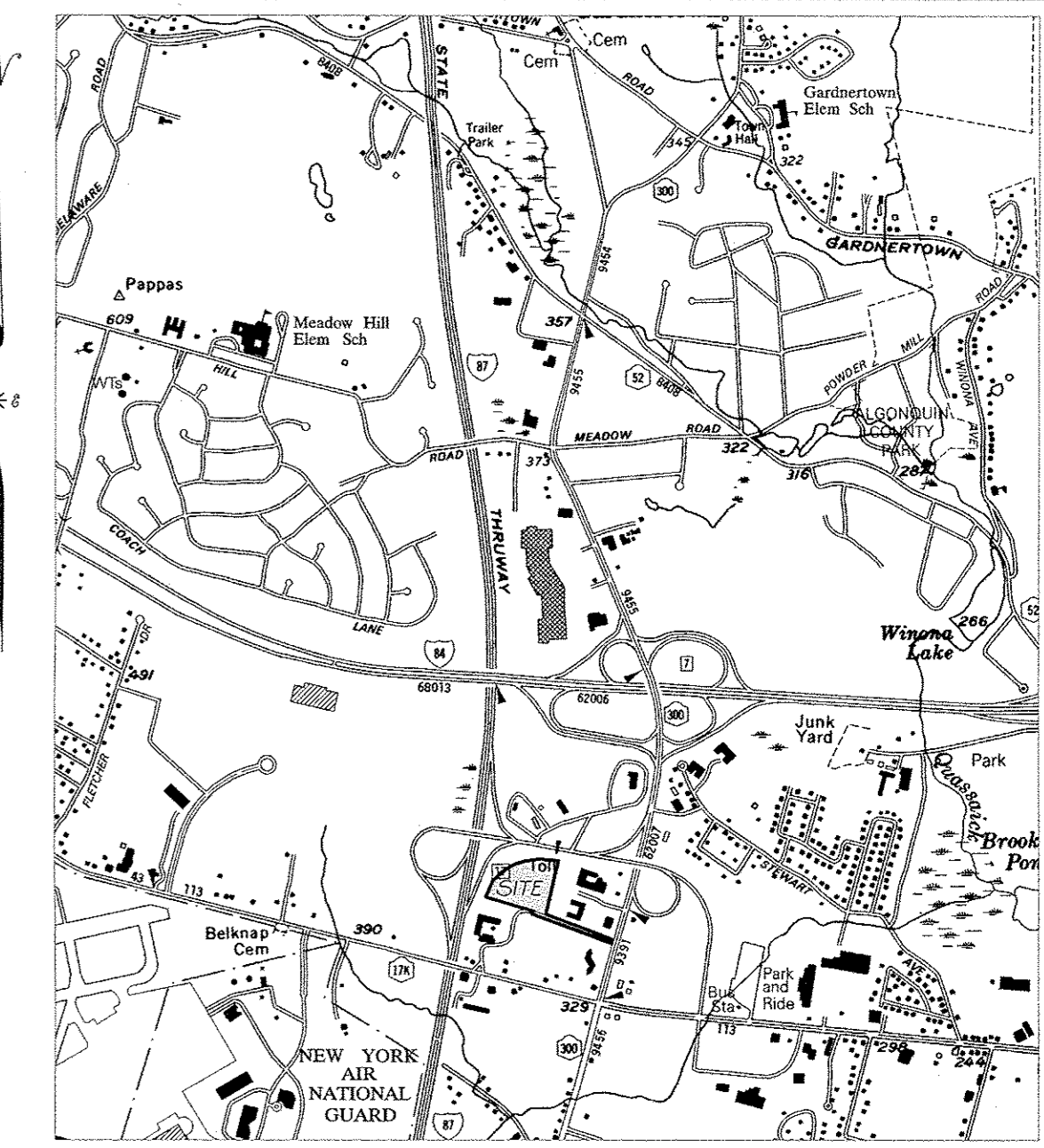
- 1.) VERTICAL DATUM IS NAVD88 DETERMINED FROM DIFFERENTIAL GPS OBSERVATIONS IN CONJUNCTION WITH THE NYS DOT CORNERS NETWORK. TOPOGRAPHY IS DERIVED FROM GROUND SHOTS BY MNTM.
- 2.) REFERENCE IS MADE TO A HIGHWAY TAKING SHOWN ON A MAP ENTITLED "NEW YORK STATE THRUWAY, CATSKILL SECTION SUBDIVISION 5, MAP NUMBER 675, PARCEL 675, LIBER 1389, PAGE 120, AND A PERMANENT EASEMENT FOR SLOPES, MAP NUMBER 675, PARCEL 676.
- 3.) REFERENCE IS MADE TO A HIGHWAY TAKING AS SHOWN ON A MAP ENTITLED "STATE HIGHWAY # 939, UNION AVENUE-ROUTE 17K CONNECTION, MAP NUMBER 12, PARCEL 12, LIBER 2380, PAGE 223 & LIBER 2412, PAGE 269, AND A TEMPORARY EASEMENT SHOWN ON MAP 12, PARCEL 12.
- 4.) RESTRICTIONS IN L. 71, P. 508 DOES NOT AFFECT THIS PROPERTY.
- 5.) UTILITY GRANT IN L. 720, P. 213 DOES NOT AFFECT THIS PROPERTY.
- 6.) SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS AS DESCRIBED IN LIBER 2248, PAGE 362.
- 7.) SUBJECT TO AND TOGETHER WITH A RECIPROCAL RIGHT OF WAY AND EASEMENT BETWEEN THE ESTATE OF ANTHONY M. FUSCO & MONROE SEIFER AND WABNO HOSPITALITIES CORP., BEING 30' IN WIDTH, AND GRANTING ACCESS TO NEW YORK STATE ROUTE 17K AND NEW YORK STATE ROUTE 300, AS DESCRIBED IN LIBER 6019, PAGE 283.
- 8.) AS PER FEMA MAP NO. 360627, EFFECTIVE AUGUST 3, 2009, THE SITE IS DESIGNATED AS ZONE X UNSHADED, NO PORTION OF THE SITE IS LOCATED WITHIN A 100 YEAR FLOOD PLAIN
- 9.) THIS ALTA SURVEY IS BASED UPON A TITLE ABSTRACT PREPARED BY LAND SERVICES USA, INC., TITLE NO. NYFAIS-4137, INSURED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

**Zoning Legend: IB**

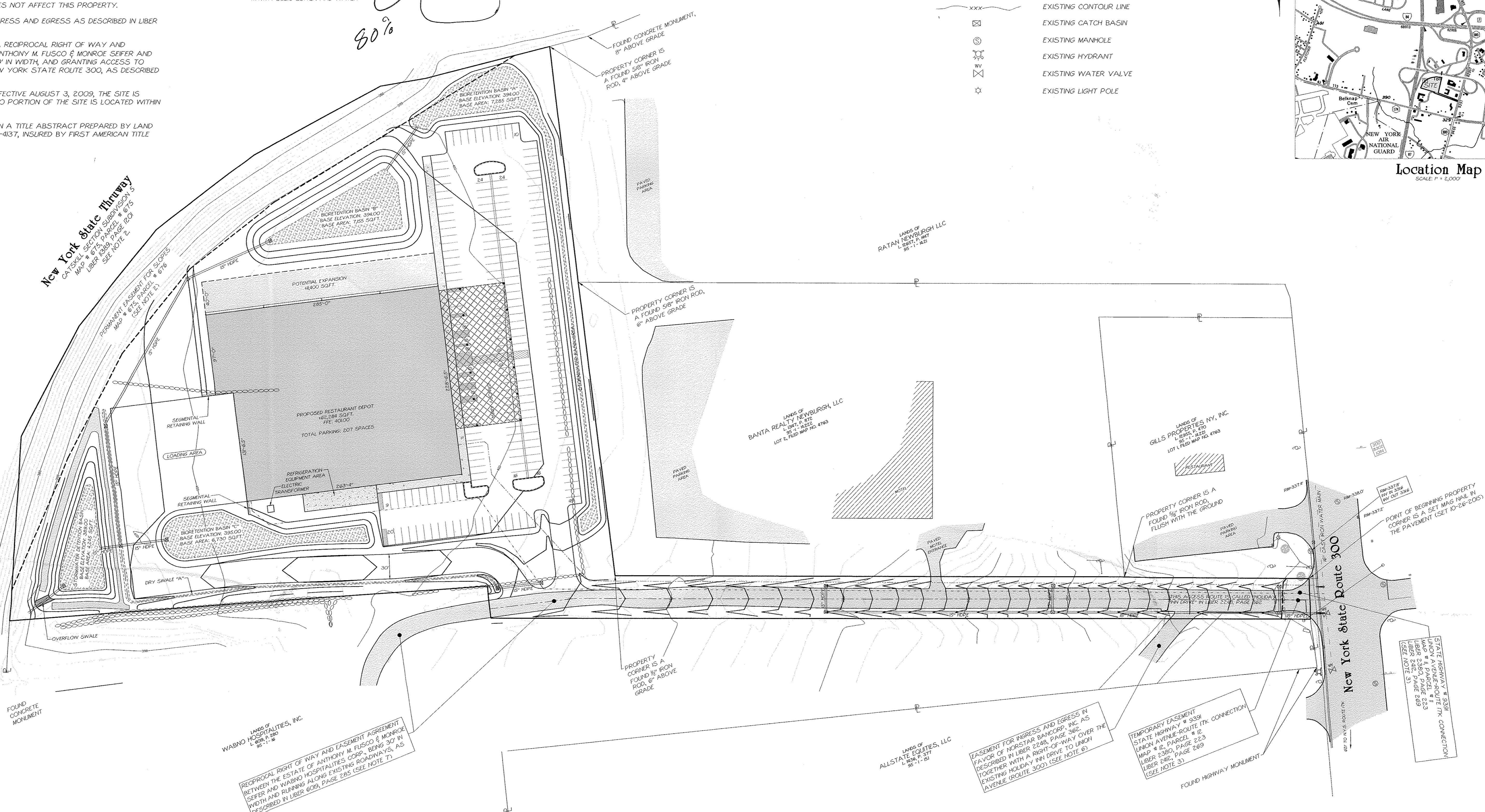
	REQUIRED	PROVIDED
MINIMUM LOT AREA	15,000 SQ.FT.	9.44 ACRES
MINIMUM LOT WIDTH	100'	7100'
MINIMUM LOT DEPTH	12.5'	712.5'
MINIMUM YARDS		
FRONT (NYS ROUTE 300)	40'	168'
SIDE (EACH)	15'	12.2'
REAR	40'	8.3'
MAXIMUM BUILDING COVERAGE	2.5%	18%
MAXIMUM BUILDING HEIGHT	35'	
MAXIMUM LOT SURFACE COVERAGE	50%	
*WITH PUBLIC SEWER AND WATER		

**Legend**

- PROPERTY LINE & CORNER
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**Location Map**  
SCALE: 1" = 2,000'



RECIPROCAL RIGHT OF WAY AND EASEMENT AGREEMENT BETWEEN THE ESTATE OF ANTHONY M. FUSCO & MONROE SEIFER AND WABNO HOSPITALITIES CORP., BEING 30' IN WIDTH AND RUNNING ALONG EXISTING ROADWAYS, AS DESCRIBED IN LIBER 6019, PAGE 283 (SEE NOTE 7).

EASEMENT FOR INGRESS AND EGRESS IN FAVOR OF NORSTAR BANKCORP. INC. AS DESCRIBED IN LIBER 2248, PAGE 362, TOGETHER WITH A RIGHT-OF-WAY OVER THE EXISTING HOUDA, INN DRIVE TO UNION AVENUE (ROUTE 300) (SEE NOTE 8).

TEMPORARY EASEMENT STATE HIGHWAY # 939 UNION AVENUE-ROUTE 17K CONNECTION LIBER 6019, PAGE 283 MAP # 12, PARCEL # 12 LIBER 2380, PAGE 223 LIBER 2412, PAGE 269 (SEE NOTE 3).

STATE HIGHWAY # 939 UNION AVENUE-ROUTE 17K CONNECTION LIBER 2380, PAGE 223 LIBER 2412, PAGE 269 (SEE NOTE 3)

CURRENT OWNER:	ROUTE 300 NEWBURGH PARTNERS, LLC 55 SOUTH MAIN STREET LIBERTY, NY 12754
APPLICANT:	JETRO CASH AND CARRY ENTERPRISES, INC. 15-24 132ND STREET COLLEGE POINT, NY 11356

**MNTM**  
Mercurio-Norton-Tarolli-Marshall  
ENGINEERING - LAND SURVEYING  
PO Box 166, 45 Main Street, Pine Bush, NY 12566  
P: (845)744.3620 F:(845)744.3805 Email: mnt-pc@mnt-pc.com

NO.	DATE	DESCRIPTION	BY

**Total Area = 9.44 Acres**  
TOWN OF NEWBURGH PROJECT #2015-33

**Commercial Site Plan**  
for  
**Route 300 Newburgh Partners, LLC**

RECORD OWNER: ROUTE 300 NEWBURGH PARTNERS, LLC 1277 UNION AVENUE, NEWBURGH, NY 12550  
DEED REFERENCE: LIBER 1820, PAGE 1772  
TAX MAP REFERENCE: SECTION 95, BLOCK 1, LOT 8

Situate in the Town of Newburgh  
Orange County, New York State  
Scale 1"=60' October 22, 2015

PROJECT: 3960 SHEET 1 OF 5

**Survey Notes:**

- 1.) VERTICAL DATUM IS NAVD88 DETERMINED FROM DIFFERENTIAL GPS OBSERVATIONS IN CONJUNCTION WITH THE NYS DOT CORRS NETWORK. TOPOGRAPHY IS DERIVED FROM GROUND SHOTS BY MNTM.
- 2.) REFERENCE IS MADE TO A HIGHWAY TAKING SHOWN ON A MAP ENTITLED "NEW YORK STATE THRUWAY, CATSKILL SECTION SUBDIVISION 5, MAP NUMBER 675, PARCEL 675, LIBER 1385, PAGE 1201, AND A PERMANENT EASEMENT FOR SLOPES, MAP NUMBER 675, PARCEL 676.
- 3.) REFERENCE IS MADE TO A HIGHWAY TAKING AS SHOWN ON A MAP ENTITLED "STATE HIGHWAY # 939, UNION AVENUE-ROUTE 17K CONNECTION, MAP NUMBER 11, PARCEL 11, LIBER 2380, PAGE 223 & LIBER 2412, PAGE 269, AND A TEMPORARY EASEMENT SHOWN ON MAP 12, PARCEL 12.
- 4.) RESTRICTIONS IN L. 711, P. 508 DOES NOT AFFECT THIS PROPERTY.
- 5.) UTILITY GRANT IN L. 720, P. 213 DOES NOT AFFECT THIS PROPERTY.
- 6.) SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS AS DESCRIBED IN LIBER 2248, PAGE 362.
- 7.) SUBJECT TO AND TOGETHER WITH A RECIPROCAL RIGHT OF WAY AND EASEMENT BETWEEN THE ESTATE OF ANTHONY M. FUSCO & MONROE SEFER AND WABNO HOSPITALITIES CORP. BEING 30' IN WIDTH, AND GRANTING ACCESS TO NEW YORK STATE ROUTE 17K AND NEW YORK STATE ROUTE 300, AS DESCRIBED IN LIBER 6019, PAGE 283.
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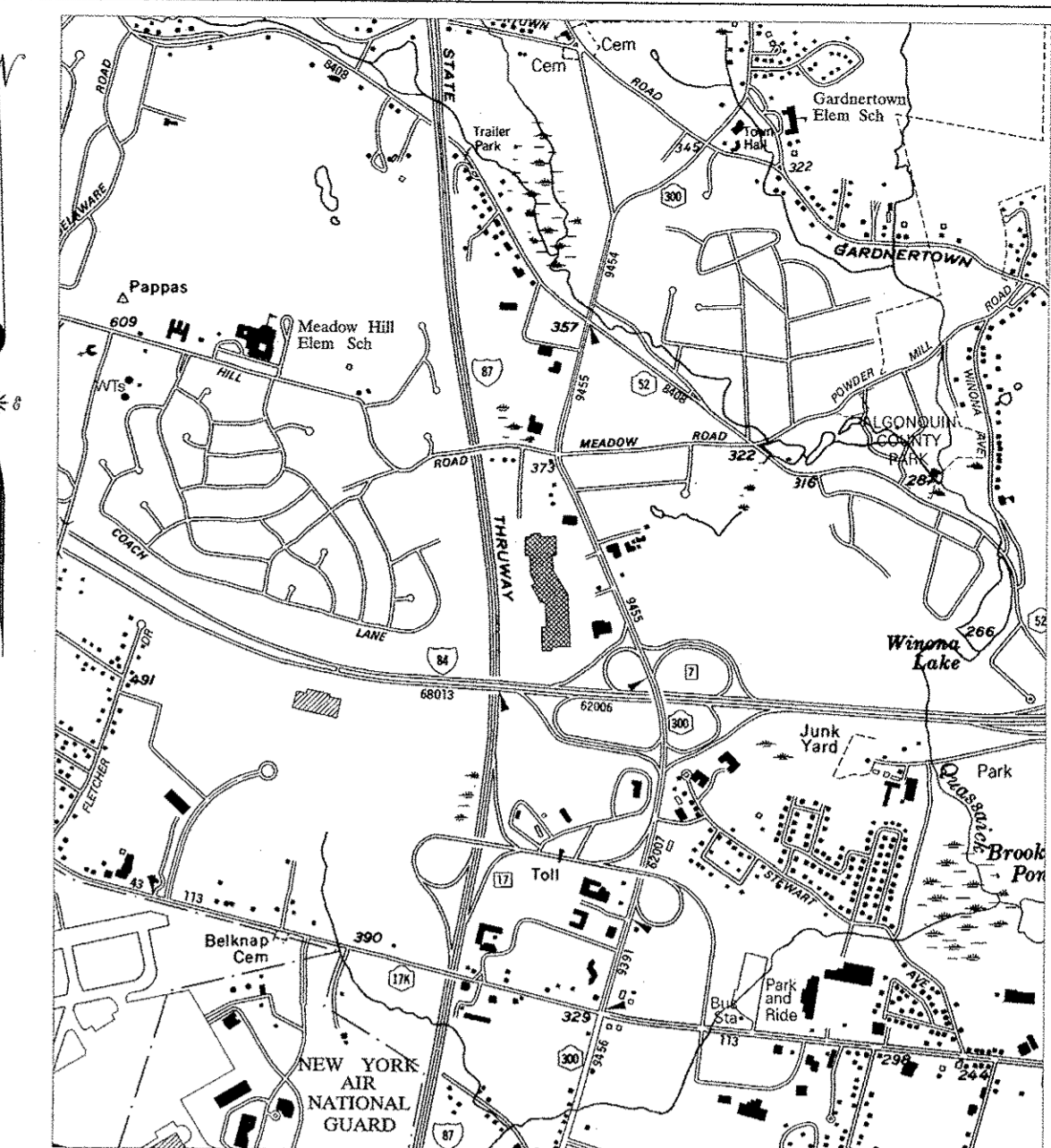
**Zoning Legend: IB**

REQUIRED	MINIMUM LOT AREA
15,000 SQ.FT.	
100'	MINIMUM LOT WIDTH
12.5'	MINIMUM LOT DEPTH
	MINIMUM YARDS
40'	FRONT (NYS ROUTE 300)
15'	SIDE (EACH)
40'	REAR
2.5%	MAXIMUM BUILDING COVERAGE
3.5'	MAXIMUM BUILDING HEIGHT
50%	MAXIMUM LOT SURFACE COVERAGE

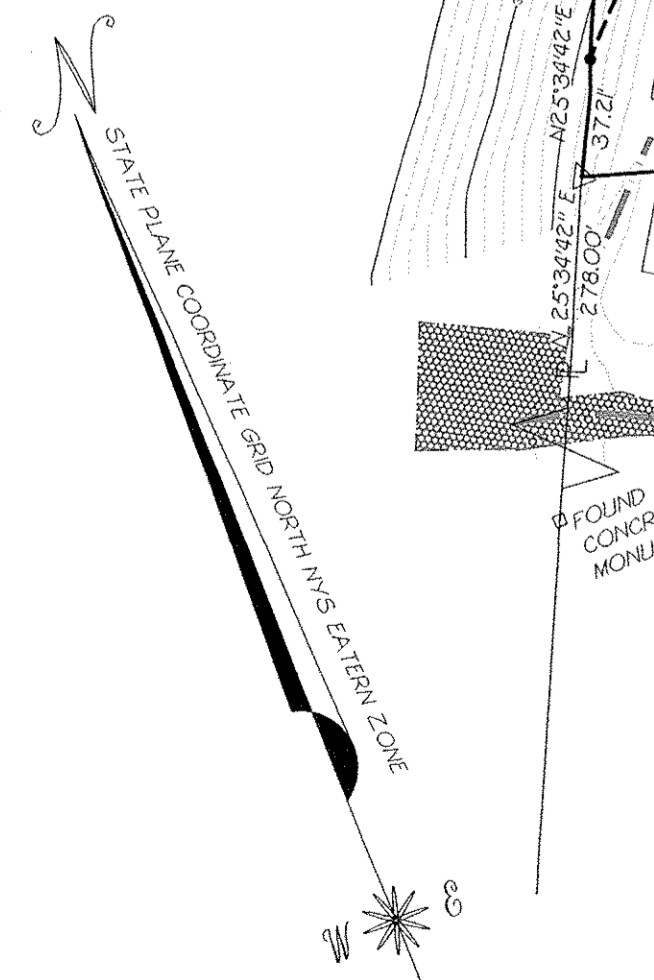
\*WITH PUBLIC SEWER AND WATER

**Legend**

- PROPERTY LINE & CORNER
- △— SET 5/8" IRON ROD WITH PLASTIC ID CAP (SET 10-26-2015)
- - - EASEMENT LINE
- - - ADJOINERS PROPERTY LINE
- L XXXX, P. XXX LIBER OF DEEDS, PAGE
- XX-XX TAX MAP DESIGNATION (SECTION - BLOCK - LOT)
- EX. UTILITY POLE & LINE
- x—x—x— EXISTING CONTOUR LINE
- ⊠ EXISTING CATCH BASIN
- ⊙ EXISTING MANHOLE
- ⊕ EXISTING HYDRANT
- ⊗ EXISTING WATER VALVE
- ☆ EXISTING LIGHT POLE



**Location Map**  
SCALE: 1" = 2,000'



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TEMPORARY EASEMENT STATE HIGHWAY # 939 UNION AVENUE-ROUTE 17K CONNECTION MAP # 11, PARCEL # 12, LIBER 2380, PAGE 223 LIBER 2412, PAGE 269 (SEE NOTE 3)

**Total Area = 9.44 Acres**  
TOWN OF NEWBURGH PROJECT #2015-33

**Survey & Existing Conditions Plan**  
for  
**Route 300 Newburgh Partners, LLC**

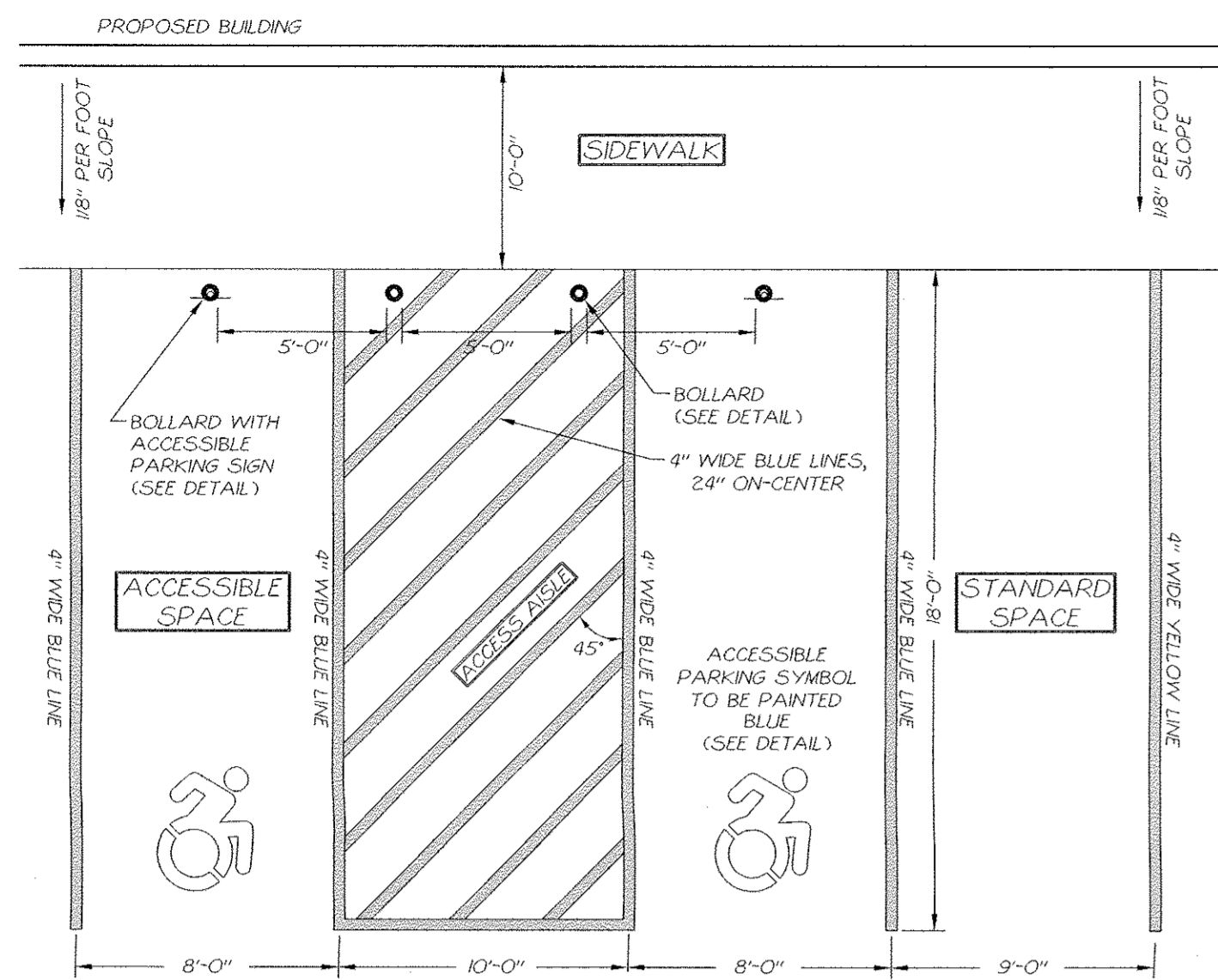
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DEED REFERENCE: LIBER 1820, PAGE 1772  
TAX MAP REFERENCE: SECTION 95, BLOCK 1, LOT 8  
Situate in the Town of Newburgh  
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NO.	DATE	DESCRIPTION	BY

William G. Norton  
Lawrence Marshall

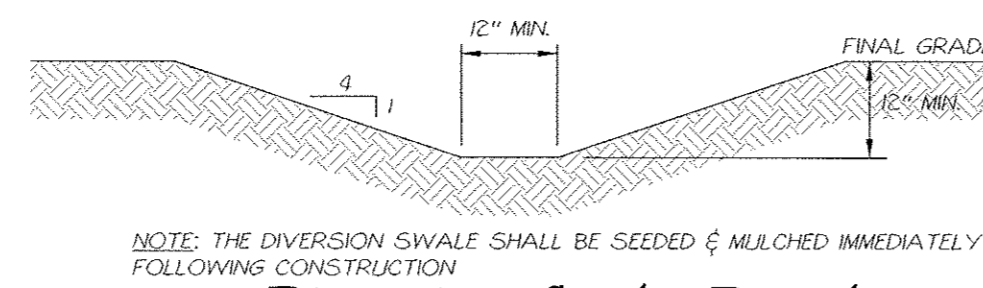
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**NOTES:**

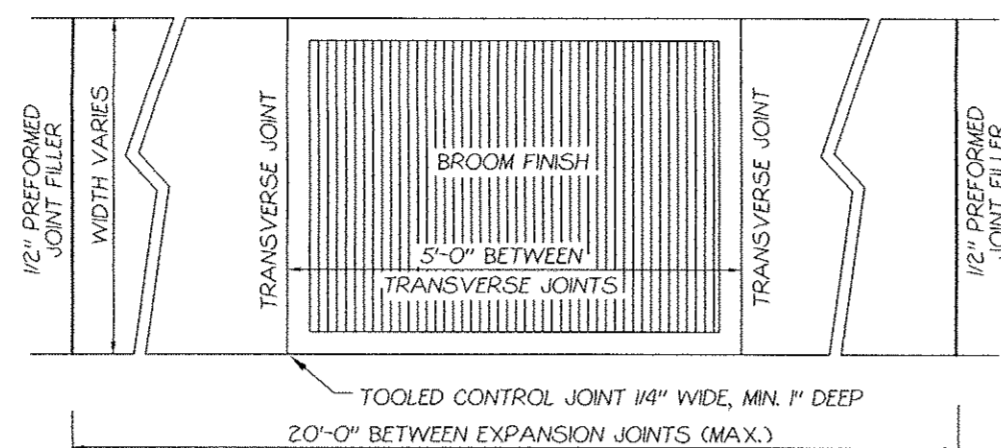
- 1) ALL ACCESSIBLE RAMP AND ACCESS AISLES SHALL MEET ALL CURRENT CODES AND ADAAG REGULATIONS.
- 2) PROPOSED ACCESS RAMP SHALL CONSIST OF COLORED TOLEDOISERRATE SLIP RESISTANT SURFACING AND/OR TACTILE WARNING DEVICE AS REQUIRED BY AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES AND CODE REGULATIONS.
- 3) PROPOSED STRIPING TO BE PAINTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:  
 CURBING & BOLLARDS: TWO (2) COATS SHERWIN WILLIAMS - KEN 4000 ACRYLIC ALKYL ENAMEL, SAFETY YELLOW B551320  
 PARKING LOT STRIPING & WHEELSTOPS: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, YELLOWTM5494  
 ACCESSIBLE STRIPING & DETAIL: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, "HC" BLUE

### Access Ramp & Parking Space Striping Detail



**NOTE:** THE DIVERSION SWALE SHALL BE SEEDED & MULCHED IMMEDIATELY FOLLOWING CONSTRUCTION

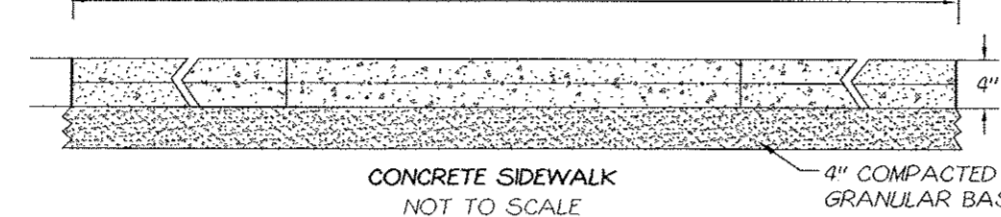
### Diversion Swale Detail



**NOTES:**

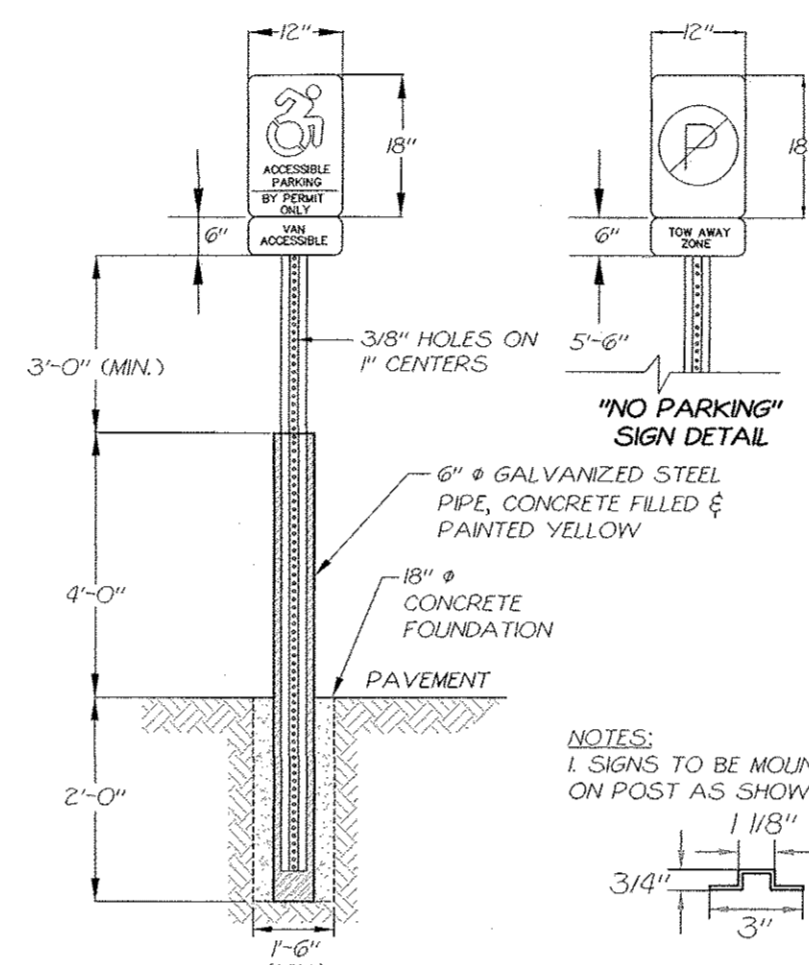
- 1) CURB SHALL BE CAST IN PLACE. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE INSTALLED WHERE REQUIRED (AT CURB BOXES, CATCH BASINS, BRIDGES, ETC.). CONTRACTION (CONTROL) JOINTS SHALL BE INSTALLED AT 20' INTERVALS.
- 2) THIS DETAIL SHALL BE UTILIZED FOR INSTALLATION OF CURBING WITHIN PROJECT SITE (CURBED ISLANDS, ETC.).

### Standard Curb Detail

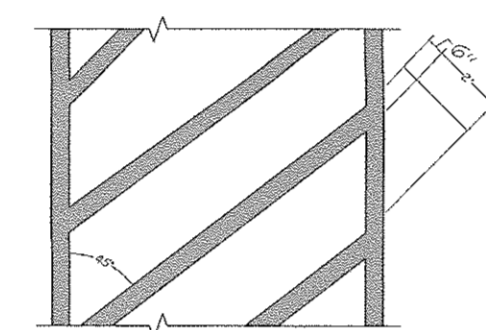


CONCRETE SIDEWALK SHALL BE CONSTRUCTED WITH 3,000 P.S.I. CONCRETE, REINFORCED WITH 6" X 6" W2.9 X W2.9 WELDED WIRE FABRIC

### Sidewalk Detail



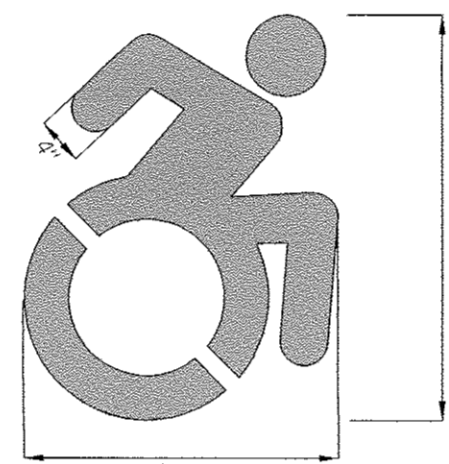
### Sign Details



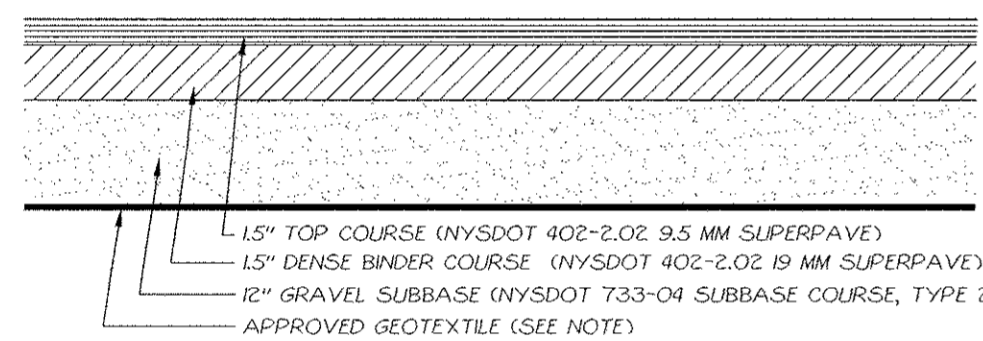
**NOTES:**

- 1) PROPOSED STRIPING TO BE PAINTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:  
 PARKING LOT STRIPING: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, YELLOWTM5494

### Island Striping Detail

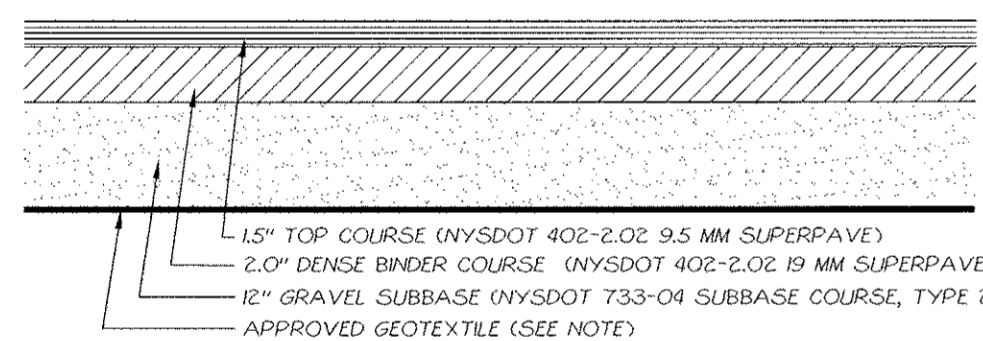


### Accessible Parking Symbol



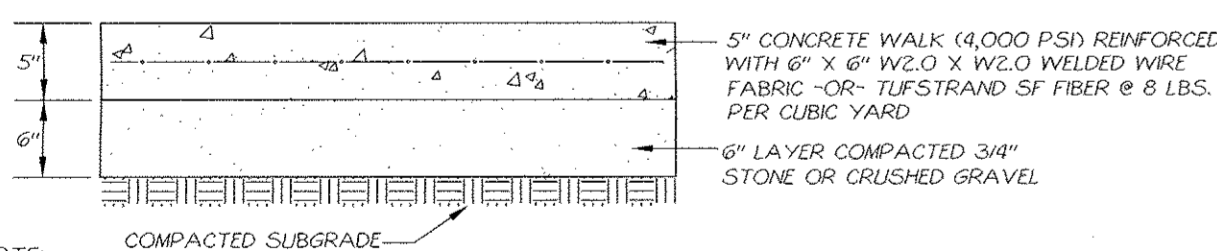
**GEOTEXTILE NOTE:** GEOTEXTILE IS ONLY REQUIRED IN AREAS WHERE SUBBASE IS NOT ACCEPTABLY STABLE. GEOTEXTILE SHALL BE APPROVED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.

### Standard Asphalt Pavement Section



**GEOTEXTILE NOTE:** GEOTEXTILE IS ONLY REQUIRED IN AREAS WHERE SUBBASE IS NOT ACCEPTABLY STABLE. GEOTEXTILE SHALL BE APPROVED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.

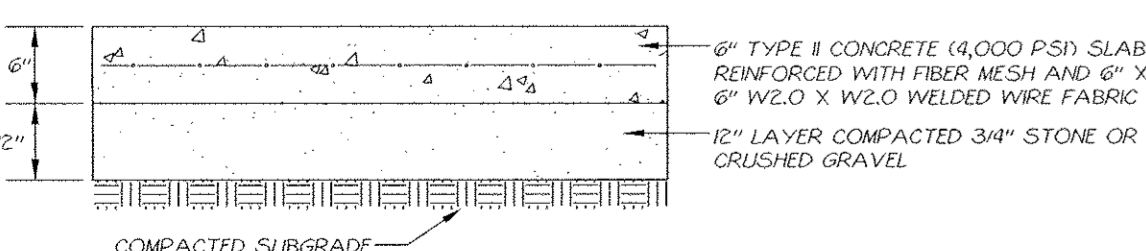
### Heavy Duty Asphalt Pavement Section



**NOTE:**

- 1) CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 12 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD. CONSTRUCTION JOINTS SHALL BE CUT OR FORMED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS AND JOINT SEALANT RECOMMENDATIONS
- 2) JOINTS SHALL BE PLACED ACROSS SLAB EXPANSION JOINTS TO LIMIT DIFFERENTIAL SETTLEMENTS
- 3) THE OUTER 2 FEET OF CONCRETE SHALL HAVE A THICKNESS OF 12 INCHES WHERE THE CONCRETE ADJOINS THE ASPHALT PAVEMENT. THE THICKNESS SHALL TAPER BACK TO THE THICKNESS SHOWN AT A 45 DEGREE ANGLE.

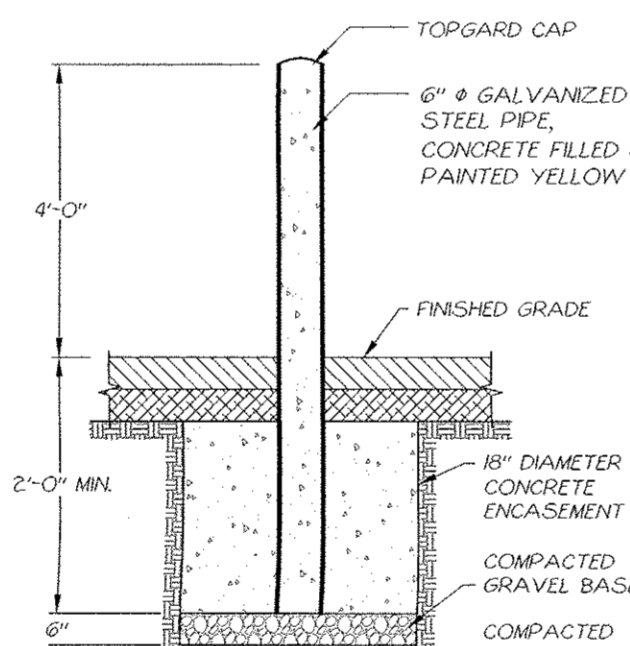
### Standard Concrete Pavement Detail



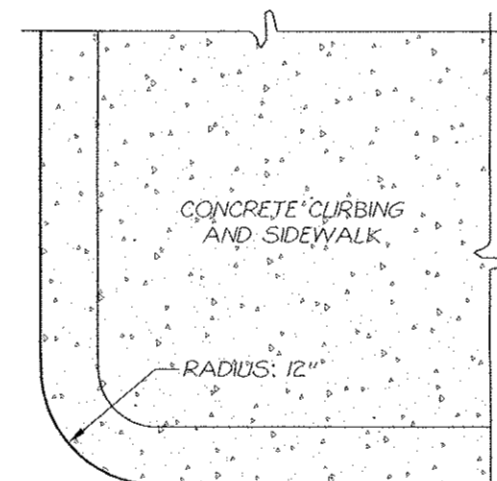
**NOTE:**

- 1) CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 12 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD. CONSTRUCTION JOINTS SHALL BE CUT OR FORMED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS AND JOINT SEALANT RECOMMENDATIONS

### Heavy Duty Concrete Pavement Detail



### Bollard Detail



1) ALL OUTSIDE CORNERS OF CURBING SHALL BE INSTALLED WITH A 12-INCH RADIUS AS SHOWN

### Curbing - Outside Corner Detail

## Soil Restoration Specifications

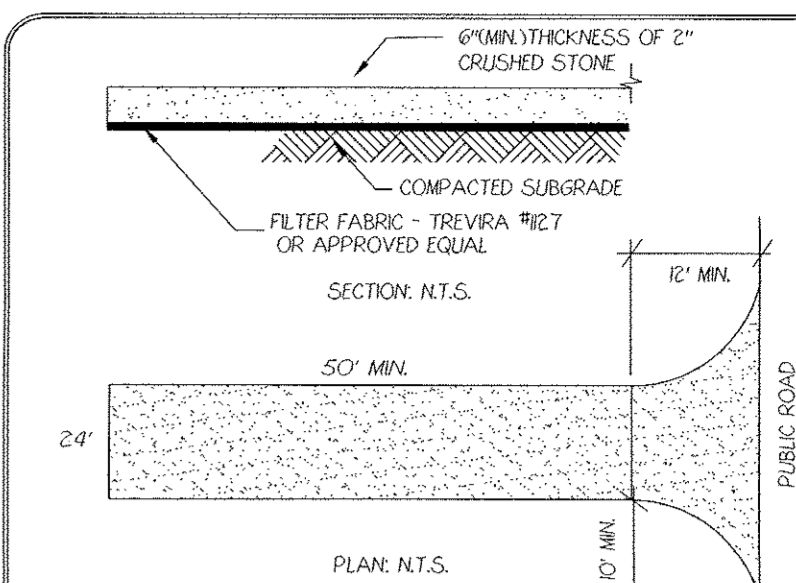
SOIL RESTORATION AS SPECIFIED IN THE CHART BELOW SHALL BE APPLIED TO ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS.

TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT	COMMENTS/EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY-NO CHANGE IN GRADE	ABRASE 1" AND APPLY 6" INCHES OF TOPSOIL	PROTECT AREA FROM ANY ON GOING CONSTRUCTION ACTIVITIES
AREAS OF CUT OR FILL	APPLY FULL SOIL RESTORATION	
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5'-25' FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (RESTORATION/DECOMPACTION AND COMPOST ENHANCEMENT)	
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS. TO PROTECT NEWLY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PREVIOUS AREA.	

\*ABRASION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COULTERS MAKING A NARROW SLIT IN THE SOIL. A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MIM-SUBSOILER.

#### FULL SOIL RESTORATION SPECIFICATIONS:

- 1) SOIL RESTORATION SHALL BE PERFORMED DURING THE LANDSCAPING PHASE OF THE PROJECT. SOIL RESTORATION SHALL INCLUDE THE FOLLOWING STEPS:
  - A. APPLY 3" OF COMPOST OVER SUBSOIL.
  - B. TILL COMPOST INTO SUBSOIL TO A MINIMUM DEPTH OF 12".
  - C. REMOVE ALL STONEROCK MATERIAL GREATER THAN 4" IN SIZE.
  - D. APPLY 6" OF TOPSOIL.
  - E. VEGETATE IN ACCORDANCE WITH THE LANDSCAPING PLAN.
- 2) COMPOST SHALL BE AGED AND FROM PLANT DERIVED MATERIALS, FREE OF WEEDS, SEEDS, WATER, AND DUST. COMPOST SHOULD PASS THROUGH A HALF INCH SCREEN AND HAVE SUITABLE PH FOR PLANT GROWTH.
- 3) MAINTENANCE SHALL INCLUDE THE FOLLOWING:
  - A. INSPECTIONS AFTER EACH STORM EVENT GREATER THAN HALF-INCH FOR THE FIRST SIX MONTHS.
  - B. RESEEDING OF BARE OR ERODING AREAS, TO ESTABLISH A STABILIZED COVER.
  - C. WATER ONCE EVERY THREE DAYS FOR THE FIRST MONTH, THEN PROVIDE A HALF INCH OF WATER PER WEEK.
- 4) VEGETATED AREAS SHALL BE KEPT FREE OF VEHICULAR AND FOOT TRAFFIC.
- 5) DOLLAR GENERAL LANDSCAPING NOTES SHALL APPLY IN CASES OF MORE STRINGENT REQUIREMENTS.

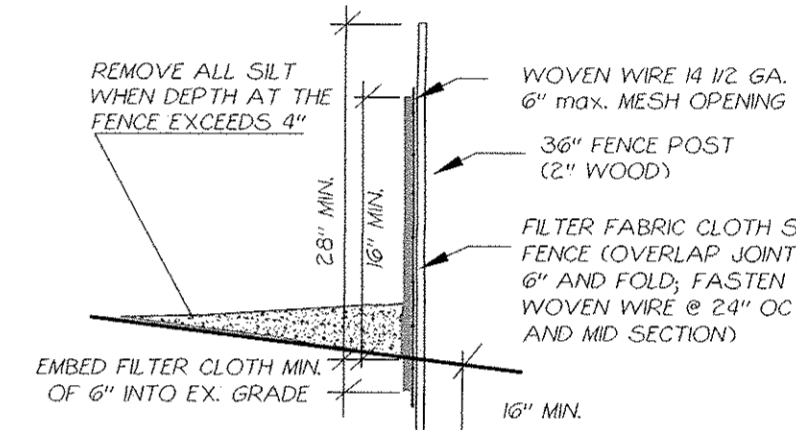


**NOTES:**

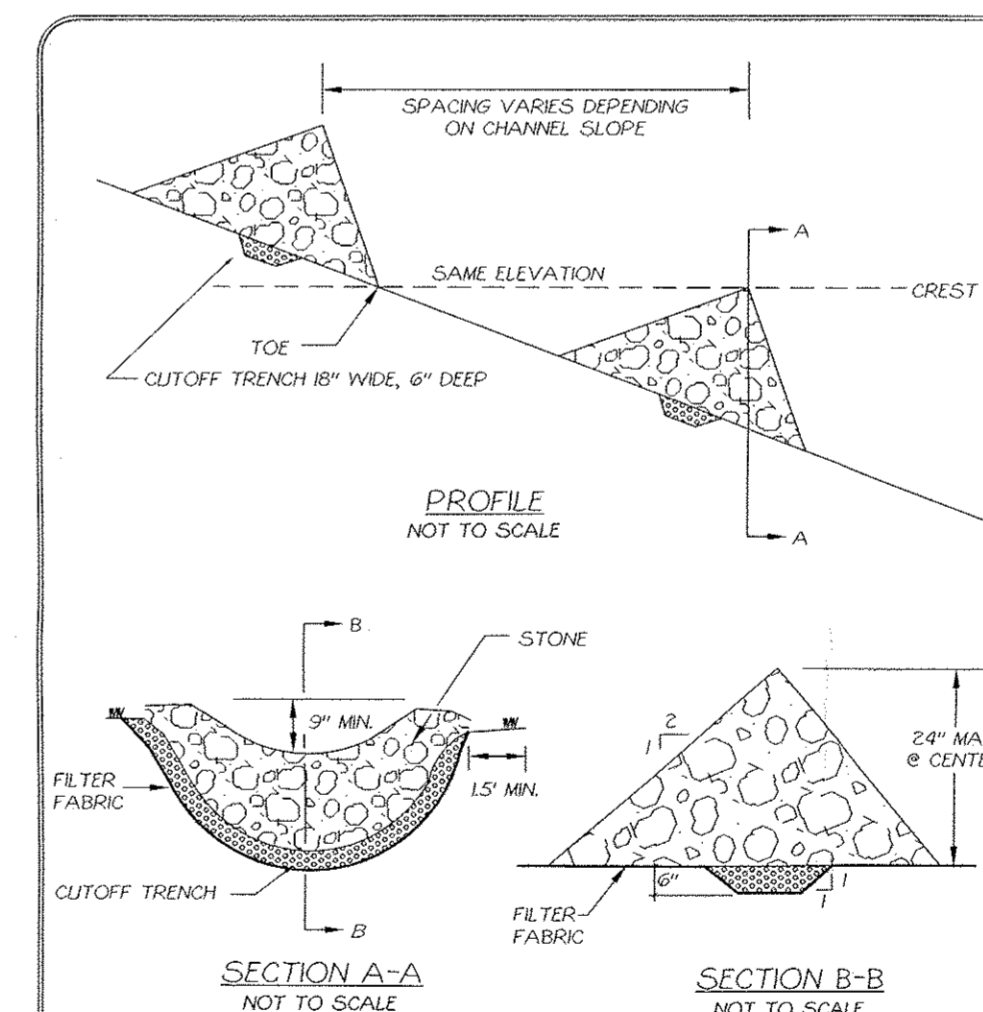
- 1) ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.
- 2) ALL SEDIMENTATION WILL BE INSPECTED & MAINTAINED ON A REGULAR BASIS.
- 3) PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 4) THE WIDTH OF THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE 12' MINIMUM, BUT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE INGRESS/EGRESS AREA BEING USED.

### Stabilized Construction Entrance Detail

FOR ALL PROPOSED ENTRANCES

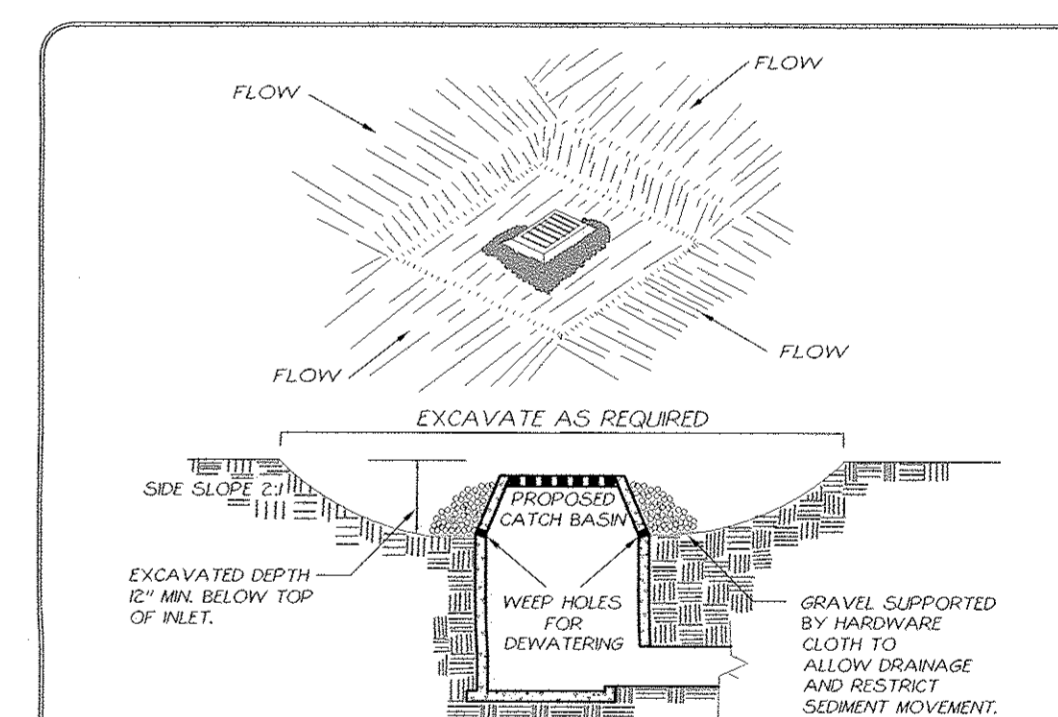


### Silt Fence Detail



### Temporary Check Dam Detail

1. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
2. EXTEND THE STONE A MINIMUM OF 15 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
3. INSTALL IN ROAD SWALES AFTER SWALE IS SHAPED. CHECK DAMS SHALL BE MAINTAINED UNTIL ROAD IS PAVED & SWALES ARE STABILIZED. REMOVE CHECK DAMS AFTER PAVEMENT & SWALE STABILIZATION IS COMPLETED.
4. EXACT LOCATION OF TEMPORARY CHECK DAMS TO BE DETERMINED IN THE FIELD BASED UPON SITE CONDITIONS.



TRAP	WIDTH (IN FT.)	LENGTH (IN FT.)	DEPTH (IN FT.)	CONTRIB. DRAINAGE AREA (AC.)	REQUIRED STORAGE (CU.FT.)	STORAGE (CU.FT.)
C	2.0	5.0	2.0	0.5	150.0	50.00

- CONSTRUCTION NOTES:**
1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO THE 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
  2. THE VOLUME OF THE SEDIMENT STORAGE SHALL BE 3,600 CUBIC FEET PER ACRE OF CONTRIBUTING DRAINAGE AREA.
  3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN EVENT AND REPAIRS MADE AS NEEDED.
  4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED. RUNOFF FROM DISTURBED AREAS SHALL BE DIRECTED TO THE SEDIMENT TRAP.
  5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
  6. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.
  7. THE MAXIMUM CONTRIBUTING DRAINAGE AREA SHALL BE 3 ACRES.
  8. TEMPORARY INLET PROTECTION SHALL BE PROVIDED AT EACH PROPOSED CATCH BASIN PRIOR TO FINAL GRADING AND STABILIZATION. TEMPORARY INLET PROTECTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL ABOVE AND SHALL EXTEND A MINIMUM OF FIVE (5) FEET AROUND THE BASIN.

### Temporary Catch Basin Sediment Trap

TOWN OF NEWBURGH PROJECT #2015-33

## Detail Sheet for Commercial Site Plan for Route 300 Newburgh Partners, LLC

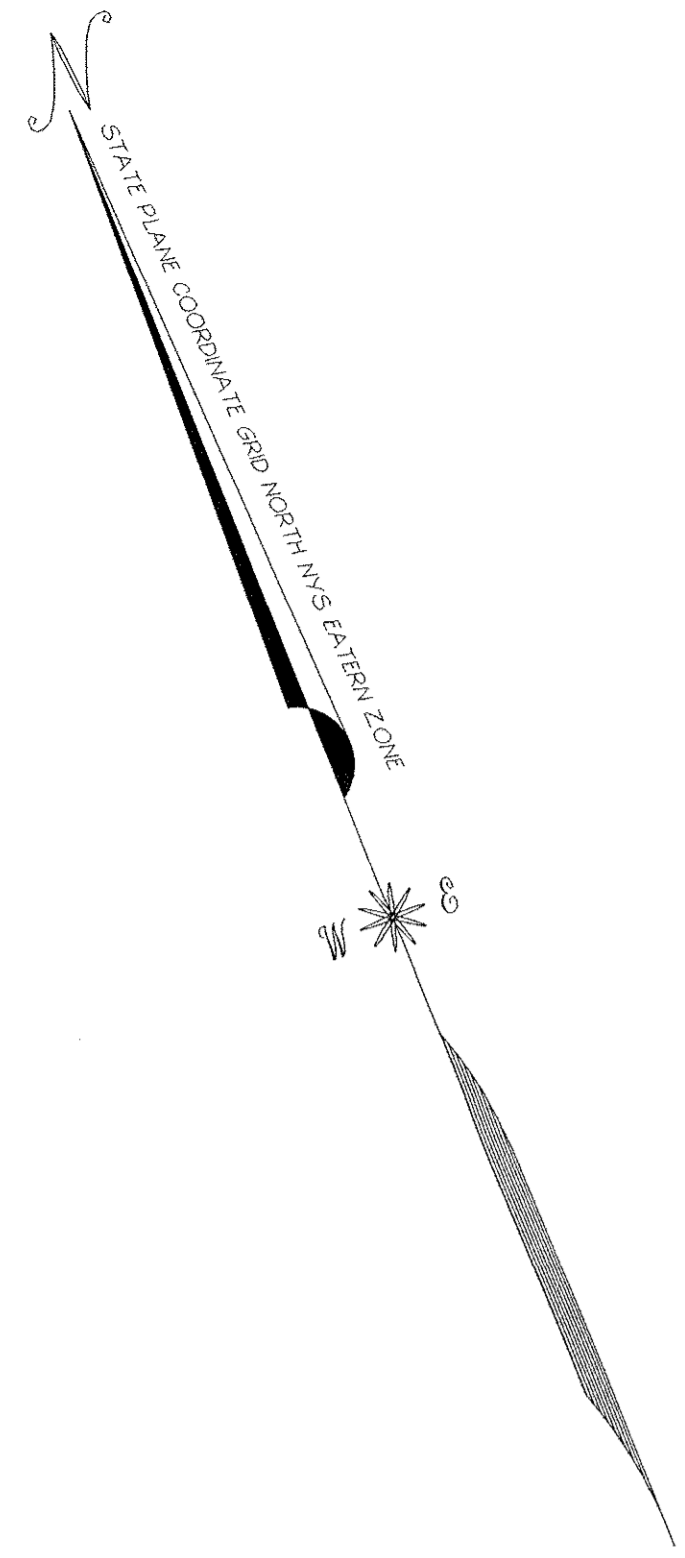
RECORD OWNER: ROUTE 300 NEWBURGH PARTNERS, LLC 1277 UNION AVENUE, NEWBURGH, NY 12550  
 DEED REFERENCE: LIBER 1820, PAGE 1772  
 TAX MAP REFERENCE: SECTION 95, BLOCK 1, LOT 8  
 Situate in the Town of Newburgh  
 Orange County, New York State  
 November 2015

**MNTM**  
 Mercurio-Norton-Tarolli-Marshall  
 ENGINEERING - LAND SURVEYING

PO Box 166, 45 Main Street, Pine Bush, NY 12566  
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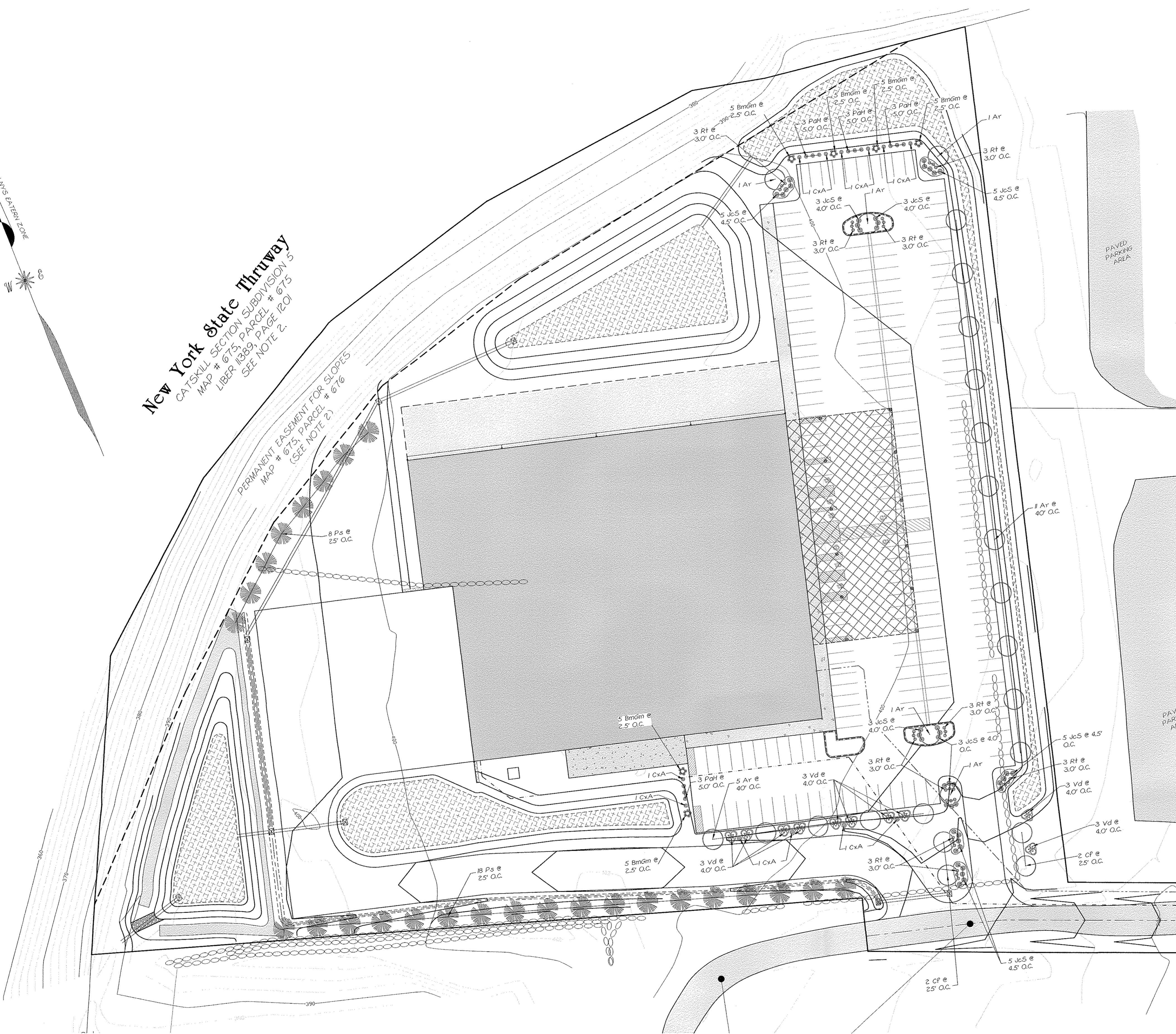
NO.	DATE	DESCRIPTION	BY

DRAFTED BY: MAP CK: PROJECT: 3960 SHEET 3 OF 5



**New York State Thruway**  
 CATSKILL SECTION SUBDIVISION 5  
 MAP # 675, PARCEL # 675  
 LIBER 1389, PAGE 1201  
 SEE NOTE 2.

PERMANENT EASEMENT FOR SLOPES  
 MAP # 675, PARCEL # 676  
 (SEE NOTE 2)



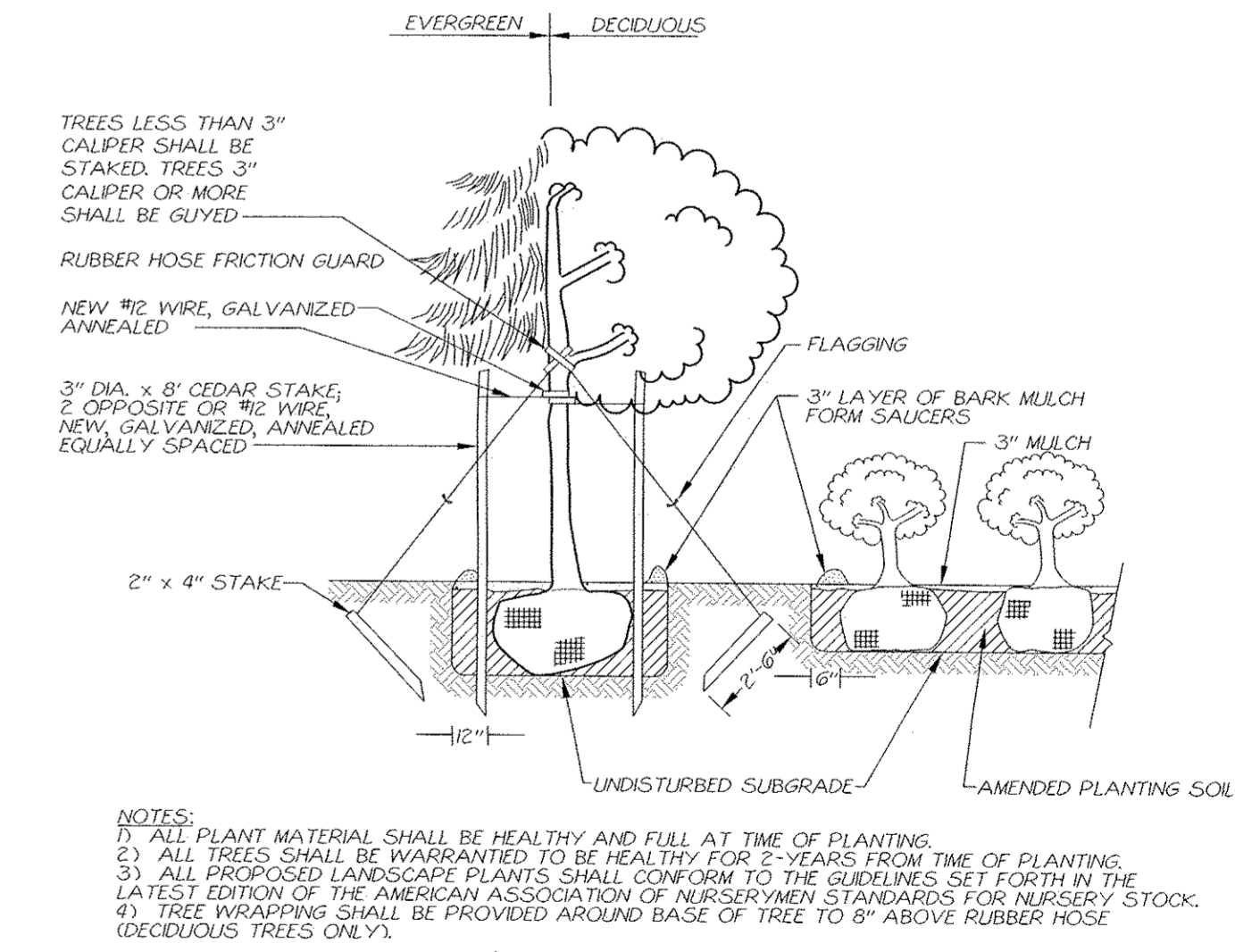
**Planting Table**

COMMON NAME	BOTANICAL NAME	KEY	QTY	PLANTING SIZE	MATURE SIZE	TYPE
SARGENT'S JUMPER	JUNPERUS CHINENSIS SARGENTII	JcS	43	18" - 21"	24" - 36"	EVERGREEN SHRUBS
RED TWIG DOGWOOD	CORNUS ALBA	Rt	33	24" OR 3 GAL.	4' - 6'	DECIDUOUS SHRUBS
GREEN MOUNTAIN BOXWOOD	BUXUS MICROPHYLLA 'GREEN MOUNTAIN'	BmGm	30	24" - 30"	32" - 48"	EVERGREEN SHRUBS
ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	Vd	30	24" - 30"	5' - 9'	DECIDUOUS SHRUBS
RED MAPLE	ACER RUBRUM	Ar	21	1" - 15" C	40' - 60'	DECIDUOUS TREES
WHITE FLOWERING DOGWOOD	CORNUS FLORIDA	Cf	4	8" - 9" HGT.	20' - 30'	DECIDUOUS TREES
WHITE PINE	PINUS STROBUS	Pc	26	8" - 9" HGT.	40' - 60'	EVERGREEN TREES
DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAWEII'	Pch	12	--	12" - 24"	GRASSES
FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	Cx	12	--	3' - 5'	GRASSES

**Landscape Plantings**

BLUE GRASS BLEND:  
 25% FESTUCA RUBRA COMMUTATA (CHEWINGS FESCUE)  
 15% LOLIUM PERENNE (PERENNIAL RYEGRASS)  
 60% POA PRATENSIS (KENTUCKY BLUEGRASS)

- NOTES:  
 1) ANY DISTURBED AREAS NOT DESIGNATED AS SHALL BE STABILIZED WITH BLUE GRASS BLEND.  
 2) SEEDING SHALL BE PERFORMED AT A RATE OF 2 LBS. PER ACRE.



**Planting Detail**  
 NTS

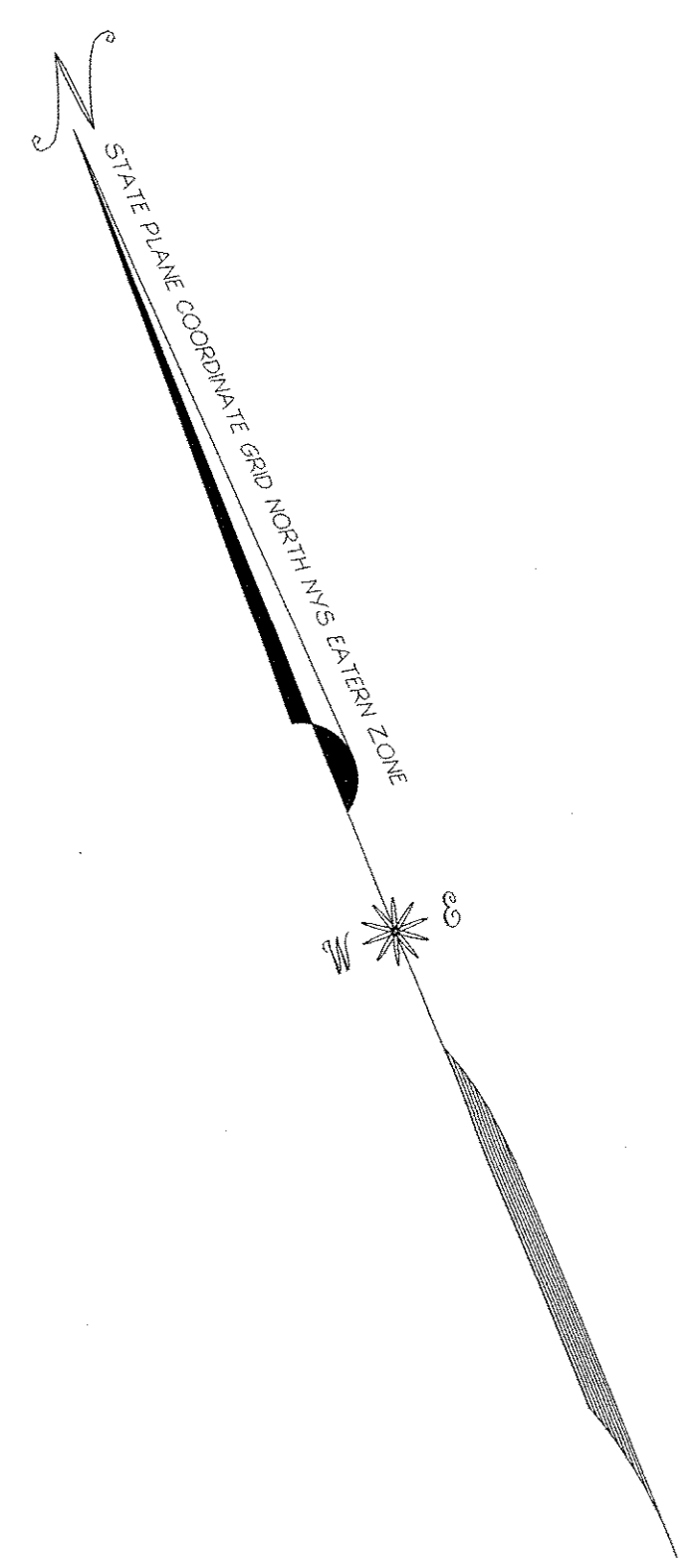
**MNTM**  
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NO.	DATE	DESCRIPTION	BY

LAWRENCE MARSHALL PE #08707 DRAFTED BY: MAP CK: PROJECT: 3960 SHEET 4 OF 5

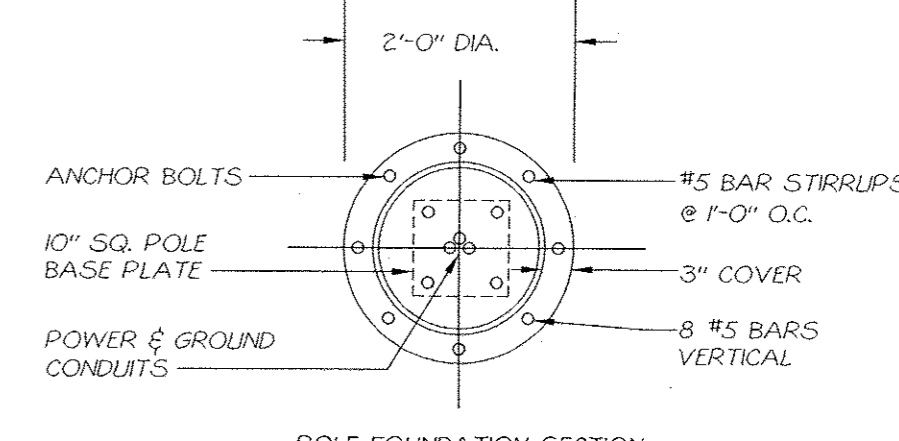
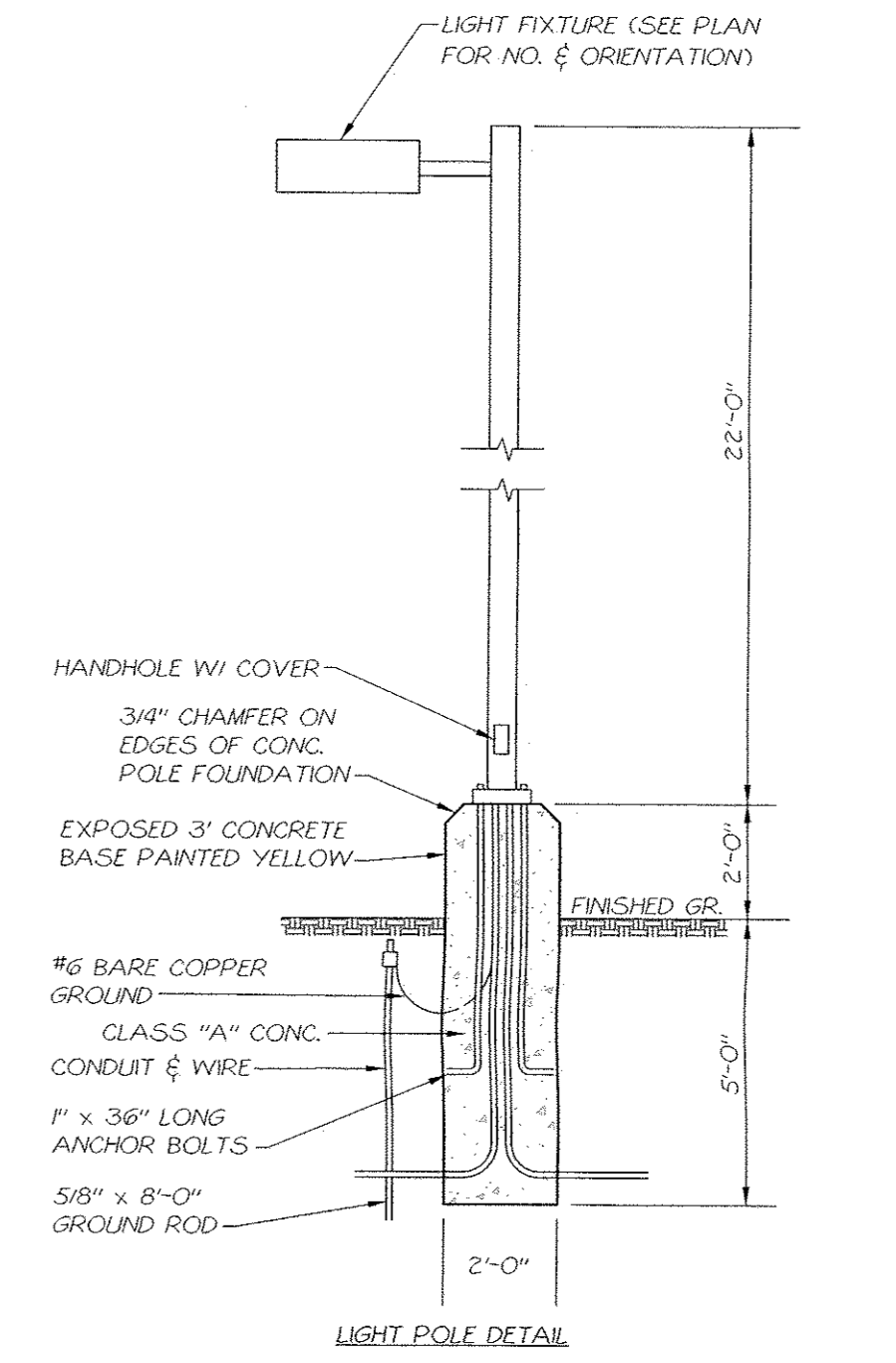
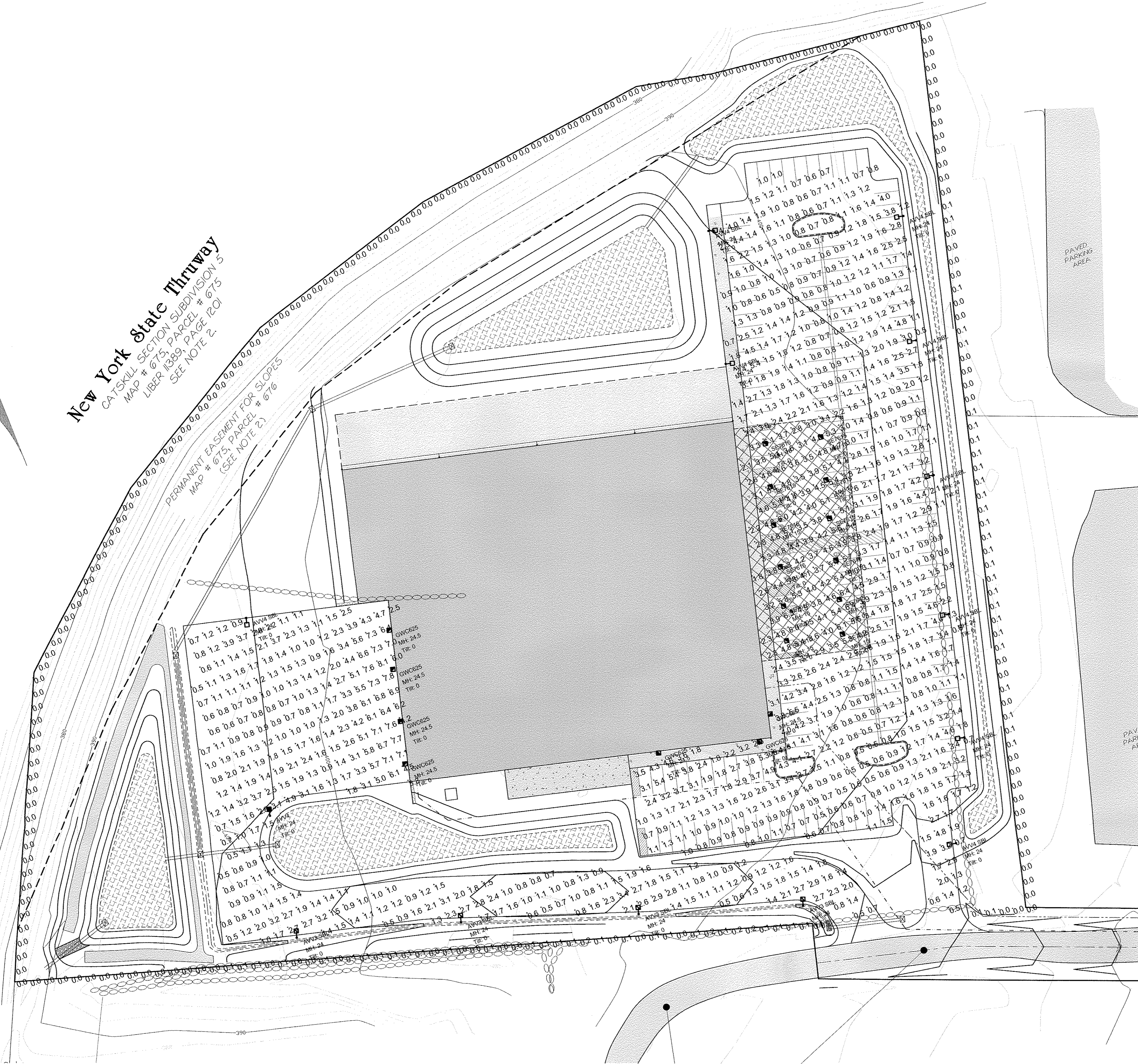
**Landscaping Plan for Commercial Site Plan**  
 for  
**Route 300 Newburgh Partners, LLC**

RECORD OWNER: ROUTE 300 NEWBURGH PARTNERS, LLC 1277 UNION AVENUE, NEWBURGH, NY 12550  
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**New York State Thruway**  
 CATSKILL SECTION SUBDIVISION 5  
 MAP # 675, PARCEL # 675  
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 SEE NOTE 2

PERMANENT EASEMENT FOR SLOPES  
 MAP # 675, PARCEL # 675  
 (SEE NOTE 2)



Light Pole Detail

Lighting Schedule

LABEL	QUANTITY	DESCRIPTION	ARRANGEMENT	LUMENS	LLF	MOUNTING HEIGHT	BULB (1)
SET65	12	SE7615-M (150W PSMH)	SINGLE	4000	0.75	15.0 FT.	PSMH
AVV3 SBL	4	AVV30625-M (250W PSMH, TYPE 3 WBLIS)	SINGLE	25000	0.75	24.0 FT.	PSMH
AVV4 SBL	9	AVV40625-M (250W PSMH, TYPE 4 WBLIS)	SINGLE	25000	0.75	24.0 FT.	PSMH
GWG25	7	GWG0615-M (150W PSMH)	SINGLE	25000	0.75	24.5 FT.	PSMH
AVV4	1	AVV40625-M (250W PSMH)	SINGLE	25000	0.75	24.0 FT.	PSMH

CALCULATION SUMMARY

LABEL	AVG	MAX	MIN
PROPERTY LINE SUMMARY	0.0 FC	0.2 FC	0.0 FC
SITE SUMMARY	2.1 FC	8.1 FC	0.5 FC
CANOPY SUMMARY	4.2 FC	6.4 FC	1.8 FC

Light Notes:  
 1) ALL LIGHT INTENSITIES PROVIDED BY CREE LIGHTING.

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NO.	DATE	DESCRIPTION	BY
			LAWRENCE MARSHALL PE #087107

Lighting Plan for Commercial Site Plan  
 for  
**Route 300 Newburgh Partners, LLC**

RECORD OWNER: ROUTE 300 NEWBURGH PARTNERS, LLC 1677 UNION AVENUE, NEWBURGH, NY 12550  
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