



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: WEBB PROPERTIES
PROJECT NO.: 14-10
PROJECT LOCATION: SECTION 97, BLOCK 2, LOTS 13.22, 35 & 43
PROJECT REPRESENTATIVE: A. DIACHISHIN & ASSOCIATES
REVIEW DATE: 26 NOVEMBER 2014
MEETING DATE: 4 DECEMBER 2014

1. Plan sheets should be coordinated throughout the plan set, example being Infiltration Basin Area is depicted as grassed island in other sheets.
2. Site landscaping plans must be developed in accordance with Town of Newburgh design standards and zoning code. Landscaping of infiltration basins, internal islands, and site perimeter should be developed consistent with other projects within the Town and in conformance with design guidelines.
3. Stormwater management plan and report has been revised to incorporate green infrastructure, run off reduction and eliminate previous retaining wall design which was proposed on the adjoining lot. Porous pavement, as well as other infiltration practices, have been incorporated into the plan to conform to Town of Newburgh and NYSDEC guidelines. This office takes no exception to the stormwater report.
4. NYSDOT approval for new access drive is outstanding.
5. County Planning comments should be received for site plan and subdivision.
6. Water system details, notes and hydrants should be coordinated with Town of Newburgh Water Department requirements.

Respectfully submitted,

***McGoey, Hauser & Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

ADA

A. DIACHISHIN AND ASSOCIATES, P.C.

Consulting Engineers and Land Surveyors

115 Yankee Folly Road New Paltz, N.Y. 12561

(845) 419-2305 ph.

(845) 419-2306 fax

e-mail: adapc@bestweb.net

November 21, 2014

Town of Newburgh Planning Board

308 Gardnertown Road

Newburgh, N.Y. 12550

attn: John Ewasutyn, Planning Board Chairman

Re: Site Plan for Webb Properties, Inc., Town of
Newburgh Planning Board **Project Number 2014-10.**

Dear Mr. Ewasutyn:

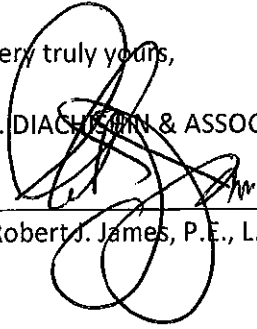
Hand delivered on this date herewith are the following items for the above captioned project.

1. Twelve (12) total of the revised site plans and details (7 sheet set).
A separate submittal of plans has been mailed to Ken Wersted at Creighton Manning Engineering, Michael Donnelly, McGoey, Hauser, and Edsall attention to Patrick Hines, P.E. (with one copy of revised SWPPP and Erosion Control Plans 2 sheet set).
2. 12 copies of a narrative explaining the project.
3. One copy of the Declaration of Easement. This is copied to Mr. Donnelly, and Mr. Hines.
4. One copy of the revised SWPPP with Erosion Control Plans (2 sheet set).
5. 12 copies of the catalog cuts for the lighting (poles and luminaires).
6. A check in the amount of \$7,500.00 to replenish the escrow account.

If you have any questions, please call.

Very truly yours,

A. DIACHESON & ASSOCIATES, P.C.



Robert J. James, P.E., L.S.

cc: Creighton Manning Engineering, LLP
2 Winners Circle
Albany, N.Y. 12205
attn: Kenneth W. Wersted, P.E.

McGoey, Hauser, and Edsall
Consulting Engineers
33 Airport Center Drive
Suite 202
New Windsor, N.Y. 12553
Patrick Hines, P.E.

Michael Donnelly, Esquire
P.O. Box 610
Goshen, N.Y. 10924

napsubmit11-20-14 sp

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November 21, 2014

Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, N.Y. 12550
John Ewasutyn, Planning Board Chairman

Re: Site Plan for Webb Properties, Inc., Town of
Newburgh Planning Board **Project Number 2014-10.**

NARRATIVE

This site plan set of 7 sheets has been revised as follows and in accordance with comments by Patrick J. Hines, P.E. of MH&E. Also the 2 sheet set of the Erosion Control Plans have been revised.

Proposed work (detention facilities) on Lot 3 have been removed at this time.

Drainage scheme, site grading, stormwater management practices and details for the proposed dealership have been revised.

Existing and proposed landscaping has been revised.

A lighting plan with intensities has been added.

Sanitary manholes have been proposed in place of sewer cleanouts.

The responses to the October 13, 2014 comment letter by Patrick J. Hines of MH&E are as follows:

1. The display pod(s) on the former bank parcel have been removed.
2. & 3. A "Declaration of Easement" has been prepared, and is attached herewith.
4. Sanitary sewer manholes have been added as well as a detail.
5. & 12. Existing and proposed landscaping has been addressed on the former bank parcel. Any disturbance on Lot 3 to the east will be re-vegetated with grass. Soil restoration practices have been added.
6. & 22. Concrete retaining walls have been removed. The planning for future construction on Lot 3 has been put on hold.
7. We are still awaiting comments from NYSDOT. They were provided with the traffic study and initial site plan on October 22nd.
8. Light poles are clarified and specified.
9. Lighting plan is now included.
10. Existing landscaping along Auto Park Place and notes have been added. grading has been revised.
- 11., 13 through 21. concern drainage system. A revised drainage plan has been prepared with a revised SWPPP.

23. The NOI has been completed as much as possible at this time.
24. No work is proposed at the existing detention pond at this time. No vertical retaining walls are proposed at this time. Guide rails are not proposed.
25. Retaining walls removed at this time.

DECLARATION OF EASEMENT

The undersigned, WEBB PROPERTIES INC., a domestic corporation having its principal place of business at 800 Auto Park Place, Newburgh, New York 12550 (the "Company") hereby declares:

WHEREAS, The Company is the owner of real property in the Town of Newburgh, Orange County, New York (the "Town") consisting of the following parcels as set forth on the tax maps of the Town; SBL 97-2-13.22, 35 and 43; and

WHEREAS, the Company has submitted to the Town of Newburgh Planning Board (the "Planning Board") an application for subdivision, and site plan approval for construction of a new Cadillac/Chevrolet automobile dealership on SBL 97-2-35("Lot 35") ; and

WHEREAS, the Planning Board requires the Company to create certain grading, construction, drainage and access easements on and over the Company's lands SBL 97-2-43, 35 and 13.22 .

NOW THEREFORE, the Company declares as follows:

1. TEMPORARY CONSTRUCTION EASEMENT

During any period of construction by the Company or its contractors on Lot 35 there shall be imposed on Lot 45 an easement over Lot 45 for the benefit of Lot 35 and Lot 13.22 during construction on lot 35 an easement for ingress and egress including but not limited to construction equipment and trucking necessary or required by construction on SBL 97-2-35, said easement and right of way to terminate and cease upon the completion of construction and the issuance by the Town of Newburgh of a certificate of occupancy for the Cadillac/Chevrolet building on Lot 35.

2. ACCESS EASEMENT

The Company imposes a non-exclusive perpetual and permanent right of way twenty (20) feet wide over the most southerly portion of Lot 45, for cars, trucks and vehicles to and from lot 35 to Unity Place and a perpetual right of way for cars, trucks and other vehicles over other lands of the Company as depicted on the "Site Plan for Webb Properties" prepared by A. Diachishin , P.C. dated May

9,2014 said right of way from N.Y S Route 17-K on the north to Auto Park Place on the south a perpetual and permanent right of way fifty (50) feet wide.

3. DRAINAGE EASEMENT

The Company imposes on Lot 45, Lot 35 and Lot 13.22 an exclusive, perpetual drainage easement on, over and under the lands of the Company to drain storm water, surface water and underground waters from Lots 35, 45 and 13.22 into the Company's detention Pond on the lands of Lot 13.22 together with the continuing right to install, maintain and repair underground pipes and drains across and under the Company's lands.

IN WITNESS WHEREOF executed this ____ day of November, 2014.

WEBB PROPERTIES INC.

By: _____

Ronald A. Barton, President

RJD/bpc/388785
66193

SB-950 Series - LED

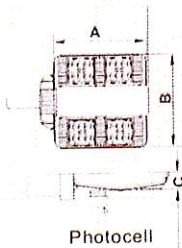
Square Shoebox Fixture



Description

The SB-LED-950-13 Series LED Shoebox evenly illuminates walkways, streets and parking areas. The Sleek design of this luminaire makes it seamlessly efficient and long-lasting. This shoebox is an ideal replacement for HID. Exceptional high-brightness, long life LEDs result in higher light levels and significant energy savings. High efficiency LEDs ensure excellent performance.

Dimensions



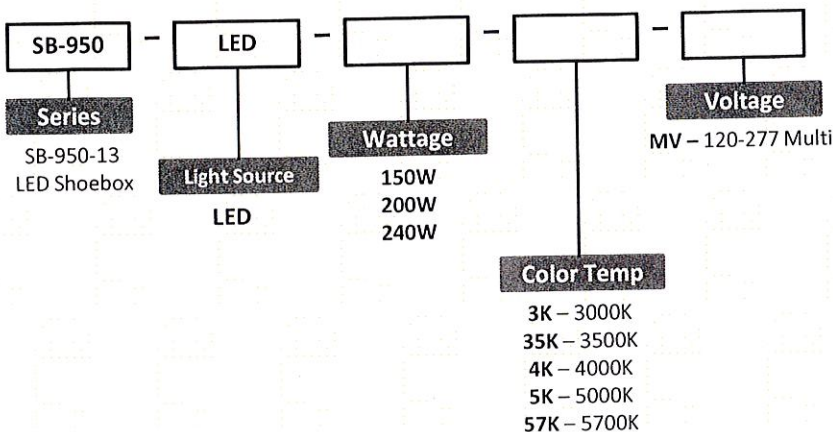
Length	Width	Height
16.5"	16.5"	3.1"

Features

- Die cast aluminum housing with excellent heat dissipation.
- Powder coat finish for corrosion and static resistance.
- Type II, Type II, and special beam angles are available upon request.
- IP65.

Ordering Information

Example: (SB-950-LED-200W-57K-MV)



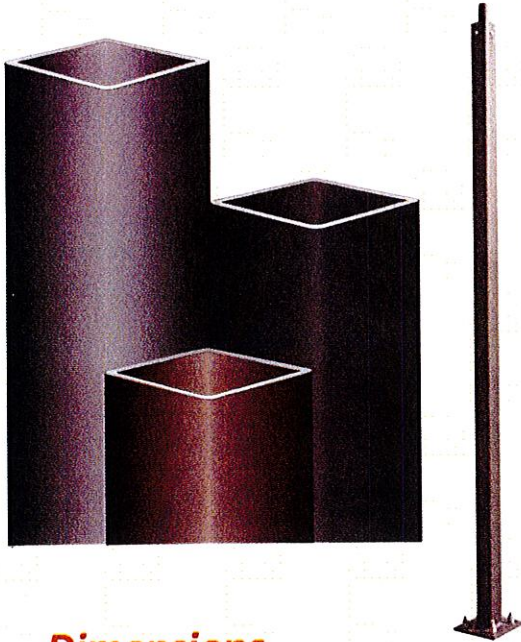
PL-2025 Series - Pole



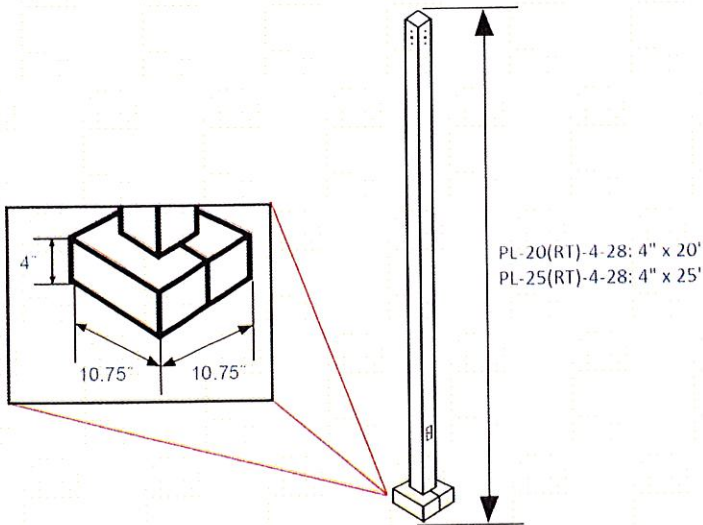
Square Steel Pole

Features

- Pre-Drilled for Side Mount, Polycarbonate Plugs Included.
- Reinforced Cast Iron Hand-Hole Cover with Ground Screw
- Easy Secured Base Cover
- Single Vertical Tenon Included. Optional Polycarbonate Spring Loaded Top Cover Available for Use in Place of Tenon.
- Set of Four (4) Anchor Bolts (J-Bolts) Included.
- Conforms to ASTM-A 500 Grade B: Minimum Yield Strength of 46,000 PSI
- Bronze Polyester Powder-Coat Finish to Ensure Maximum Pain Adhesion. Baked to Ensure Maximum Hardness & Durability.
- Wall Thickness Available in 11 Gauge (.120") or 7 Gauge (.180")
- Base Plate Size: 10.5" x 10.5" x 3/4"
- Bolt Circle: 8" to 11"
- Anchor Bolt Size: 20' – 3/4" x 30" 25' – 1" x 36"



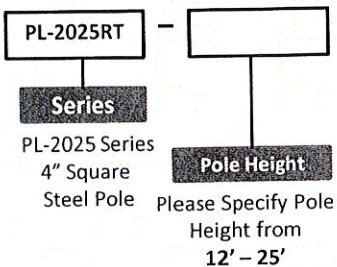
Dimensions

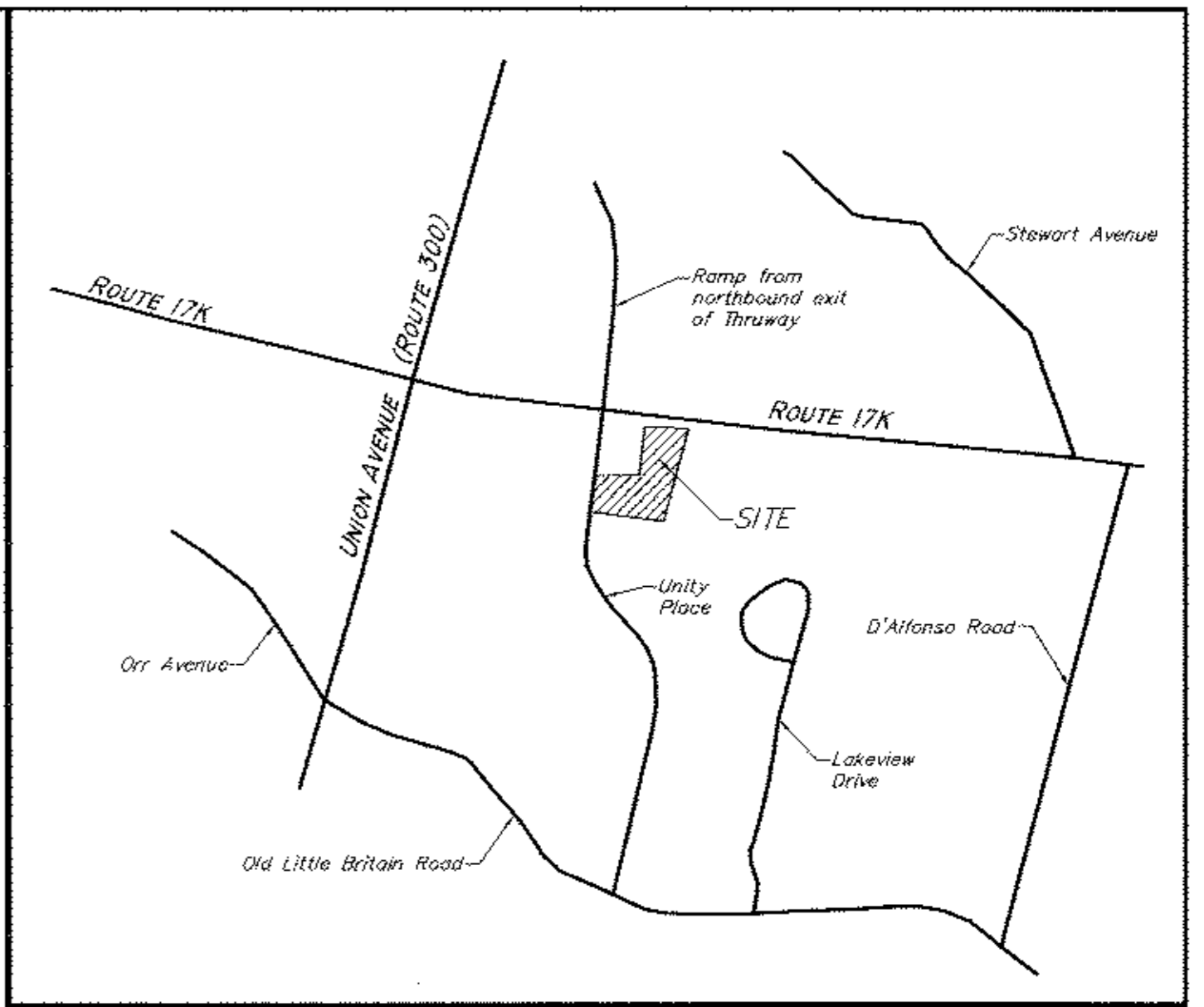
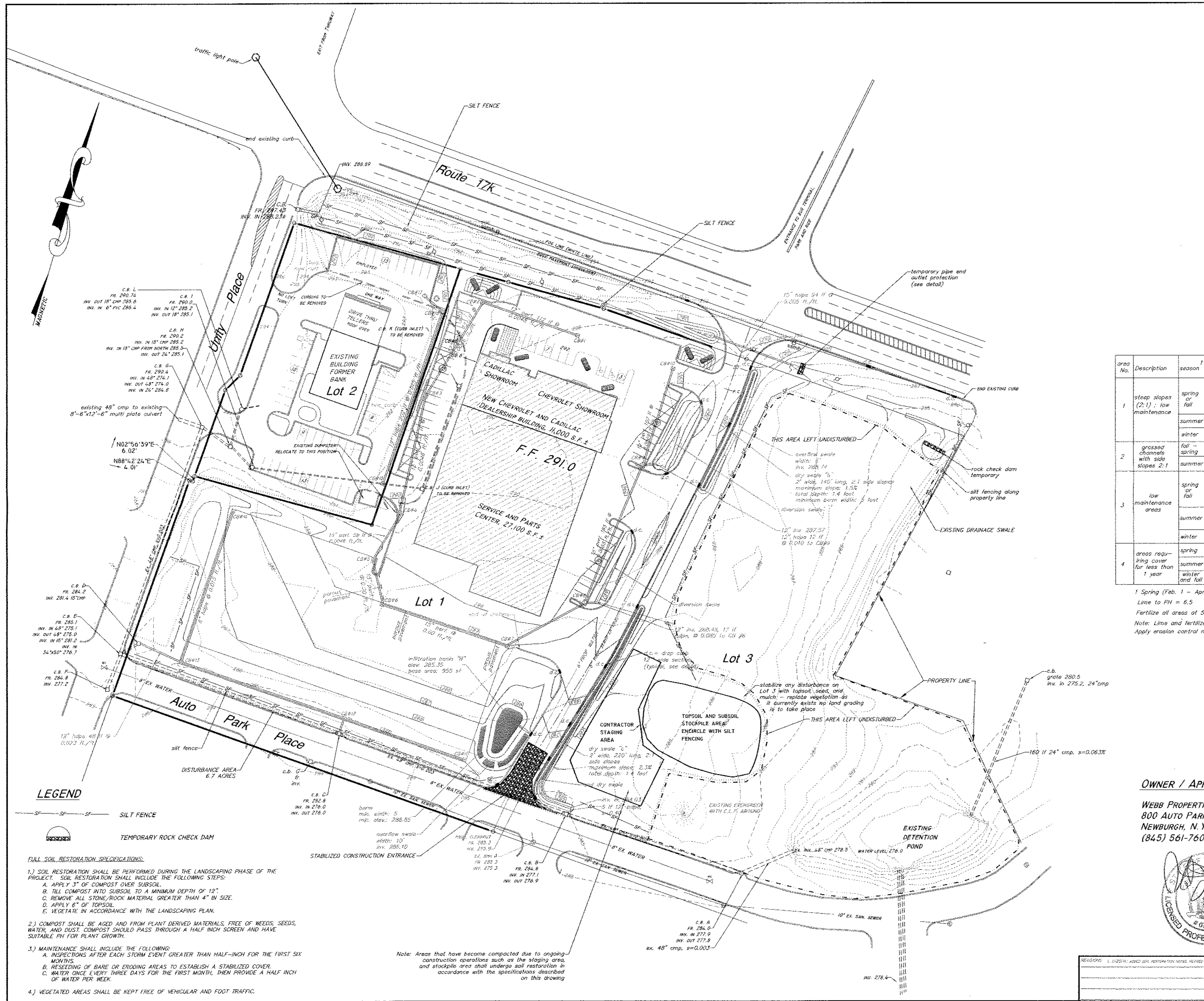


	PL-20(RT)-4-28	PL-25(RT)-4-28
Shape	Square	Square
Material	Steel	Steel
Size	4"	4"
Gauge	11	7
Weight (lbs)	146	256
80MPH Wind Specification		
Max EPA	10.1	10.7
Max Fix Weight	320 lbs	360 lbs
90MPH Wind Specification		
Max EPA	7.6	7.4
Max Fix Weight	279 lbs	319 lbs
100MPH Wind Specification		
Max EPA	5.7	5.2
Max Fix Weight	275 lbs	293 lbs

Ordering Information

Example: (PL-2025-18')





Location Map
Scale: 1"=1000'±

VEGETATIVE PLAN

Area No.	Description	Season	Permanent Seeding Mixture lb/ac	Temporary Seeding Mixture lb/ac	Seeded preparation	Seeding method	Mulch	Maintenance	Notes	
1	steep slopes (2:1); low maintenance	spring or fall	creeping red fescue or tall fescue KY-31 common 2 perennial ryegrass & Birdfoot trefoil empire 8	perennial rye 50	SP-1	SM-1	MU-1	MA-1	permanent mixture also used for low-maint. areas; overseed winter plantings of rye with kobe lespedeza in March if grading is not complete.	
		summer		German millet 40	SP-2	SM-2	MU-1	MA-5		
		winter		rye grain 120						
		fall - spring	see detail sheet							
2	grassed channels with side slopes 2:1	fall - spring	see detail sheet		SP-1	SM-2	MU-3	MA-3		
		summer	tall fescue german millet 10							
3	low maintenance areas	spring or fall	creeping red fescue or tall fescue KY-31 common 2 perennial ryegrass & Birdfoot trefoil empire 8	rye grain 120				MA-1		
		summer	tall fescue kobe lespedeza bermudagrass german millet 10		SP-3	SM-2	MU-2	MA-5		
		winter		rye grain 120						
		fall - spring	see detail sheet							
4	areas requiring cover for less than 1 year	spring		rye grain 120 perennial rye 50				MA-4	include topsoil stockpiles here and any other soil stockpiles here	
		summer		sudangrass 40	SP-2	SM-2	MU-2			
		winter		rye grain 120 perennial rye 50				MA-5		
		fall								

1 Spring (Feb. 1 - Apr. 15), summer (Apr. 15 - Aug. 20), fall (Aug. 20 - Oct. 25), winter (Oct. 25 - Jan. 1st)
Lime to PH = 6.5
Fertilize all areas at 50 lbs N,P,K per acre. Note: 2012 NYS fertilizer law specifies that the P (Phosphorus) is to be 0%
Note: Lime and fertilizer may be applied with hydromulcher.
Apply erosion control matting to grass lined channels between 2% and 5% slope.

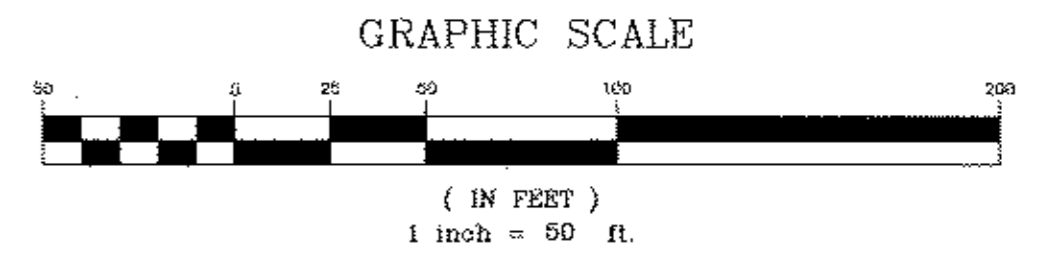
**Erosion Control Plan
Site Plan**

for
Webb Properties, Inc.

Auto Park Place
Tax Map: Section 97, Block 2, Lots 13.22, 35, and Lot 43

OWNER / APPLICANT **Town of Newburgh Orange County New York State**
Scale: 1"=50'
Date: September 30, 2014

WEBB PROPERTIES, INC.
800 AUTO PARK PLACE
NEWBURGH, N.Y. 12550
(845) 561-7600



A. DIACHISHIN AND ASSOCIATES, P.C.
LAND SURVEYORS & CONSULTING ENGINEERS
115 Yankee Folly Road New Paltz, N.Y. 12561
PHONE # (845) 419-2305 FAX # (845) 419-2306

LEGEND

- SILT FENCE
- TEMPORARY ROCK CHECK DAM

FULL SOIL RESTORATION SPECIFICATIONS:

- 1.) SOIL RESTORATION SHALL BE PERFORMED DURING THE LANDSCAPING PHASE OF THE PROJECT. SOIL RESTORATION SHALL INCLUDE THE FOLLOWING STEPS:
 - A. APPLY 3" OF COMPOST OVER SUBSOIL.
 - B. TILL COMPOST INTO SUBSOIL TO A MINIMUM DEPTH OF 12".
 - C. REMOVE ALL STONE/ROCK MATERIAL GREATER THAN 4" IN SIZE.
 - D. APPLY 6" OF TOPSOIL.
 - E. VEGETATE IN ACCORDANCE WITH THE LANDSCAPING PLAN.
- 2.) COMPOST SHALL BE AGED AND FROM PLANT DERIVED MATERIALS, FREE OF WEEDS, SEEDS, WATER, AND DUST. COMPOST SHOULD PASS THROUGH A HALF INCH SCREEN AND HAVE SUITABLE PH FOR PLANT GROWTH.
- 3.) MAINTENANCE SHALL INCLUDE THE FOLLOWING:
 - A. INSPECTIONS AFTER EACH STORM EVENT GREATER THAN HALF-INCH FOR THE FIRST SIX MONTHS.
 - B. RESEEDING OF BARE OR ERODING AREAS TO ESTABLISH A STABILIZED COVER.
 - C. WATER ONCE EVERY THREE DAYS FOR THE FIRST MONTH, THEN PROVIDE A HALF INCH OF WATER PER WEEK.
- 4.) VEGETATED AREAS SHALL BE KEPT FREE OF VEHICULAR AND FOOT TRAFFIC.

Note: Areas that have become compacted due to ongoing construction operations such as the staging area, and stockpile area shall undergo soil restoration in accordance with the specifications described on this drawing

REVISED	DATE	BY	DESCRIPTION
D	10/1/14	AD	14G1834
SCALE	DATE	NO.	REV.
1" = 50'	209		1 of 2

ZONING DISTRICT: IB (INTERCHANGE BUSINESS)

	LOT 1 (97-2-35)		LOT 2 (97-2-43)		LOTS 5 AND 6 (97-2-11.2)		LOT 7 (97-2-37)		LOTS 3 AND 4 (97-2-13.27)		LOT 3		LOT 4	
	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
MINIMUM LOT AREA WITH OR WITHOUT PUBLIC WATER OR SEWER (SQUARE FEET)	4,667 ac. 203,294 s.f.	5,117 ac. 222,901 s.f.	1,746 ac. 76,058 s.f.	1,342 ac. 58,438 s.f.	8.3 acres 361,348 s.f.	Lot 6 4,262 ac. 185,654 s.f. Lot 5 4,257 ac. 185,414 s.f.	1,301 ac. 56,684 s.f.	1,545 ac. 67,296 s.f.	15,29 ac. 665,978 s.f.	4,585 ac. 199,722 s.f.	10,382 ac. 452,238 s.f.			
MINIMUM YARDS					Lot 6 46.9' Lot 5 110'	Lot 6 46.9' Lot 5 110'	48' / 31.9'	48' / 31.9'	124' to row*		124' to row*			
FRONT YARD (FEET)	50	78.8' / 50'	58' to overhang	58' to overhang										
REAR YARD (FEET)	60	270'	124'	118'			210'	210'	404'		404'			
SIDE YARD (FEET)	30/80	50.6' only one side	112' only one side	56.9' only one side			78'	79'	61' / 241'		61' / 241'			
MINIMUM LOT WIDTH	150'	277'	324' (17K)	246' (17K)	191' (17K)		187'	187'	255'	255'	559' along auto park place			
MINIMUM LOT DEPTH	150'	584'	584'	305'	298'		349'	349'	1239'	511'	728'			
MAXIMUM BUILDING COVERAGE (PERCENT)	40%	17.1%	8.6% with overhang	11.1% with overhang	overall 6.1%	Lot 6 7.6% Lot 5 4.3%	7.9%	6.6%	5.8%	0%	10%			
MAXIMUM LOT SURFACE COVERAGE (PERCENT)	80%	8.1%	79.9% see site plan new building	7.3%	7.3%	overall 57.7%	Lot 6 69% Lot 5 46.6%	47.8%	54.5%	37%	9.8% with proposed access road	5.7%	49.4%	
MAXIMUM HEIGHT STORES HEIGHT (FEET)	2.5	2	2	2	overall 30±	Lot 6 20± Lot 5 30±	15±	15±	20±		20±			

Notes:
 1. * Denotes measurements from Auto Park Place Right of Way from buildings and overhangs. Although property lines change, the 50' wide right of way location, and setbacks remain unchanged.
 2. ** Denotes lots have 2 frontages (17K and Auto Park Place). Therefore there is only one side yard.
 3. *** Denotes lot widths and depths using Route 17K as the front lot widths.

OWNERS ENDORSEMENT

I, hereby approve this plan and consent to filing said plan in the Orange County Clerks Office.

Signed this _____ day of _____, 2014

PLANNING BOARD ENDORSEMENT

Approved by resolution of the Planning Board of the Town of Newburgh, subject to all requirements and conditions of said resolution. Any change, erratum, modification or revision of this plan as approved shall void this approval.

Signed this _____ day of _____, 2014

Chairman

TABLE OF ACRES

OWNER	CURRENT OCCUPANCY	TAX LOT #	EXISTING ACRES	PROPOSED ACRES	TYPE OF ACTION
BIRKS REALTY, INC.	AUTO DEALER	97-2-11.2	8.3 ACRES	4.262 ACRES	SUBDIVISION LOT 6
	OFFICE BUILDING			4.257 ACRES	SUBDIVISION LOT 5
WEBB PROPERTIES, INC.	CHASE BANK	97-2-32	1.301 ACRES	1.545 ACRES	REVISED LOT LINE LOT 7
WEBB PROPERTIES, INC.	GM SERVICE CENTER	97-2-13.22 PART	15.29 ACRES	4.585 ACRES	SUBDIVISION LOT 3
				10.382 ACRES	SUBDIVISION LOT 4
WEBB PROPERTIES, INC.	FORMER BANK	97-2-43	1.746 ACRES	1.342 ACRES	REVISED LOT LINE LOT 2
WEBB PROPERTIES, INC.	VACANT	97-2-35	4.667 ACRES	5.117 ACRES	SUBDIVISION LOT 1

Previous Subdivision Reference:

1. Subdivision of Webb Properties, Inc. Filed in the Orange County Clerks Office as filed map #8448 on August 20, 1987. Former tax lots # 11, 12, 22 and 13.
2. Subdivision of Webb Properties, Inc. Filed in the Orange County Clerks Office as filed map #9449. Subdivision lots 1, 2, and 3.
3. Subdivision plan Newburgh Auto Park. Filed in the Orange County Clerks Office as filed map #10440 on December 30, 1991. Subdivision lots 1, 2, and 3.
4. Subdivision and lot line change for Webb, YU, Tighe. Filed in the Orange County Clerks Office as filed map #236-01 on November 7, 2001. Tax lots 11.2, 13.2, 13.2, and 32.
5. Lot Line Change for Webb Properties, Inc. Filed in the Orange County Clerks Office as filed as map number 288-04 on April 26, 2004.

Subdivision Notes:

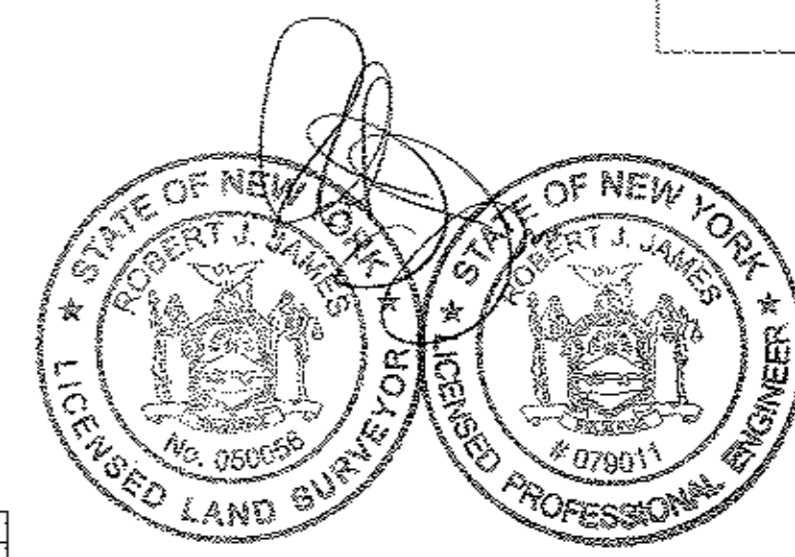
1. These lots in the subdivision have deeded or leased rights for ingress/egress to Route 17K and to water, sewer, gas, and electrical utilities.
2. Drainage, sewerage, water mains, electric and gas services in the road known as Auto Park Place are existing.
3. Auto Park Place is paved and curbed, and is within a 50' wide right of way.
4. All lots are served by municipal water and sewer.

CURVE TABLE

CURVE	LENGTH (FT.)	RADIUS
C1	71.32	520.00
C2	76.22	325.00
C3	80.17	155.00
C4	155.01	525.00
C5	126.21	325.00
C6	39.52	25.00
C7	106.79	275.00
C8	140.25	475.00
C9	54.31	105.00
C10	64.49	275.00
C11	64.47	470.00

LINE TABLE

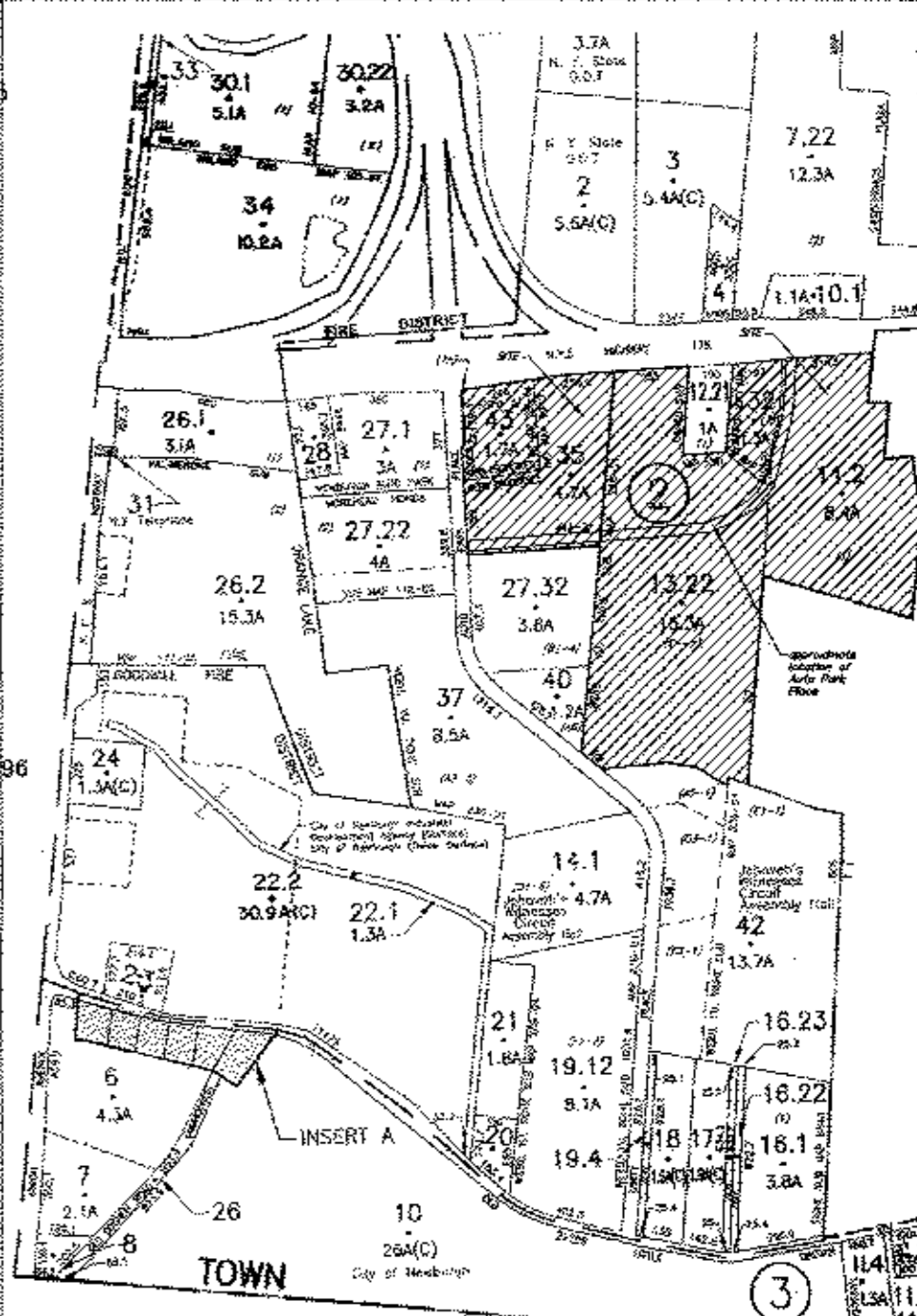
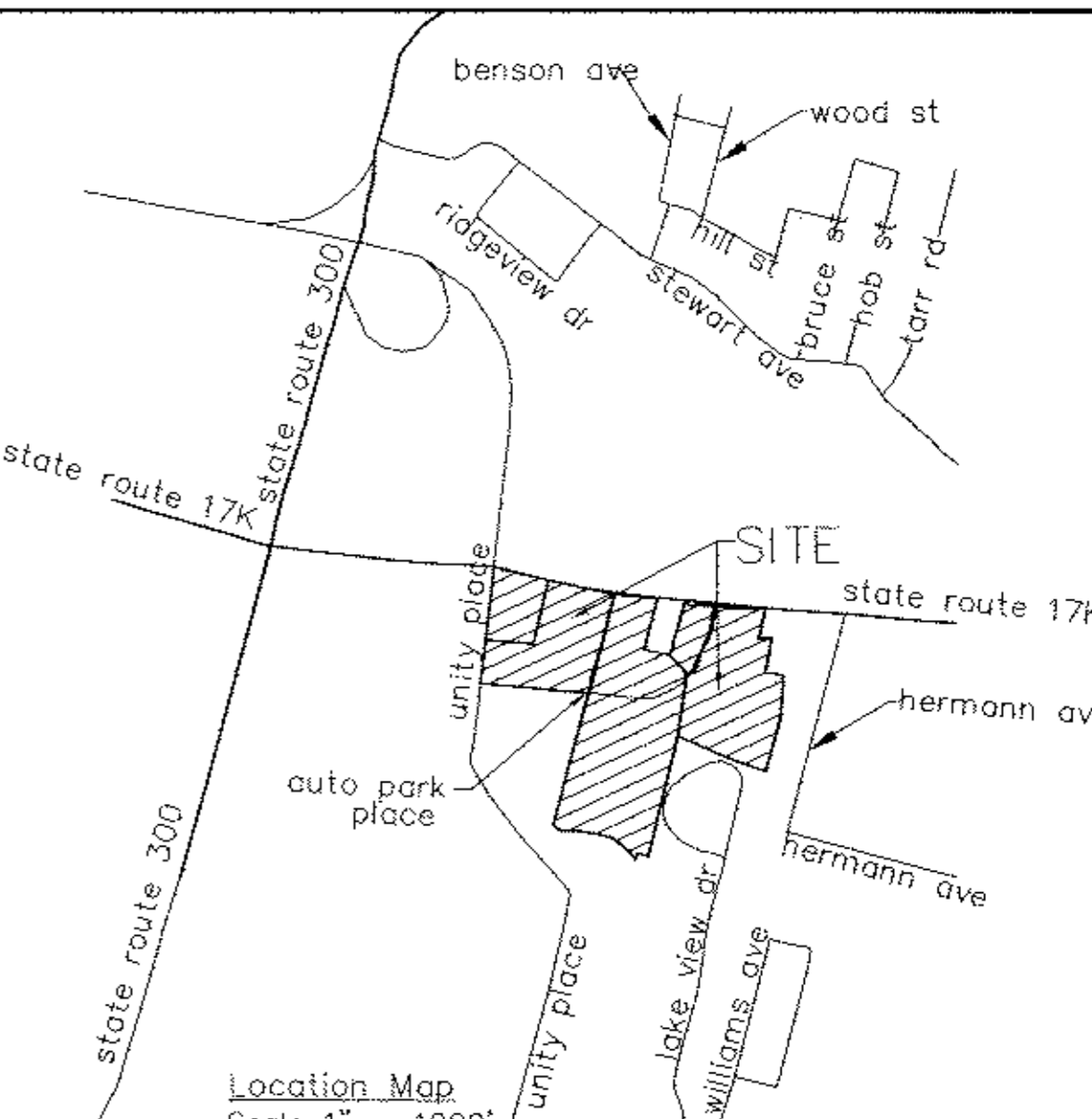
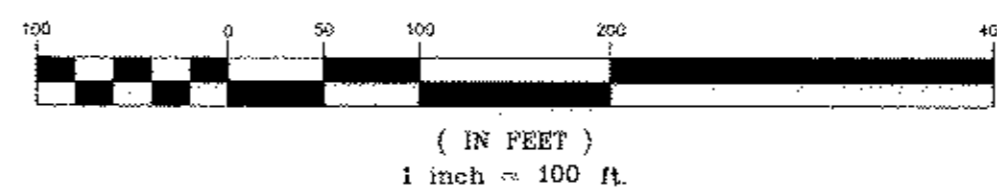
LINE	Bearing	Length (ft.)
L1	N 88°00'19" W	50.00'
L2	N 02°50'57" E	6.74'
L3	N 10°42'23" E	192.89'
L4	N 2°03'54" E	184.02'
L5	S 87°03'17" E	747.16'
L6	N 03°03'24" E	75.05'
L7	N 83°49'20" W	51.09'
L8	S 88°43'40" W	13.02'
L9	N 02°58'43" E	22.96'
L10	N 28°45'30" E	171.04'
L11	N 02°58'43" E	171.04'
L12	N 87°03'17" W	722.02'
L13	S 24°08'34" W	184.00'
L14	S 10°42'23" W	102.89'
L15	S 02°50'57" W	6.01'
L16	S 92°58'43" W	196.78'
L17	S 88°42'24" W	4.01'



OWNER/APPLICANT

BIRKS REALTY, INC.
 WEBB PROPERTIES, INC.
 800 AUTO PARK PLACE
 NEWBURGH, N.Y. 12550
 (845) 561-7600

GRAPHIC SCALE



Tax Map: Section 97
 Scale: 1"=800'

Subdivision Plat
 of Lands of

Birks Realty, Inc. & Webb Properties, Inc.

- Tax Map: Section 97, Block 2, Lot 11.2
Liber 1740, Page 398
- Tax Map: Section 97, Block 2, Lot 13.22
Liber 2281, Page 836
- Tax Map: Section 97, Block 2, Lot 32
Liber 3594, Page 327
- Tax Map: Section 97, Block 2, Lot 35
Liber 2484, Page 113
- Tax Map: Section 97, Block 2, Lot 43
f.m. 288-04

Town of Newburgh Orange County New York State
 Scale: 1"=100' Date: November 1, 2014

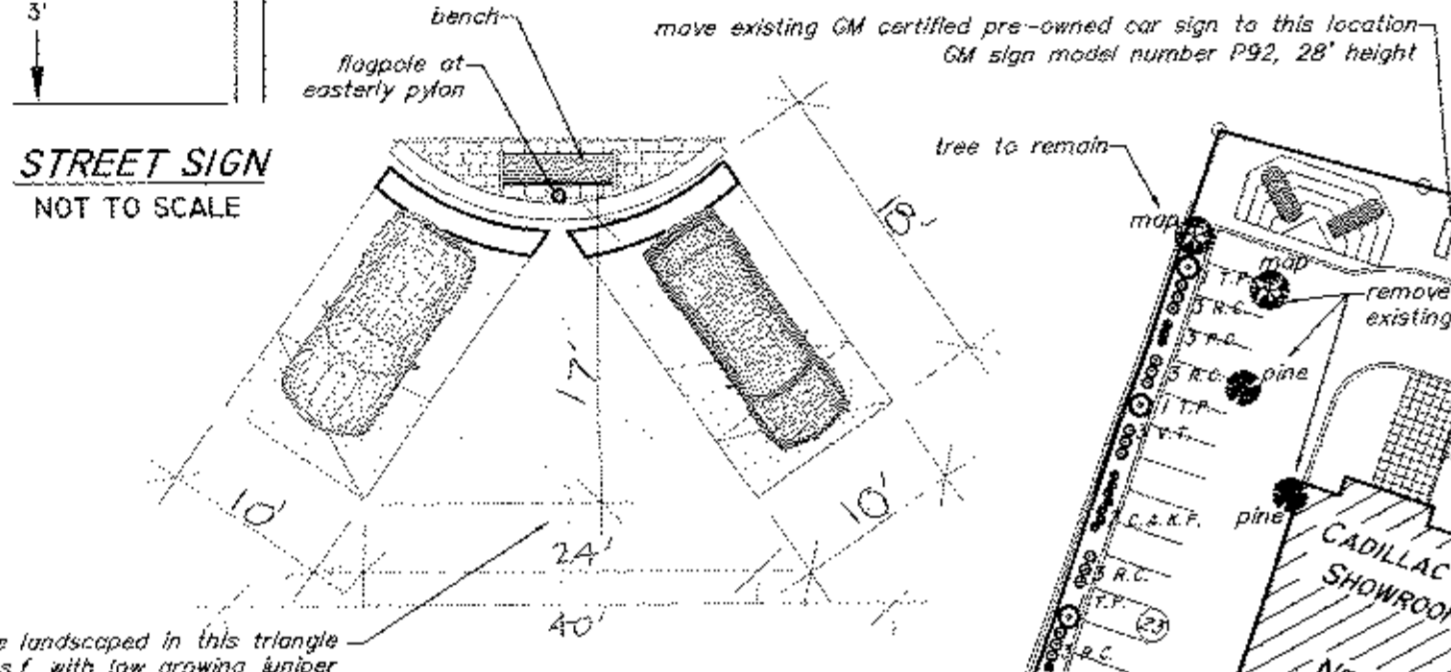
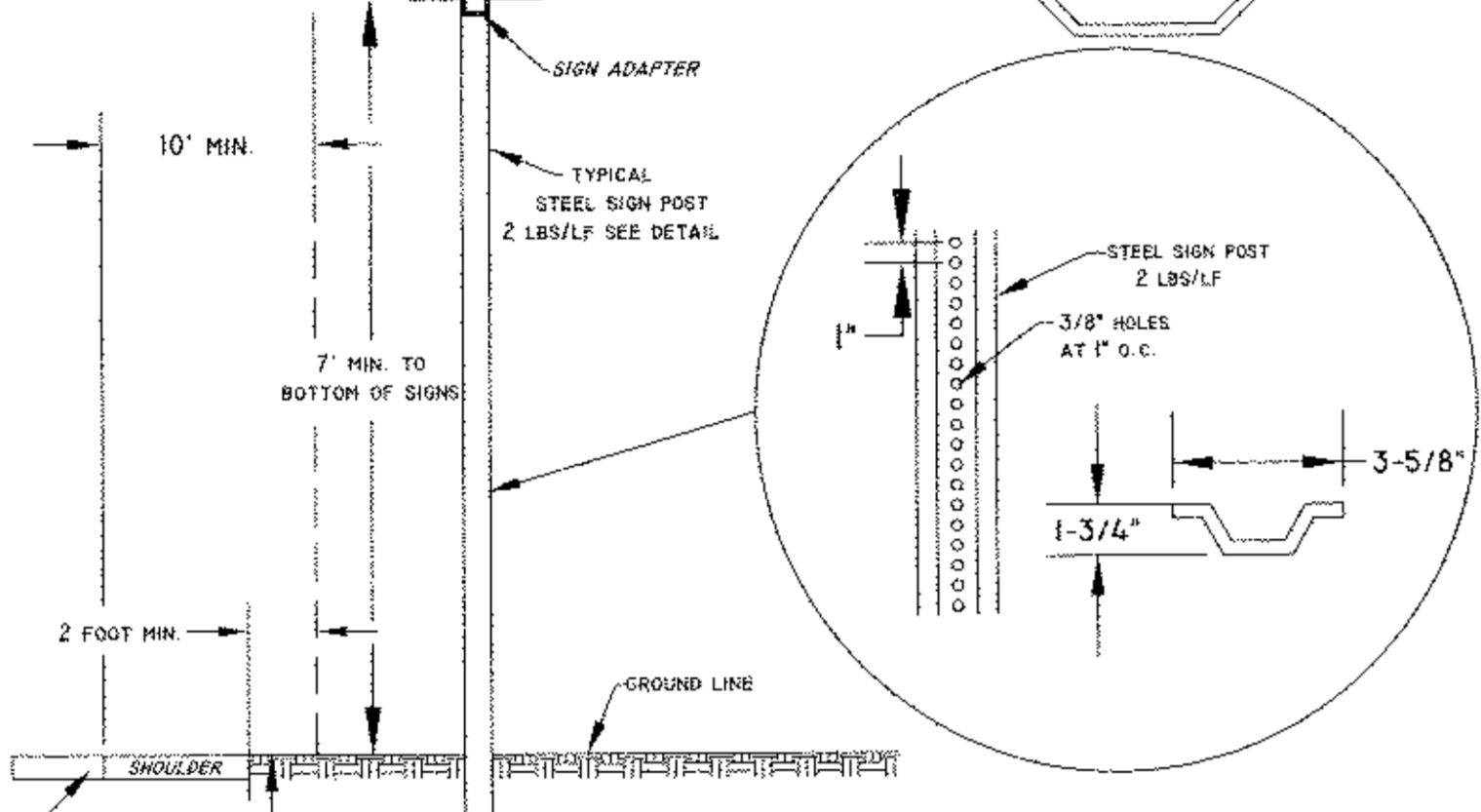
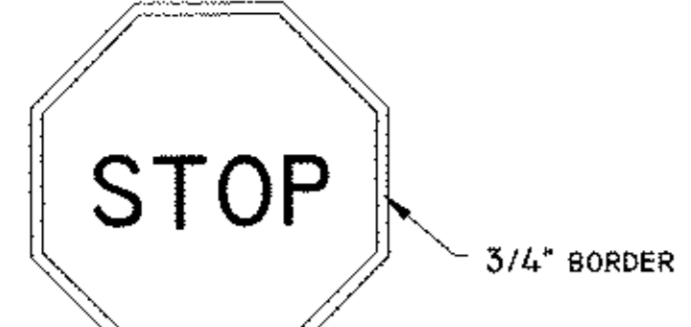
A. DIACHISHIN AND ASSOCIATES, P.C.
 LAND SURVEYORS & CONSULTING ENGINEERS
 115 Yankee Folly Road New Paltz, N.Y. 12561
 PHONE # (845) 419-2205 FAX # (845) 419-2306

Auto Park Place Right of Way Detail
 Scale: 1" = 100'

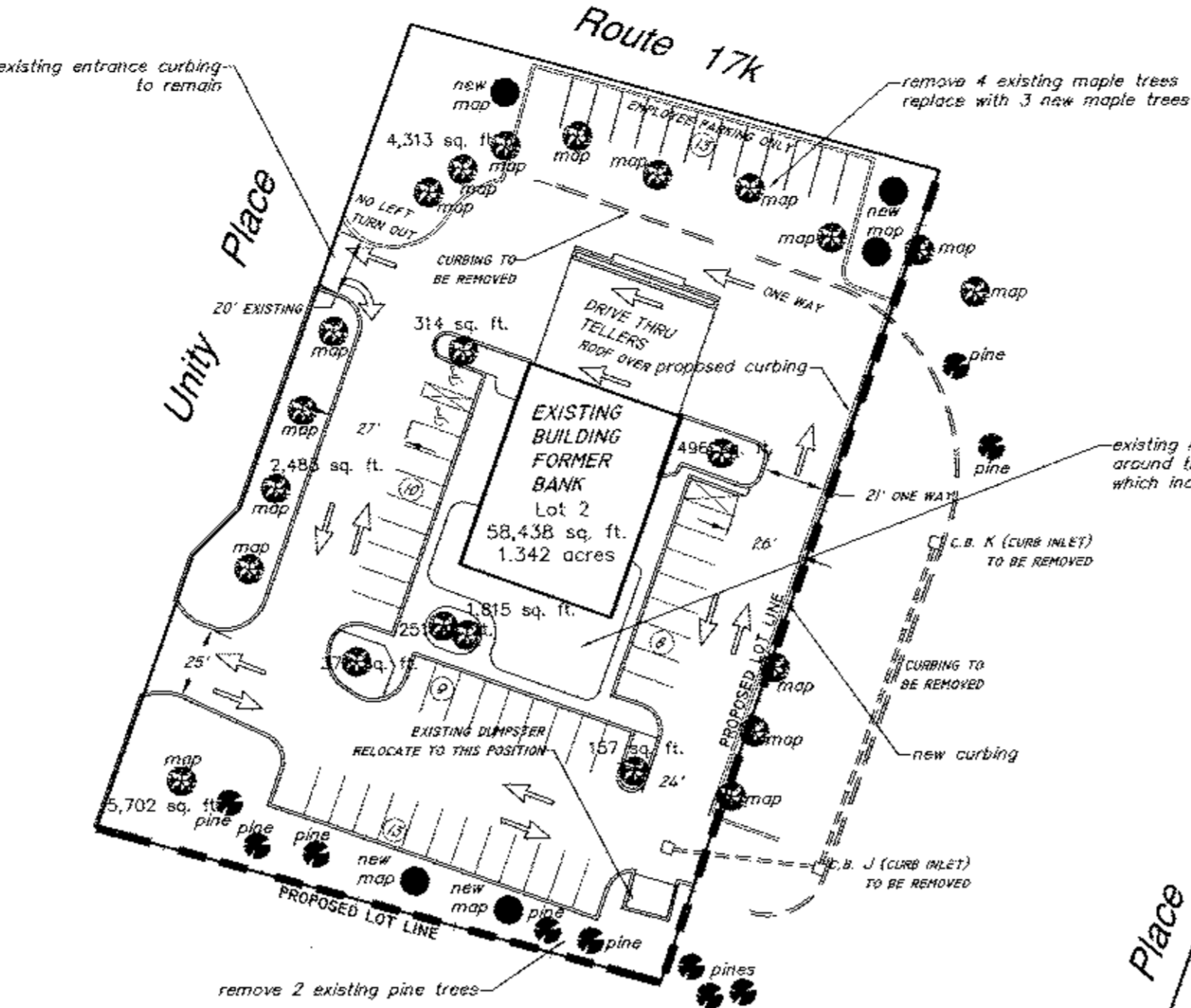
DATE	PROJECT NO.	DRAWING NO.	REV.
11/20/2014	1461589, 1461834		
SCALE	FIELD BOOK NO.	SHEET	REV.
1" = 100'		1 of 7	

LETTERING AND BORDERS:
 1. SIGN LETTERING SHALL BE ESSENTIALLY IN ACCORDANCE WITH THE STANDARD ALPHABET FOR HIGHWAY SIGNS AS PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION. THE SIZE AND SERIES DESIGNATION SHOWN IN THE TABULATION ACCOMPANYING THE SIGN ILLUSTRATIONS REFER TO THIS STANDARD ALPHABET. LETTERS LARGER THAN THOSE SHOWN IN THE STANDARD ALPHABET SHOULD BE INCREASED PROPORTIONATELY.

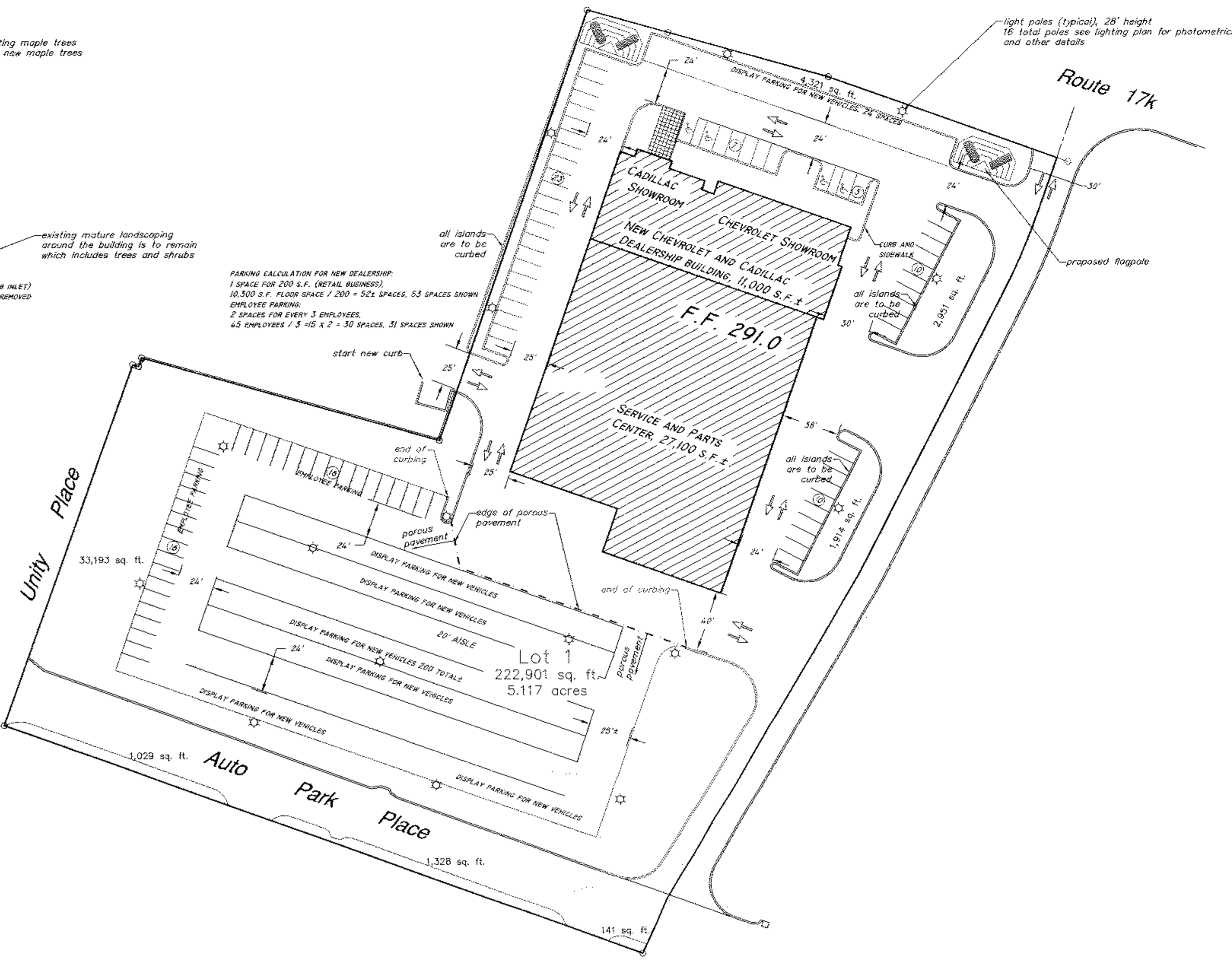
RED BACKGROUND WHITE LEGEND & BORDER REFLECTORIZED ON ALUMINUM BLANK 0.08 INCHES THICK MARGIN: NONE



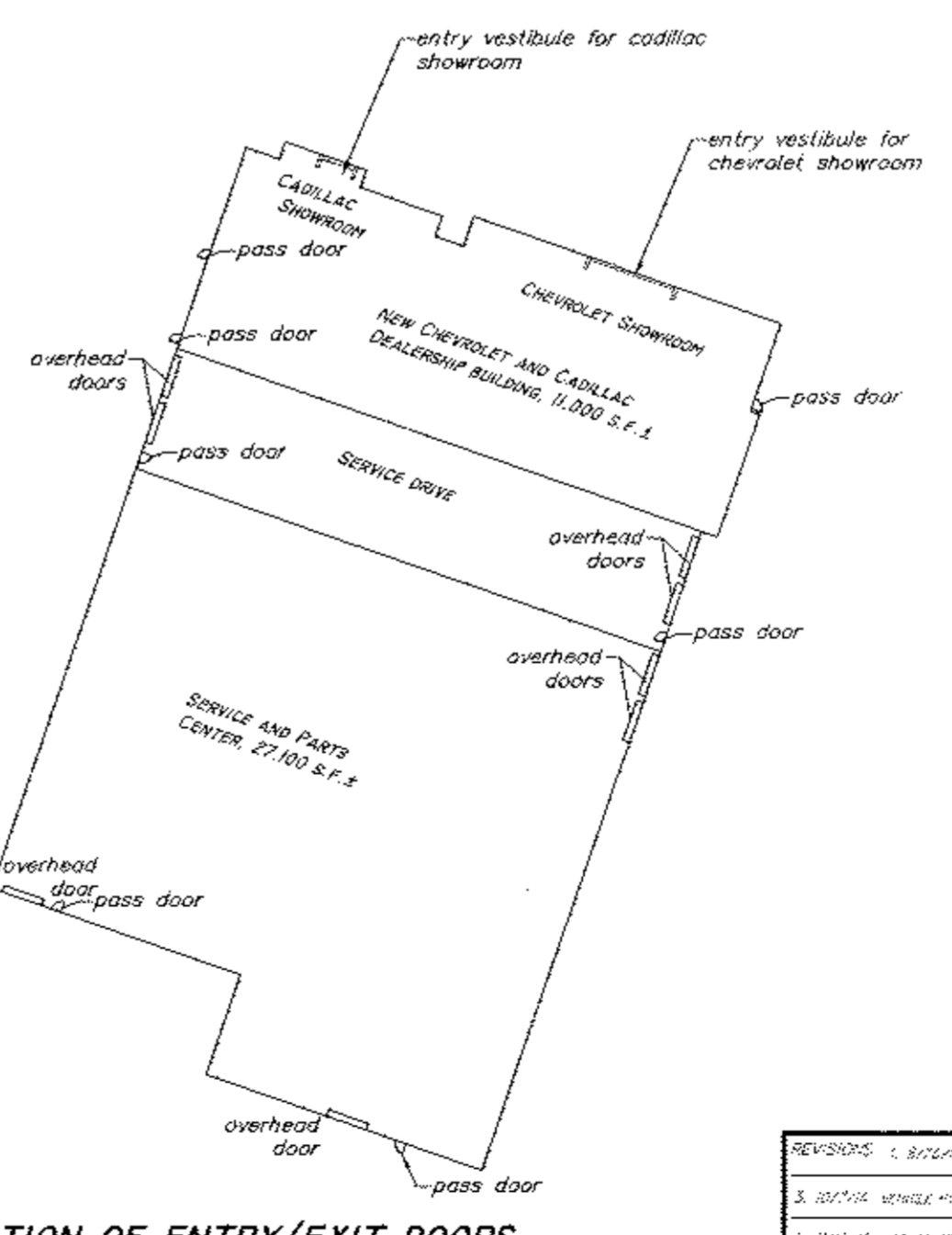
STREET SIGN NOT TO SCALE



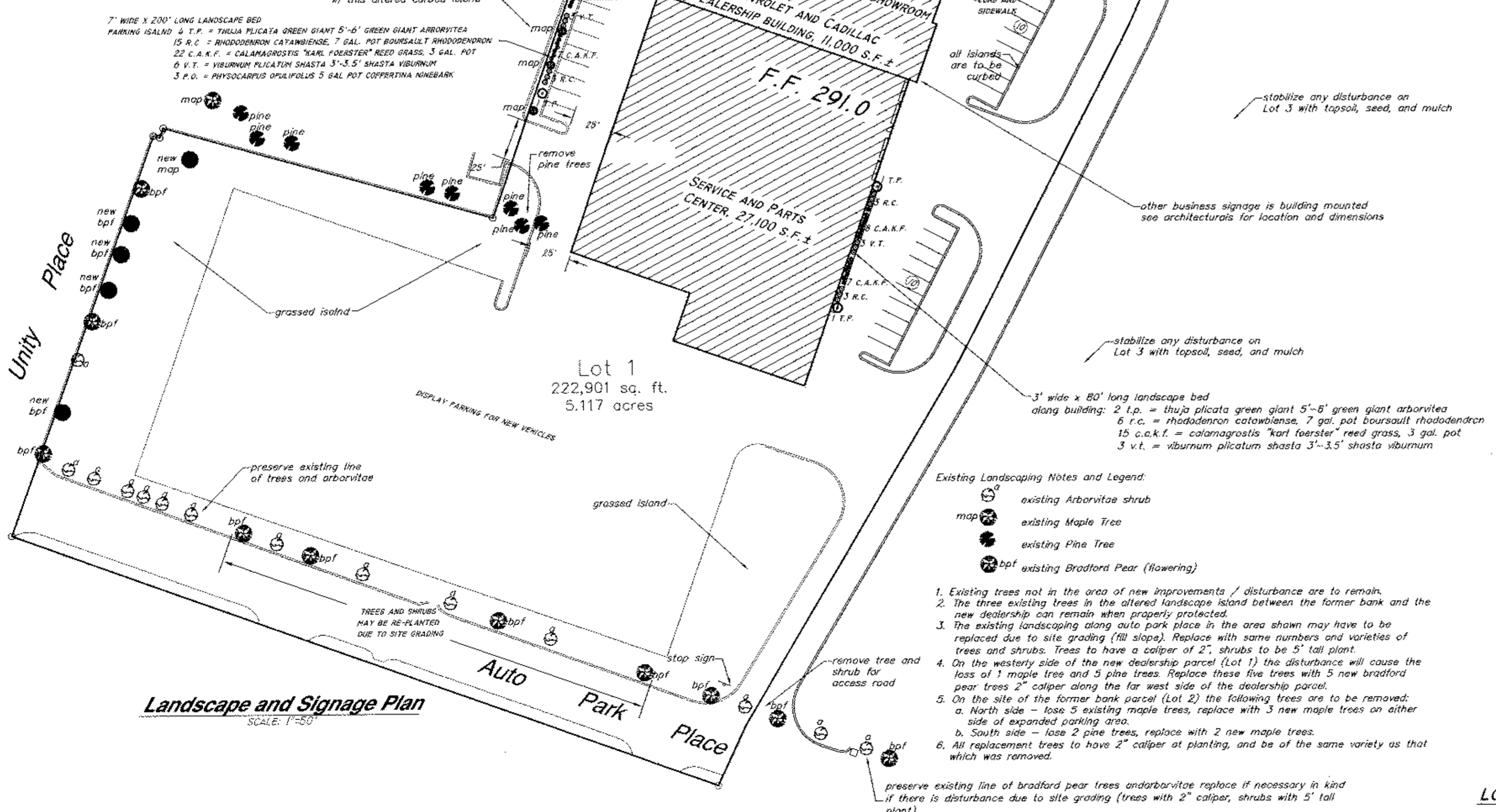
LANDSCAPING AND LOT COVERAGE CALCULATION
 SCALE: 1"=50'
 PROPOSED LOT OPEN SPACE 15,909 S.F. OR 27%± OF TOTAL LOT AREA
 PROPOSED LOT COVERAGE = 73%, MAXIMUM LOT COVERAGE = 80%



PROPOSED LOT COVERAGE CALCULATION AND AISLE WIDTHS, PARKING LAYOUT, LIGHTING
 SCALE: 1"=50'
 PROPOSED LOT OPEN SPACE 44,877 S.F. OR 20.1% OF TOTAL LOT AREA
 PROPOSED LOT COVERAGE = 79.9%, MAXIMUM LOT COVERAGE = 80%



LOCATION OF ENTRY/EXIT DOORS
 SCALE: 1"=50'



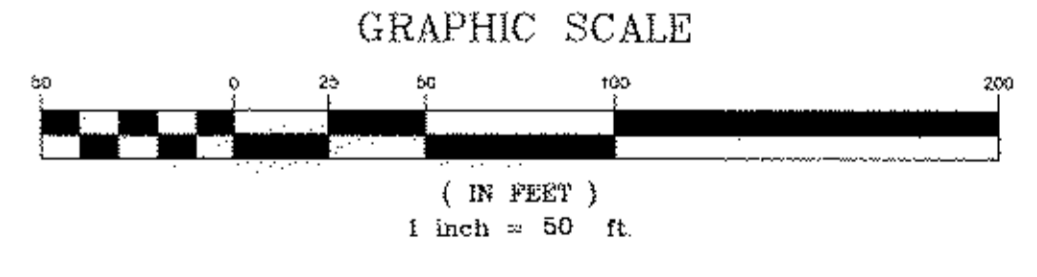
Landscape and Signage Plan
 SCALE: 1"=50'

- Existing Landscaping Notes and Legend:**
- existing Arborvitae shrub
 - existing Maple Tree
 - existing Pine Tree
 - existing Bradford Pear (flowering)
1. Existing trees not in the area of new improvements / disturbance are to remain.
 2. The three existing trees in the altered landscape island between the former bank and the new dealership can remain when properly protected.
 3. The existing landscaping along auto park place in the area shown may have to be replaced due to site grading (fill slope). Replace with same numbers and varieties of trees and shrubs. Trees to have a caliper of 2", shrubs to be 5' tall plant.
 4. On the westerly side of the new dealership parcel (Lot 1) the disturbance will cause the loss of 1 maple tree and 3 pine trees. Replace these five trees with 5 new Bradford pear trees 2" caliper along the far west side of the dealership parcel.
 5. On the site of the former bank parcel (Lot 2) the following trees are to be removed:
 - a. North side - lose 5 existing maple trees, replace with 3 new maple trees on either side of expanded parking area.
 - b. South side - lose 2 pine trees, replace with 2 new maple trees.
 6. All replacement trees to have 2" caliper at planting, and be of the same variety as that which was removed.

Landscaping, Signage, Lot Coverage Calculations Site Plan for Webb Properties, Inc.

Auto Park Place
 Tax Map: Section 97, Block 2, Lots 13.22, 35, and Lot 43

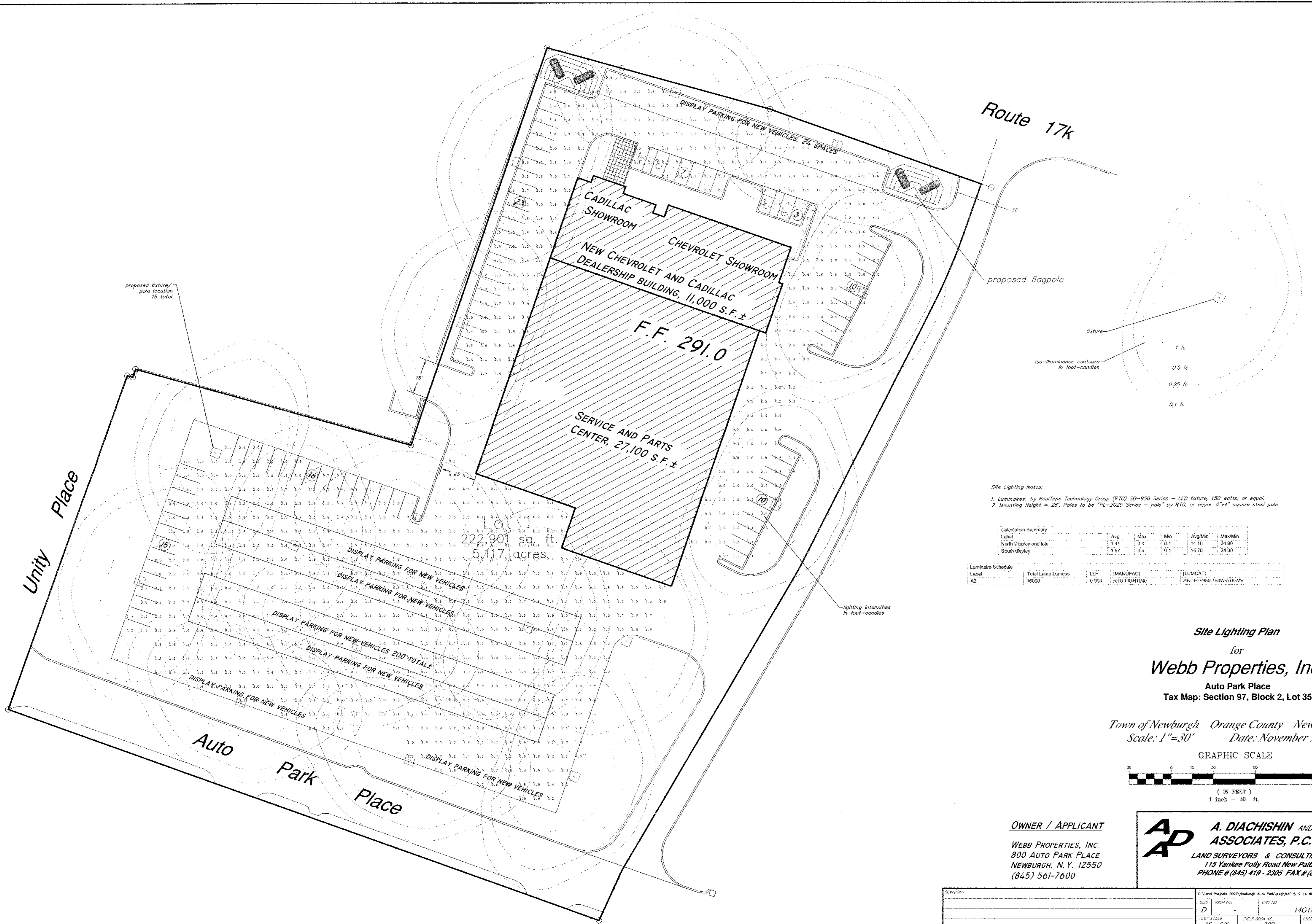
Town of Newburgh Orange County New York State
 Scale: 1"=50' Date: July 24, 2014



OWNER / APPLICANT
 WEBB PROPERTIES, INC.
 800 AUTO PARK PLACE
 NEWBURGH, N.Y. 12550
 (845) 561-7600

A. DIACHISHIN AND ASSOCIATES, P.C.
 LAND SURVEYORS & CONSULTING ENGINEERS
 115 Yankee Folly Road New Paltz, N.Y. 12561
 PHONE # (845) 419-2305 FAX # (845) 419-2306

NO. 1	DATE	11/20/2014
NO. 2	DATE	11/20/2014
NO. 3	DATE	11/20/2014
NO. 4	DATE	11/20/2014
NO. 5	DATE	11/20/2014
NO. 6	DATE	11/20/2014
NO. 7	DATE	11/20/2014
NO. 8	DATE	11/20/2014
NO. 9	DATE	11/20/2014
NO. 10	DATE	11/20/2014
NO. 11	DATE	11/20/2014
NO. 12	DATE	11/20/2014
NO. 13	DATE	11/20/2014
NO. 14	DATE	11/20/2014
NO. 15	DATE	11/20/2014
NO. 16	DATE	11/20/2014
NO. 17	DATE	11/20/2014
NO. 18	DATE	11/20/2014
NO. 19	DATE	11/20/2014
NO. 20	DATE	11/20/2014
NO. 21	DATE	11/20/2014
NO. 22	DATE	11/20/2014
NO. 23	DATE	11/20/2014
NO. 24	DATE	11/20/2014
NO. 25	DATE	11/20/2014
NO. 26	DATE	11/20/2014
NO. 27	DATE	11/20/2014
NO. 28	DATE	11/20/2014
NO. 29	DATE	11/20/2014
NO. 30	DATE	11/20/2014
NO. 31	DATE	11/20/2014
NO. 32	DATE	11/20/2014
NO. 33	DATE	11/20/2014
NO. 34	DATE	11/20/2014
NO. 35	DATE	11/20/2014
NO. 36	DATE	11/20/2014
NO. 37	DATE	11/20/2014
NO. 38	DATE	11/20/2014
NO. 39	DATE	11/20/2014
NO. 40	DATE	11/20/2014
NO. 41	DATE	11/20/2014
NO. 42	DATE	11/20/2014
NO. 43	DATE	11/20/2014
NO. 44	DATE	11/20/2014
NO. 45	DATE	11/20/2014
NO. 46	DATE	11/20/2014
NO. 47	DATE	11/20/2014
NO. 48	DATE	11/20/2014
NO. 49	DATE	11/20/2014
NO. 50	DATE	11/20/2014

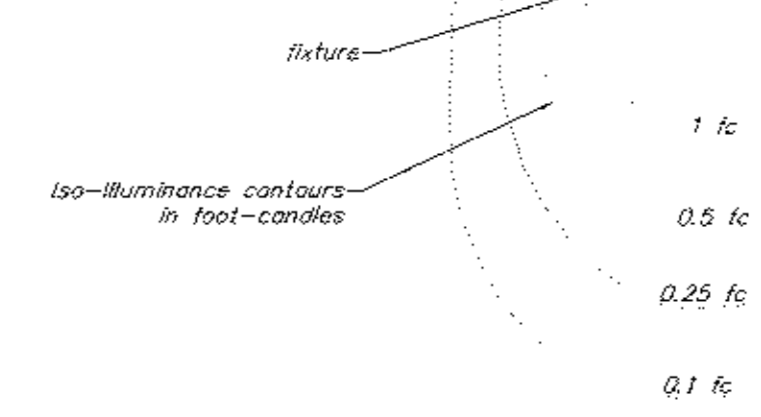


Route 17k

Unity Place

Auto Park Place

proposed flagpole



Site Lighting Notes:

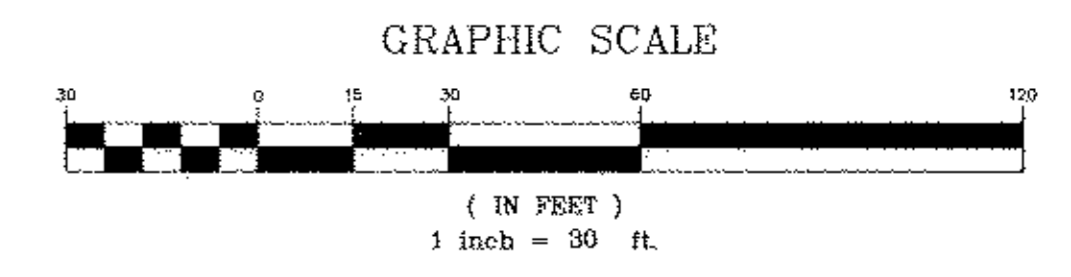
1. Luminaires: by RealTime Technology Group (RTG) SB-950 Series - LED fixture, 150 watts, or equal.
2. Mounting Height = 28'. Poles to be "PL-2025 Series - pole" by RTG, or equal 4"x4" square steel pole.

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
North Display and lots	1.41	3.4	0.1	14.10	34.00
South display	1.57	3.4	0.1	15.70	34.00

Luminaire Schedule			
Label	Total Lamp Lumens	LLF	[MANUFAC] [LUMCAT]
A2	18000	0.900	RTG LIGHTING SB-LED-950-150W-57K-MV

Site Lighting Plan
for
Webb Properties, Inc.
Auto Park Place
Tax Map: Section 97, Block 2, Lot 35

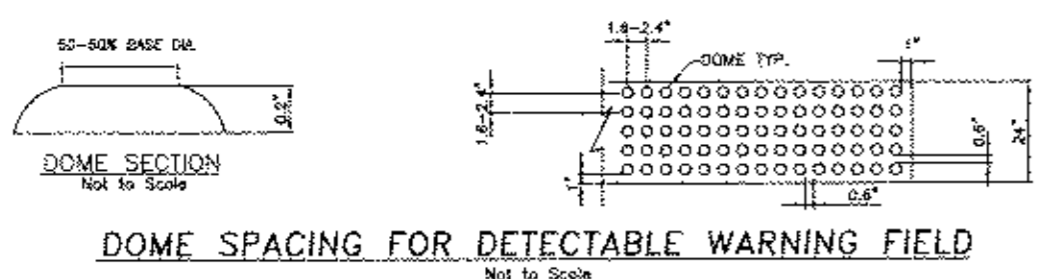
Town of Newburgh Orange County New York State
Scale: 1"=30' Date: November 14, 2014



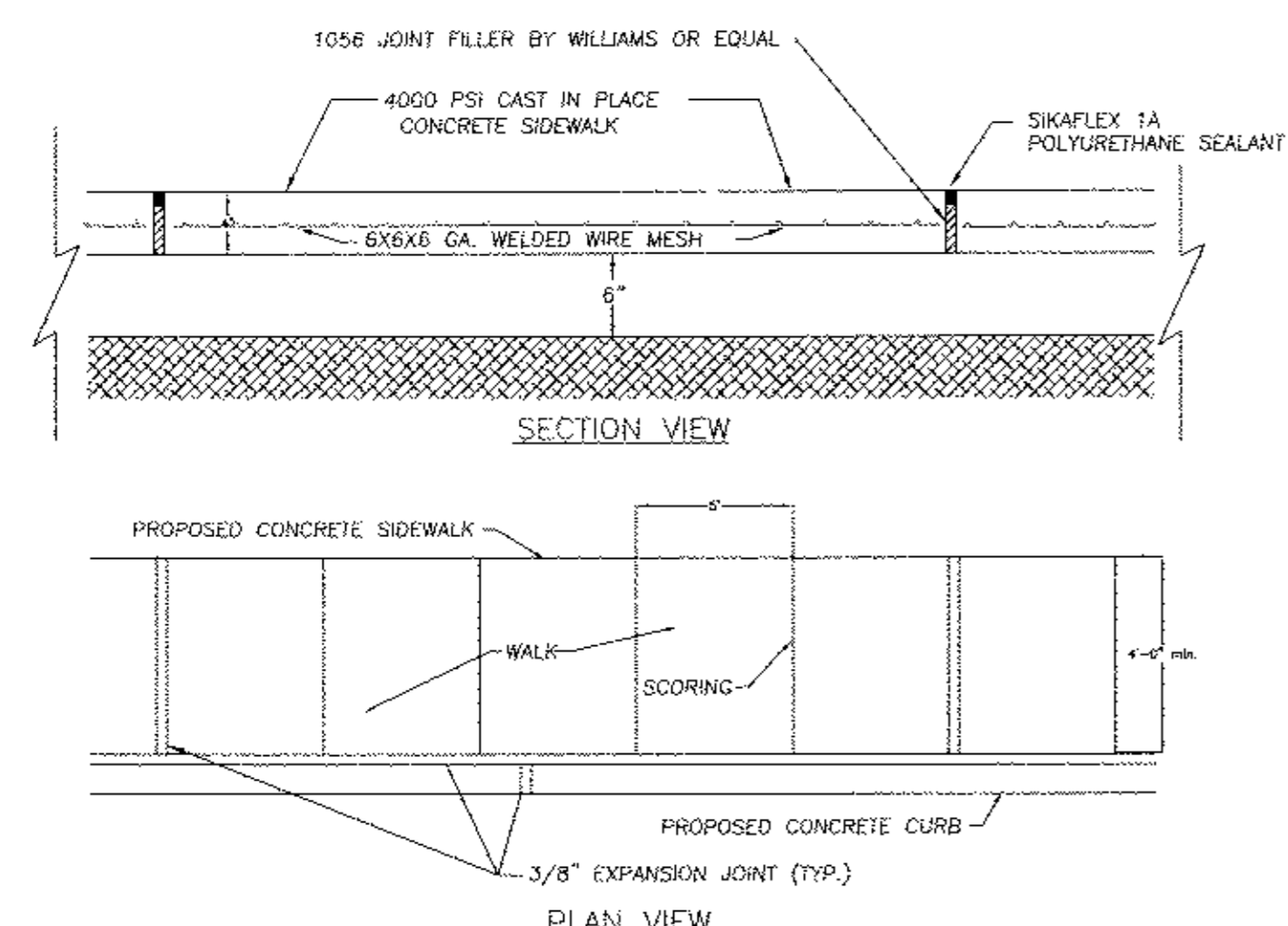
OWNER / APPLICANT
WEBB PROPERTIES, INC.
800 AUTO PARK PLACE
NEWBURGH, N. Y. 12550
(845) 561-7600

AD **A. DIACHISHIN AND ASSOCIATES, P.C.**
LAND SURVEYORS & CONSULTING ENGINEERS
115 Yankee Folly Road New Paltz, N. Y. 12561
PHONE # (845) 419 - 2305 FAX # (845) 419 - 2306

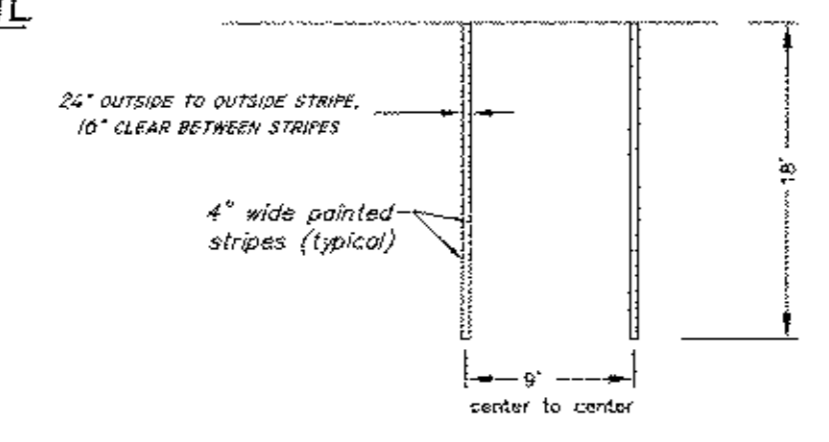
DATE	DESCRIPTION	DWG. NO.	REV.
D		14G1834	
PROJECT SCALE	FIELD BOOK NO.	SHEET	
1" = 30'	209	4 of 7	



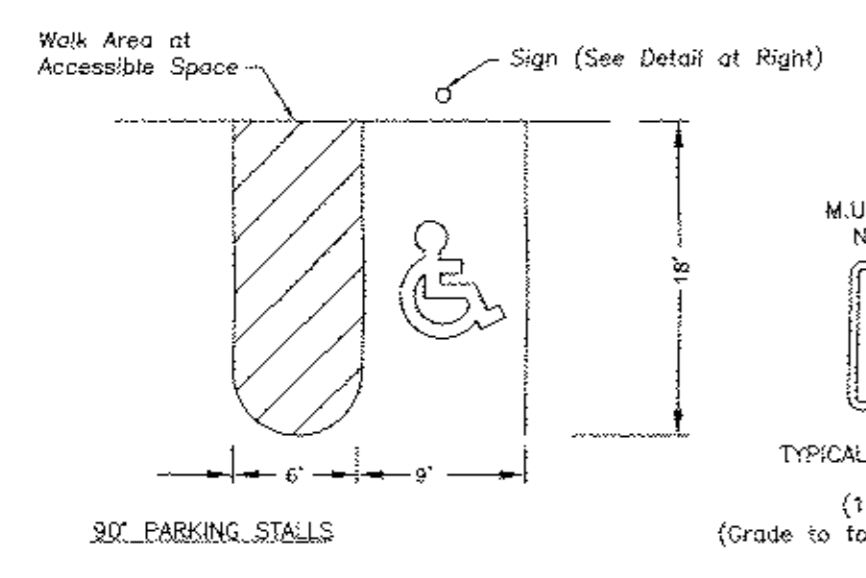
DOME SPACING FOR DETECTABLE WARNING FIELD
Not to Scale



CONCRETE SIDEWALK DETAIL
Not to Scale

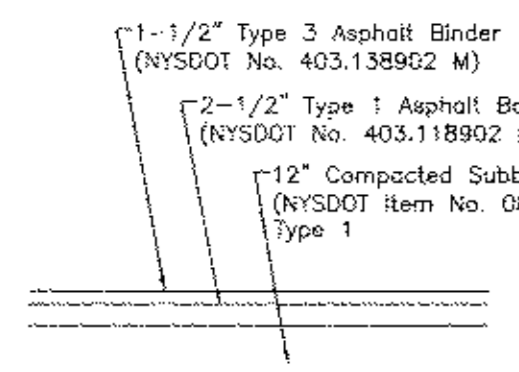


TYP. PARKING STALLS AND SIGNAGE
N.T.S.

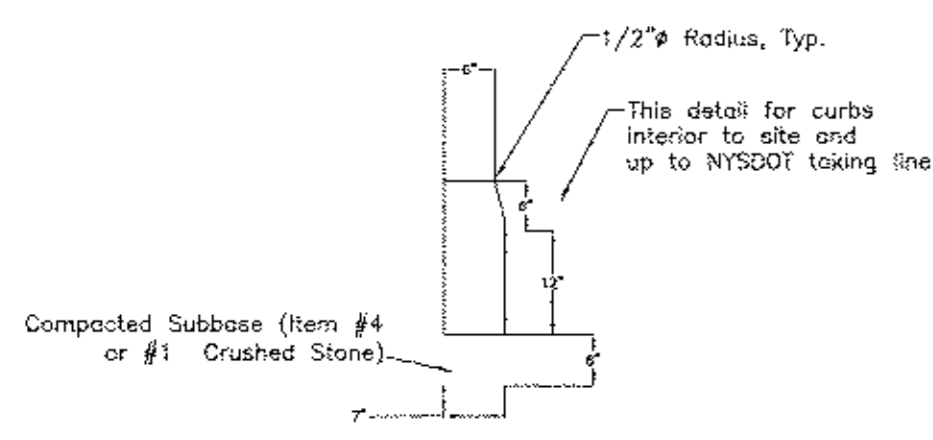


NOTES:
1) All pavement markings shall be in accordance with the NYS DOT Manual of Uniform Traffic Control Devices ("MUTCD").
2) Dimensions for handicapped parking stalls shall conform to the Code of Federal Regulations, latest revision. Spaces designated as van accessible shall have additional signage indicating this feature.

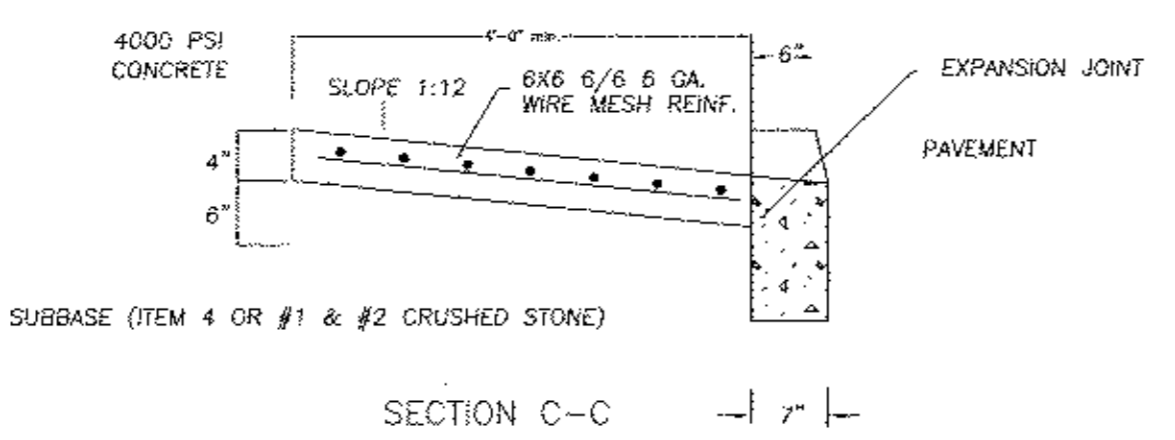
TYP. PARKING STALLS AND SIGNAGE
N.T.S.



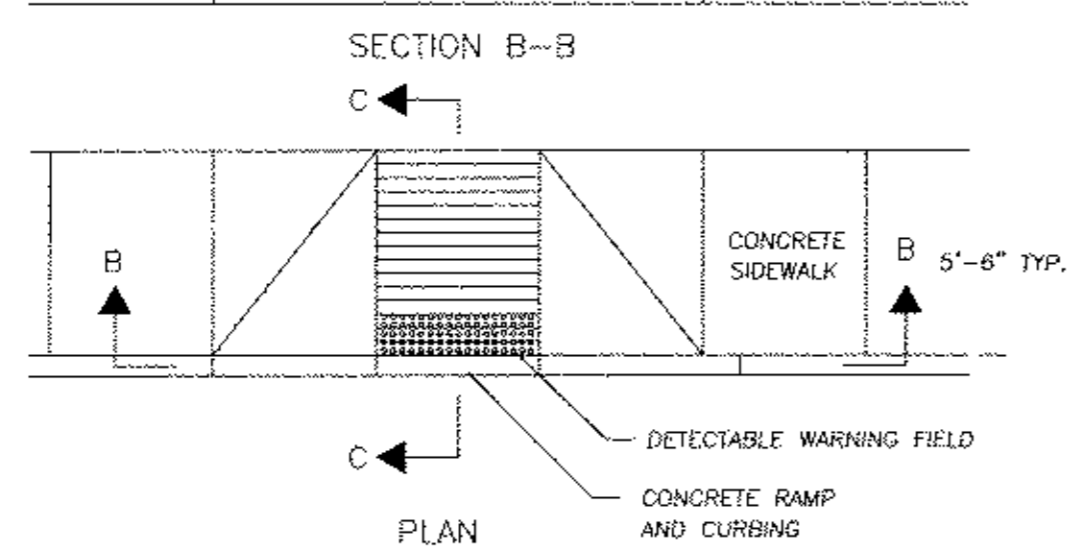
PAVEMENT DETAIL
N.T.S.



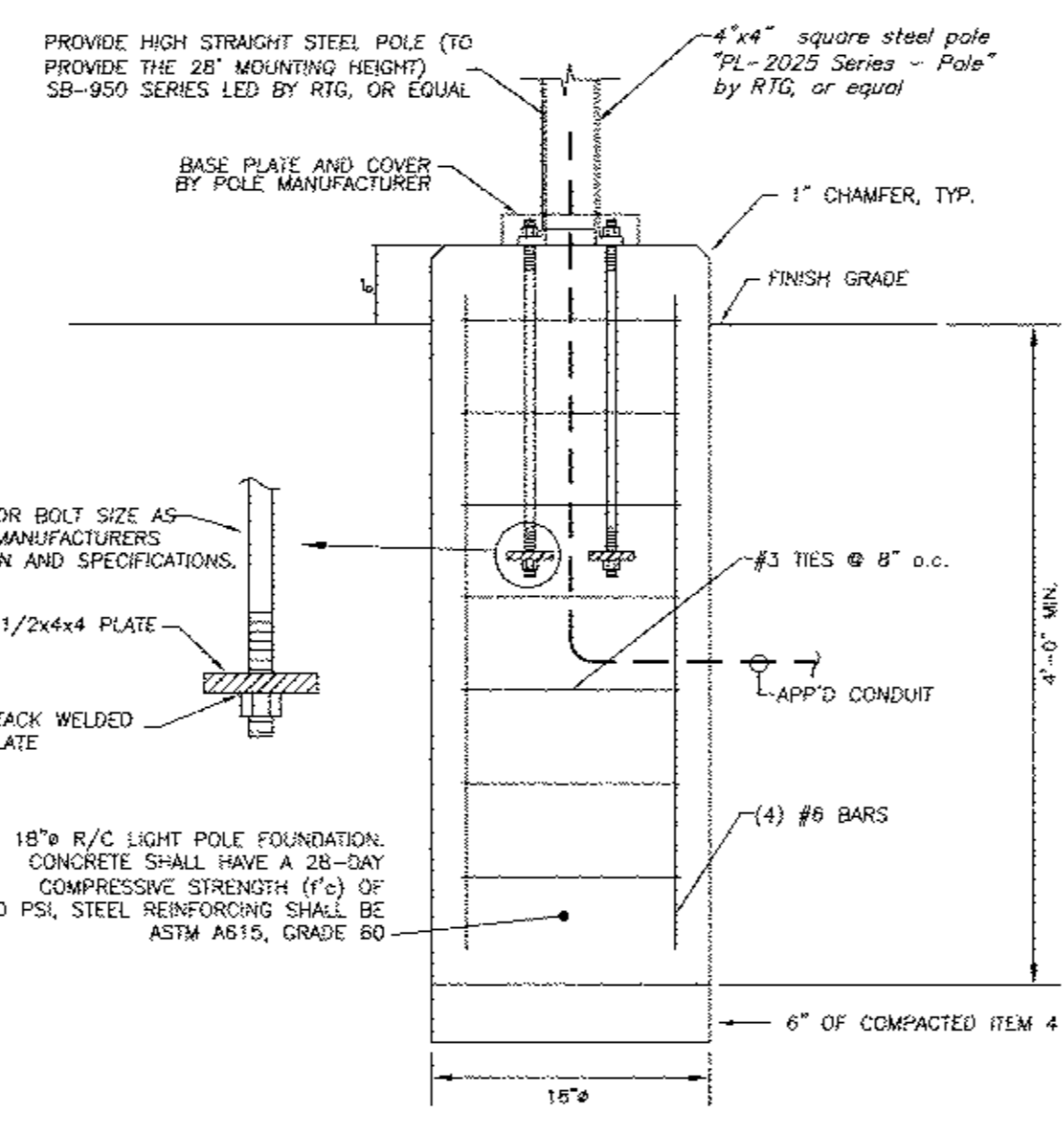
CONCRETE CURB DETAIL
N.T.S.



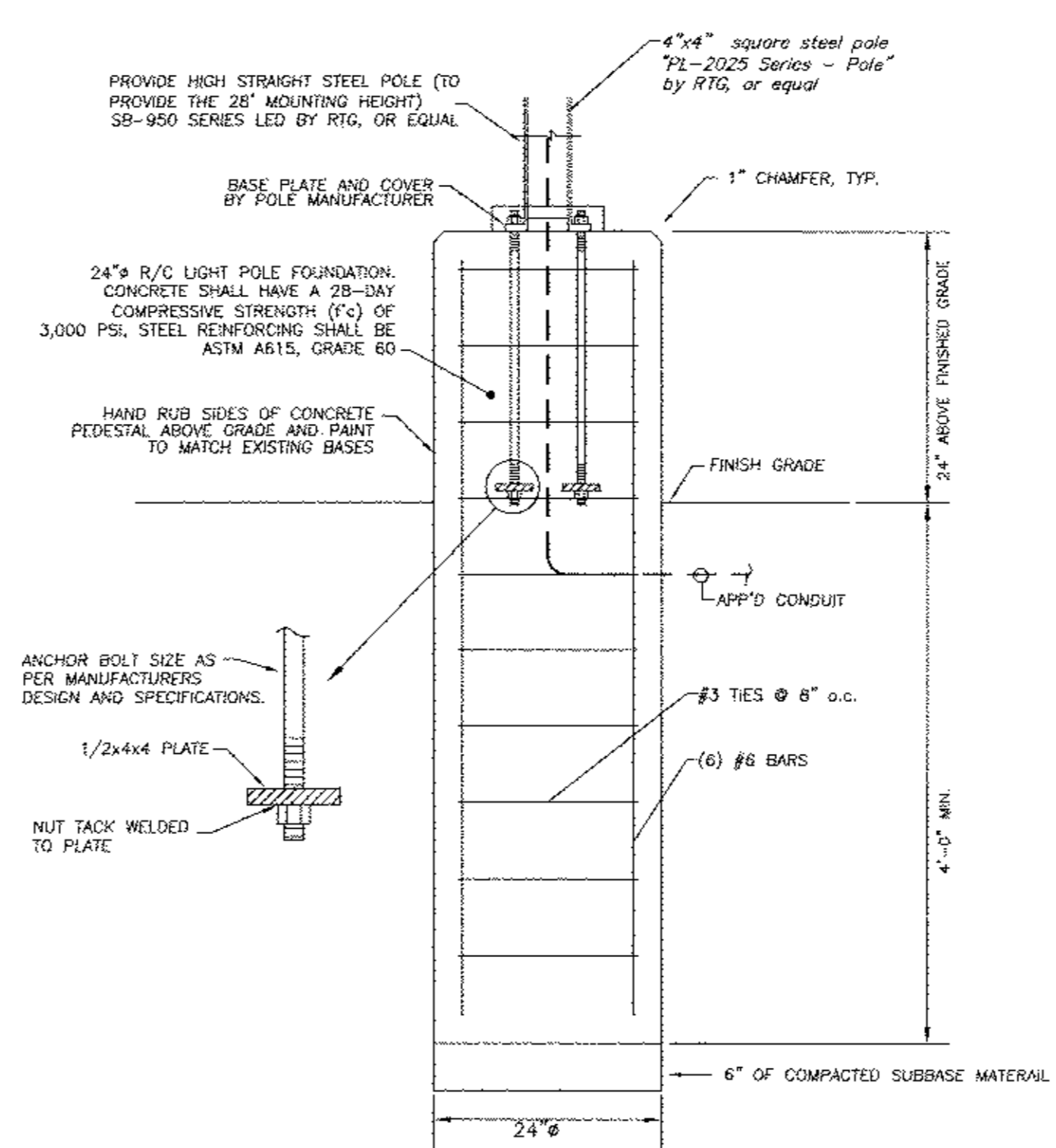
SECTION C-C
PAVEMENT SURFACE
EXPANSION JOINT
SLOPE 1:12
CONCRETE SIDEWALK
CONCRETE RAMP AND CURBING
DETECTABLE WARNING FIELD
PLAN
Not to Scale



TYPICAL DEPRESSED CURB & SIDEWALK DETAIL
Not to Scale

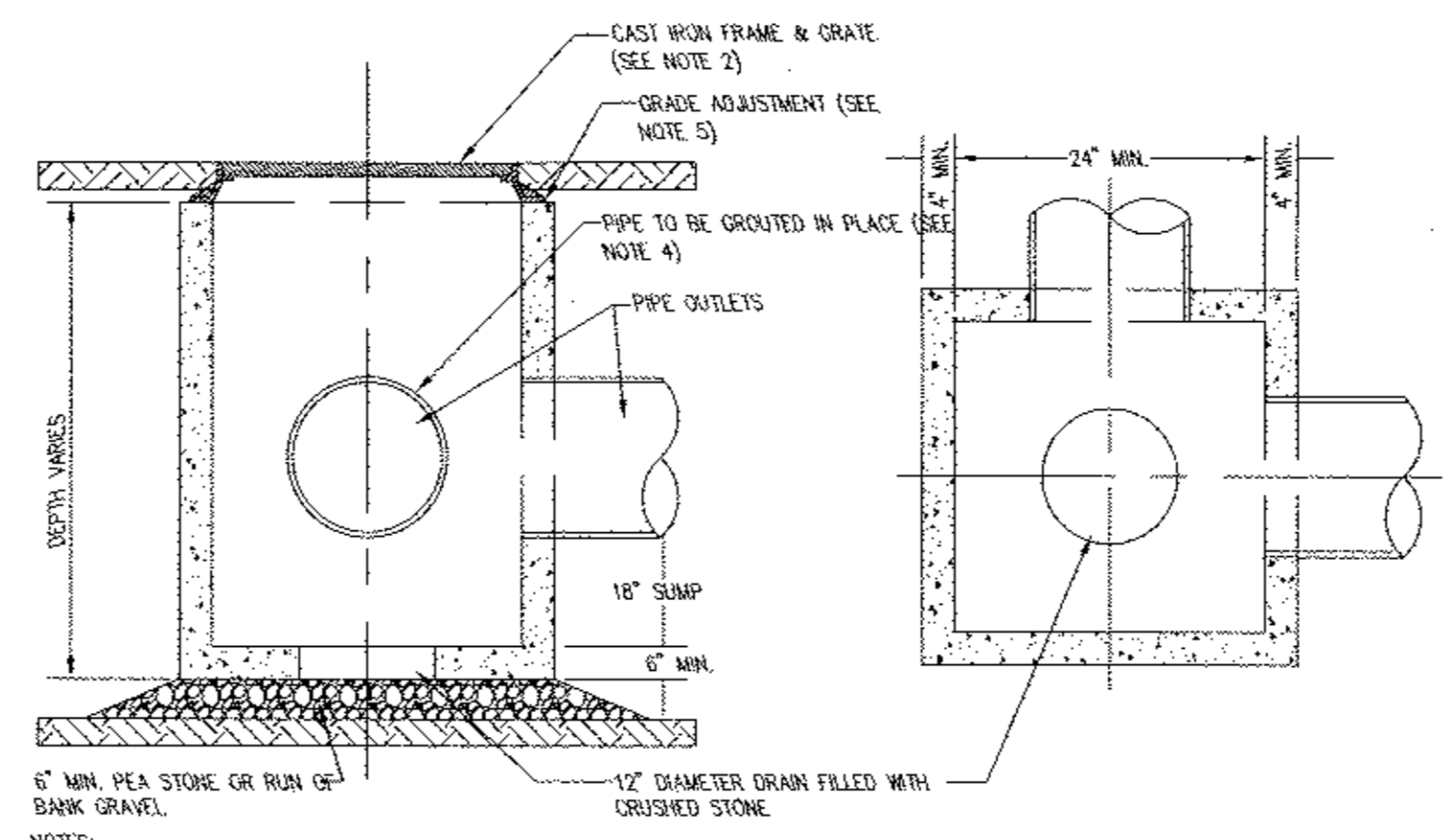


IN LANDSCAPED AREAS



IN PARKING AREAS

LIGHT POLE AND CONCRETE BASE DETAILS
Scale: N.T.S.



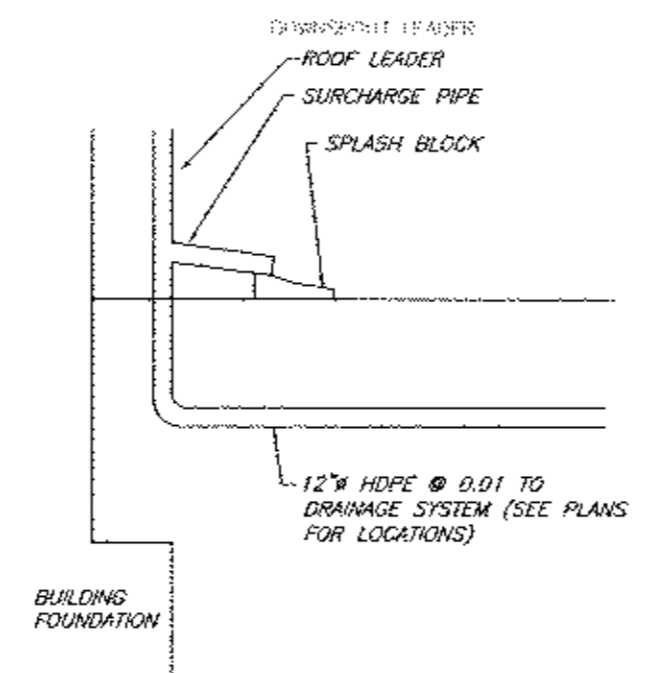
NOTES:
1) BASINS SHALL HAVE A MINIMUM OF 1020 LOADING STRENGTH.
2) CAST IRON FRAME AND GRATE SHALL BE ABLE TO WITHSTAND 1020 LOADING. GRATES SHALL BE BICYCLE GRATES. OPENINGS SHALL BE A MINIMUM OF 24" DIAMETER OR 24"x12" RECTANGULAR OPENING.
3) STEPS SHALL BE PROVIDED 12" ON CENTER WHEN DEPTH OF BASIN EXCEEDS 4'-0".
4) CONNECTIONS BETWEEN BASIN AND PIPE SHALL BE MADE BY FILLING THE SPACE AROUND EACH PIPE WITH MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIAL, OR CONCRETE REPAIR MATERIAL.
5) GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 2.5" SHALL BE MADE WITH BEDDING MATERIAL MEETING THE REQUIREMENTS OF MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIAL, OR CONCRETE REPAIR MATERIAL. GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 6" SHALL BE MADE WITH COMBINATION OF PRECAST CONCRETE PAVERS AND BEDDING MATERIALS. GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 12" SHALL BE MADE WITH CAST-IN-PLACE CONCRETE OR A COMBINATION OF PRECAST CONCRETE ADJUSTMENT ELEMENTS AND BEDDING MATERIALS.

Typical Catch Basin Detail
NOT TO SCALE

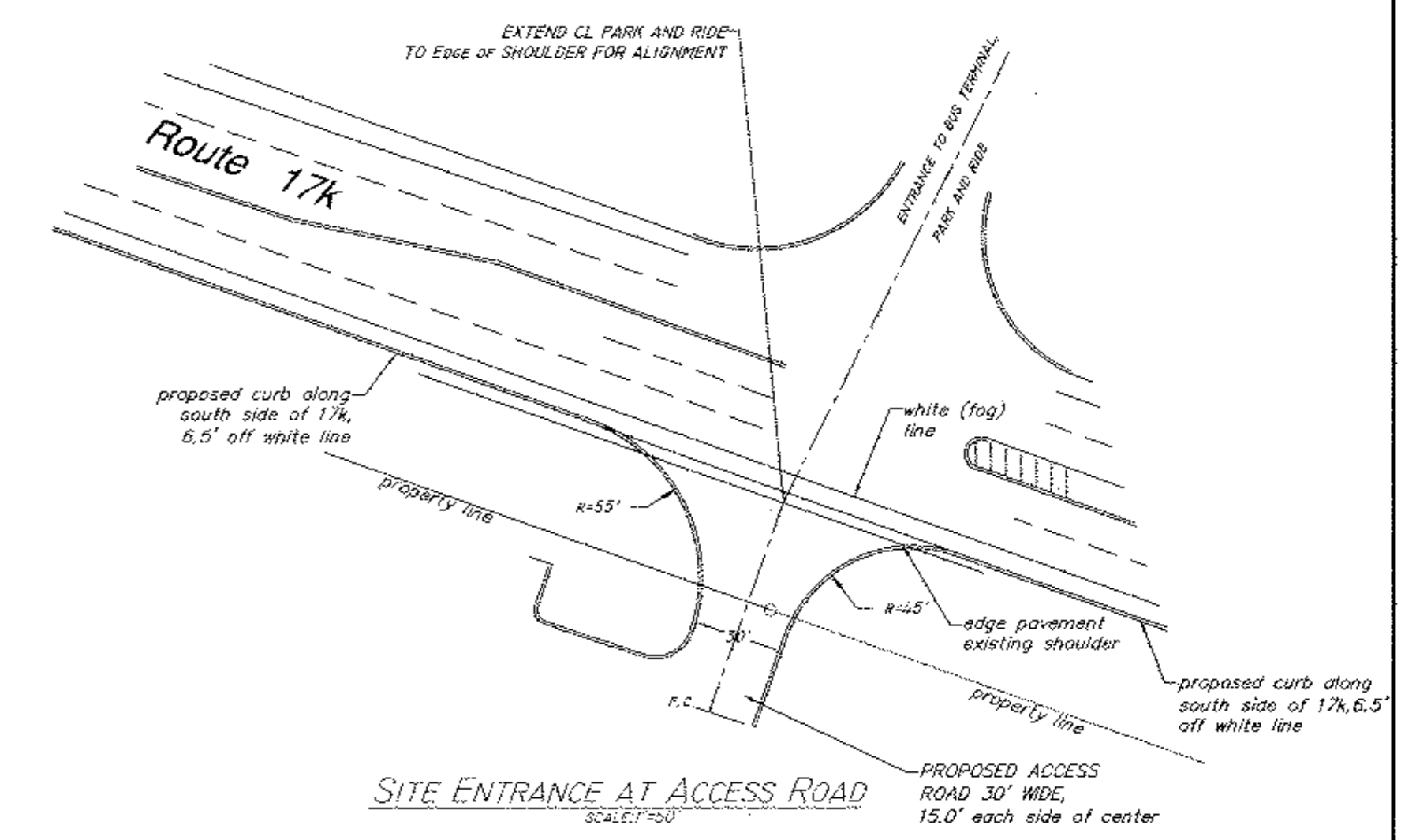
HANDICAP RAMPS

NOTES

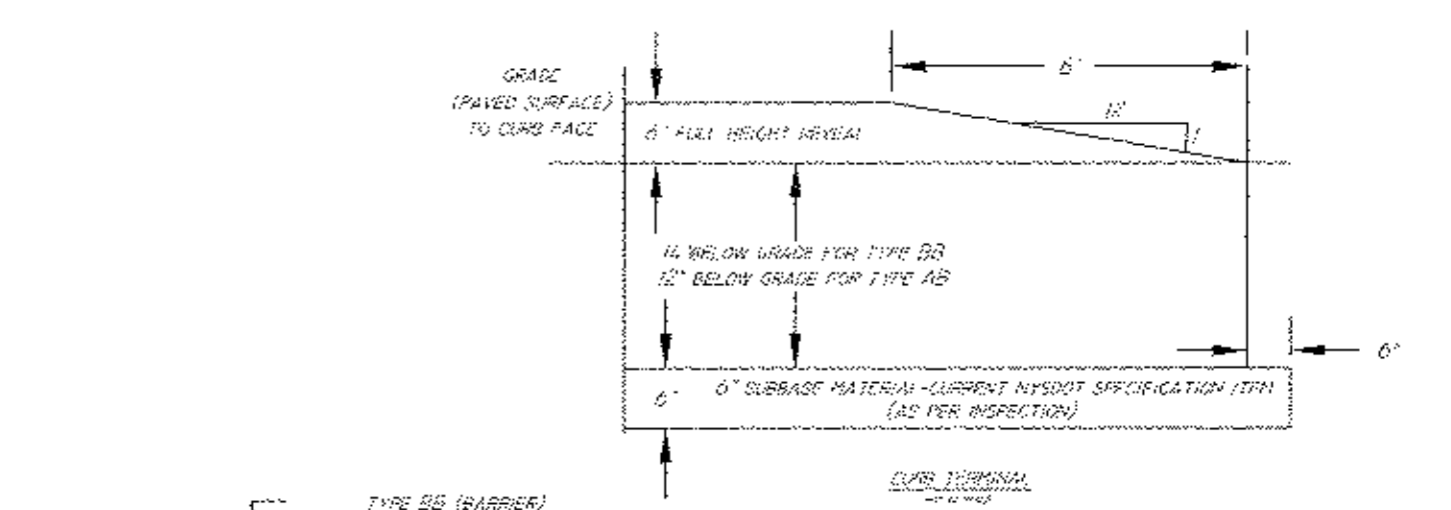
- 1) CURB CUT RAMP TYPE AND LOCATION ARE TO BE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- 2) THE NORMAL PAVEMENT EDGE PROFILE SHALL BE MAINTAINED THROUGHOUT THE AREA OF RAMP.
- 3) DO NOT PLACE ANY POLES, SIGN POSTS, ETC. WITHIN RAMP AREAS.
- 4) WHERE AISLE MARKINGS ARE PROVIDED, LOCATE THE RAMP AND THE PAVEMENT MARKINGS SO THAT THE ENTIRE RAMP OPENING (BOTTOM) IS LOCATED WITHIN THE AISLE.
- 5) THE MAXIMUM SLOPE OF CURB RAMPS SHALL BE 1:12.
- 6) THE ENTIRE RAMP SURFACE SHALL BE TEXTURED TO PRODUCE UNIFORM STRIPATIONS 3/16" TO 1/4" WIDE BY 1/4" DEEP ON 3/4" TO 1" CENTERS. THEY SHALL BE PERPENDICULAR TO THE SLOPE OF THE RAMP. THE CAPABILITY TO PRODUCE AN ACCEPTABLE TEXTURE SHALL BE DEMONSTRATED TO THE ENGINEER PRIOR TO INSTALLATION.



ROOF DRAIN AND CLEANOUT DETAIL
NOT TO SCALE



SITE ENTRANCE AT ACCESS ROAD
SCALE: 1/8" = 1'-0"



CURB & SHOULDER DETAIL ALONG ROUTE 17K TO PROPERTY LINE
NOT TO SCALE

Construction Details #1
Site Plan

for
Webb Properties, Inc.

Auto Park Place
Tax Map: Section 97, Block 2, Lots 13.22, 35, and Lot 43

Town of Newburgh Orange County New York State
Scale: as shown Date: September 30, 2014

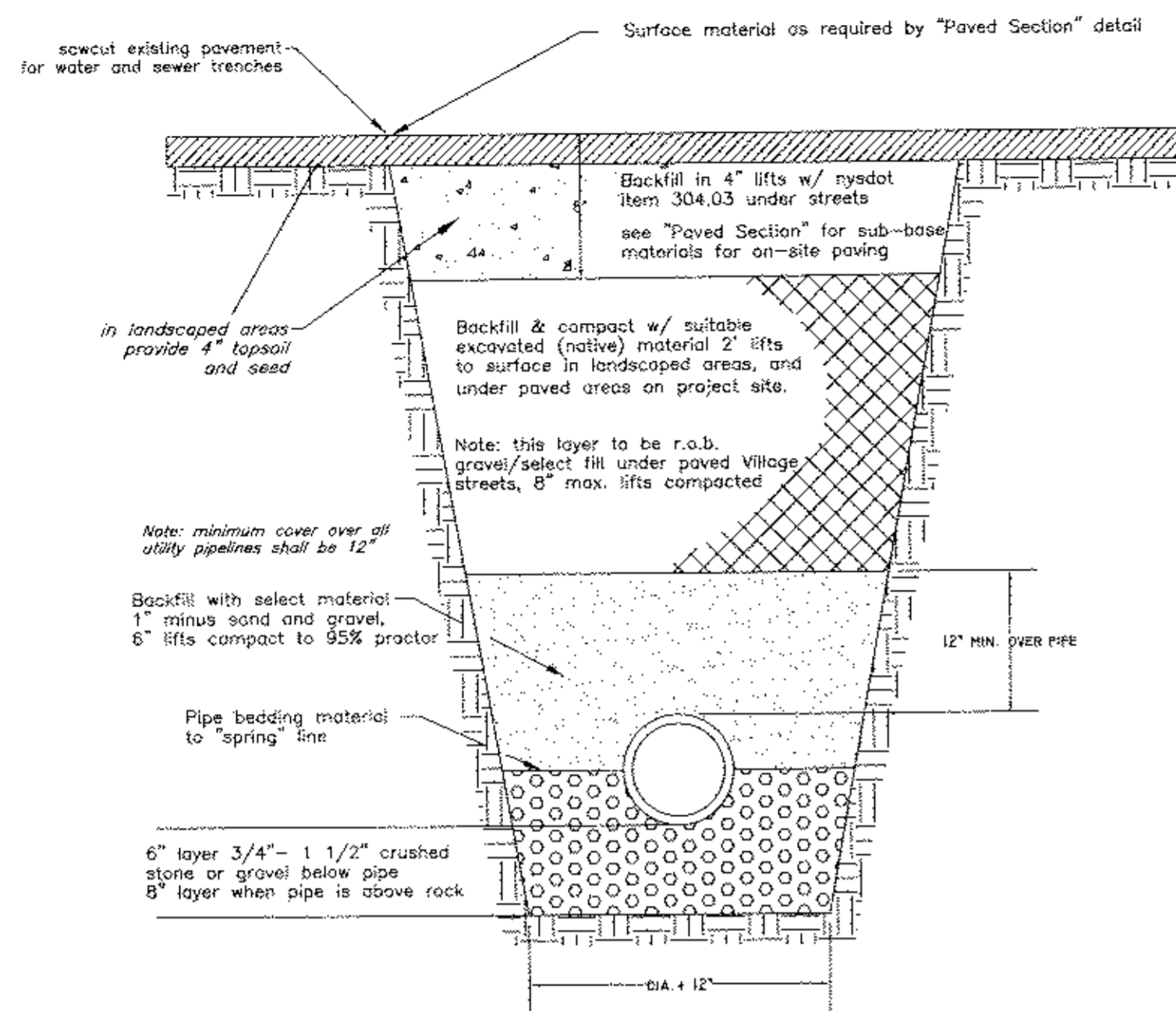
OWNER / APPLICANT

WEBB PROPERTIES, INC.
800 AUTO PARK PLACE
NEWBURGH, N.Y. 12550
(845) 561-7600

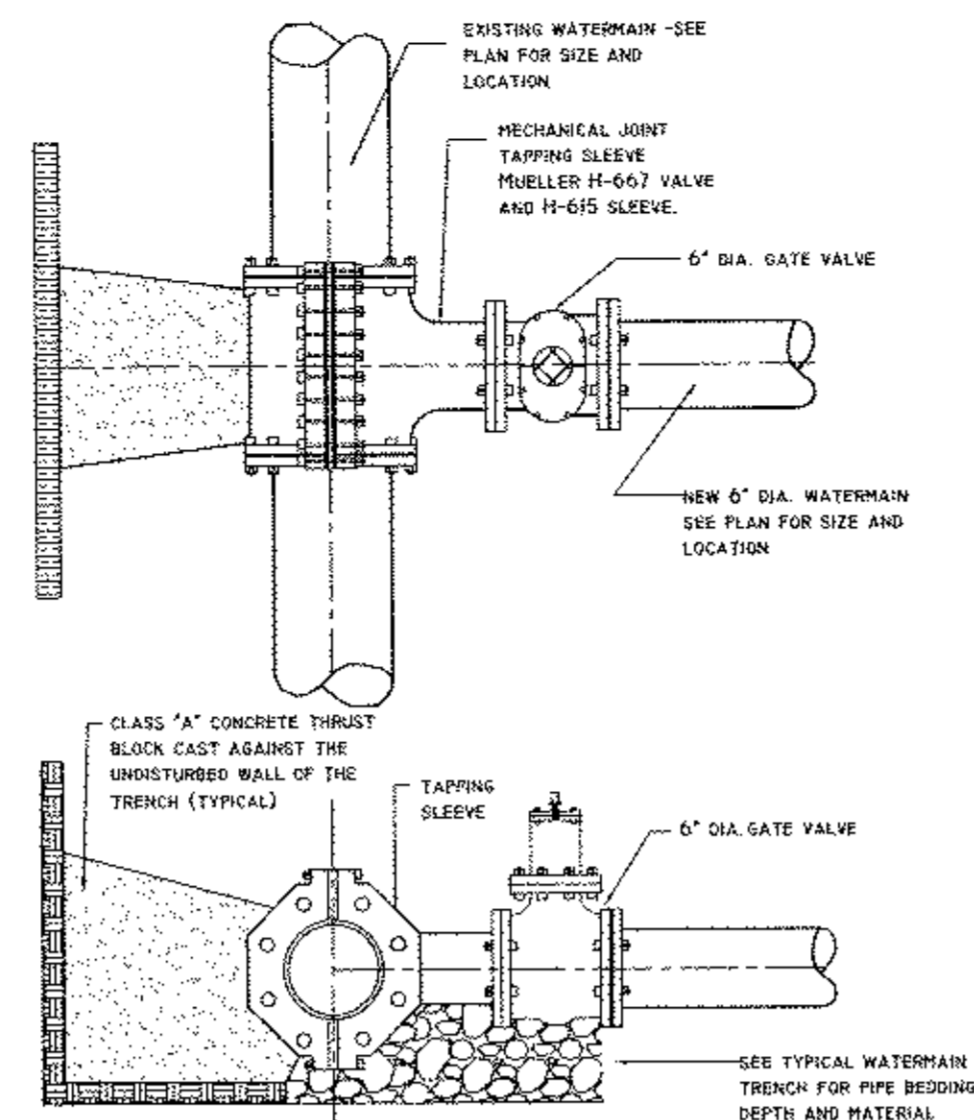


A. DIACHISHIN AND ASSOCIATES, P.C.
LAND SURVEYORS & CONSULTING ENGINEERS
115 Yankee Folly Road New Paltz, N.Y. 12561
PHONE # (845) 419-2305 FAX # (845) 419-2306

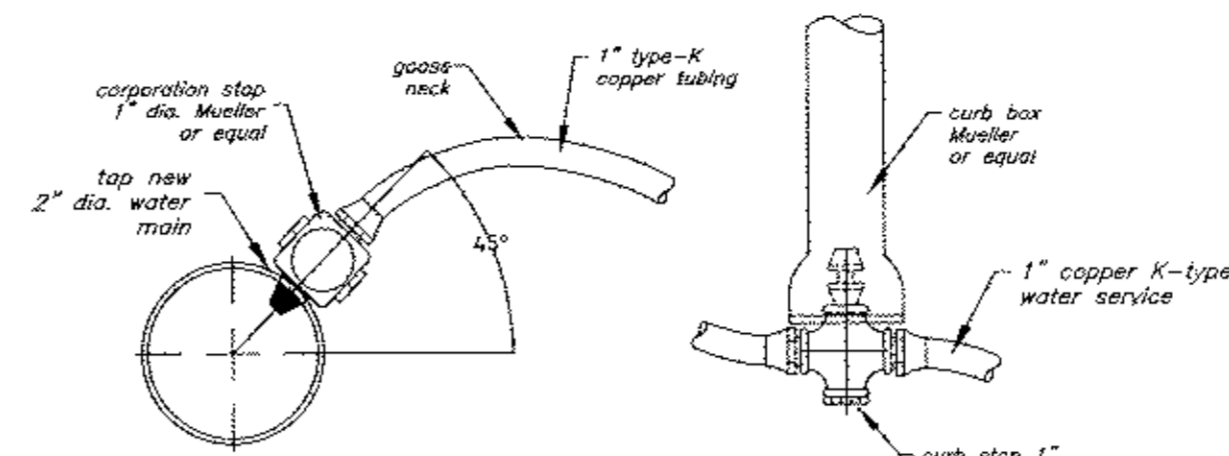
PROJECT: 14-2014-NEWBURGH LOT 2 CONSTRUCTION PLAN TO MILLER 1 DRIVE BY TOWN OF NEWBURGH, NY	DATE: 11/20/2014
DESIGNER: D	SCALE: 1" = 50'
SHEET: 14G1834	TOTAL SHEETS: 5 of 7



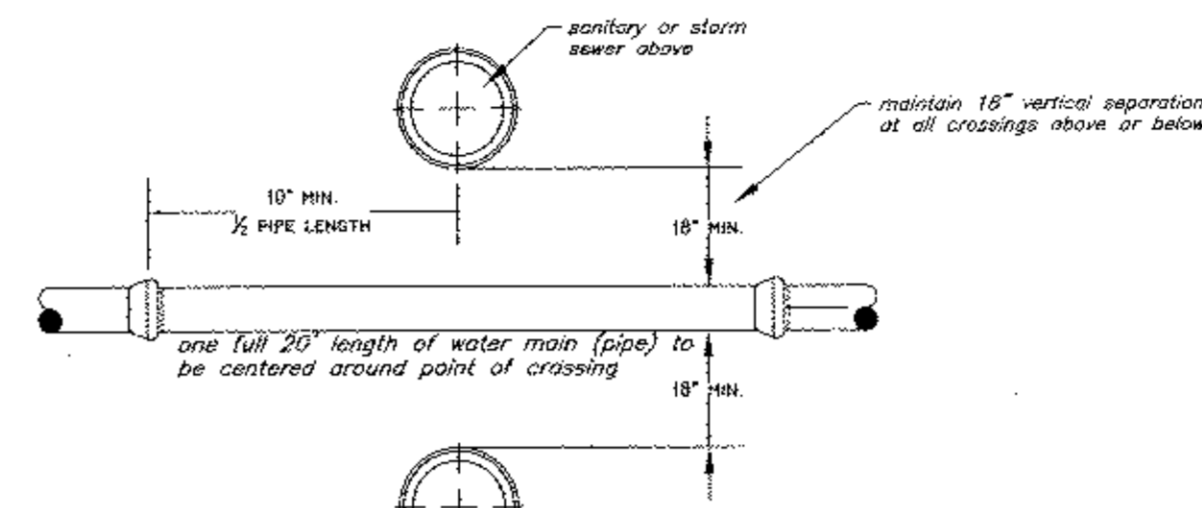
Typical Trench Detail
NOT TO SCALE



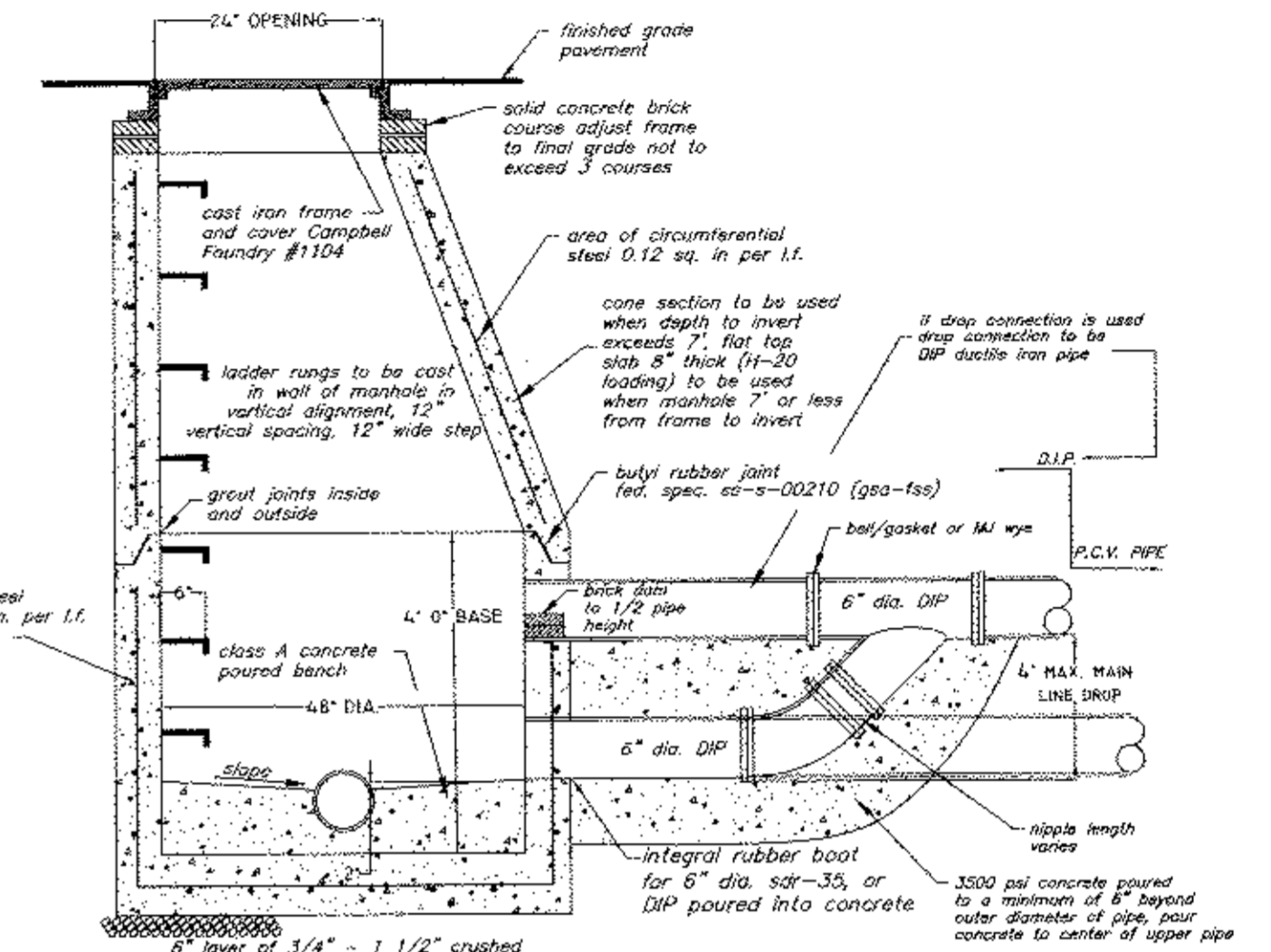
Wet Tap Detail (water service)
NOT TO SCALE



Typical Water Service Connection
NOT TO SCALE

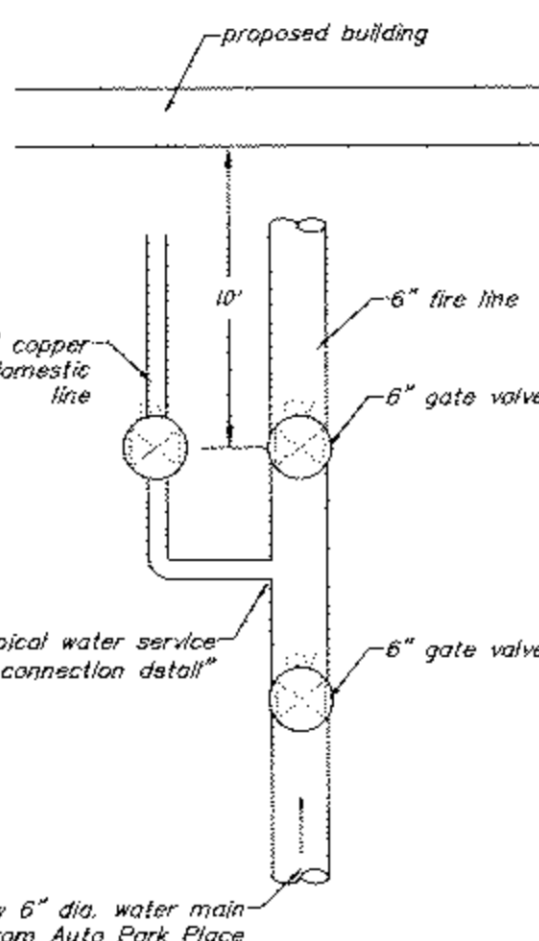


Water Main with Storm/Sanitary Sewer Crossing
NOT TO SCALE

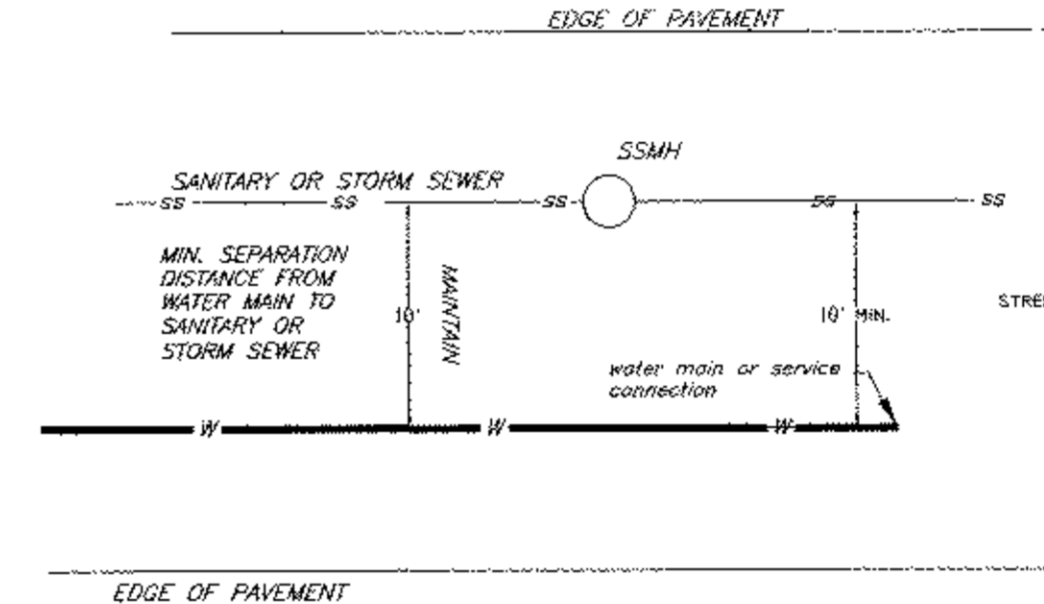


PRE-CAST STANDARD CONCRETE MANHOLE OR DROP MANHOLE DETAIL
NOT TO SCALE

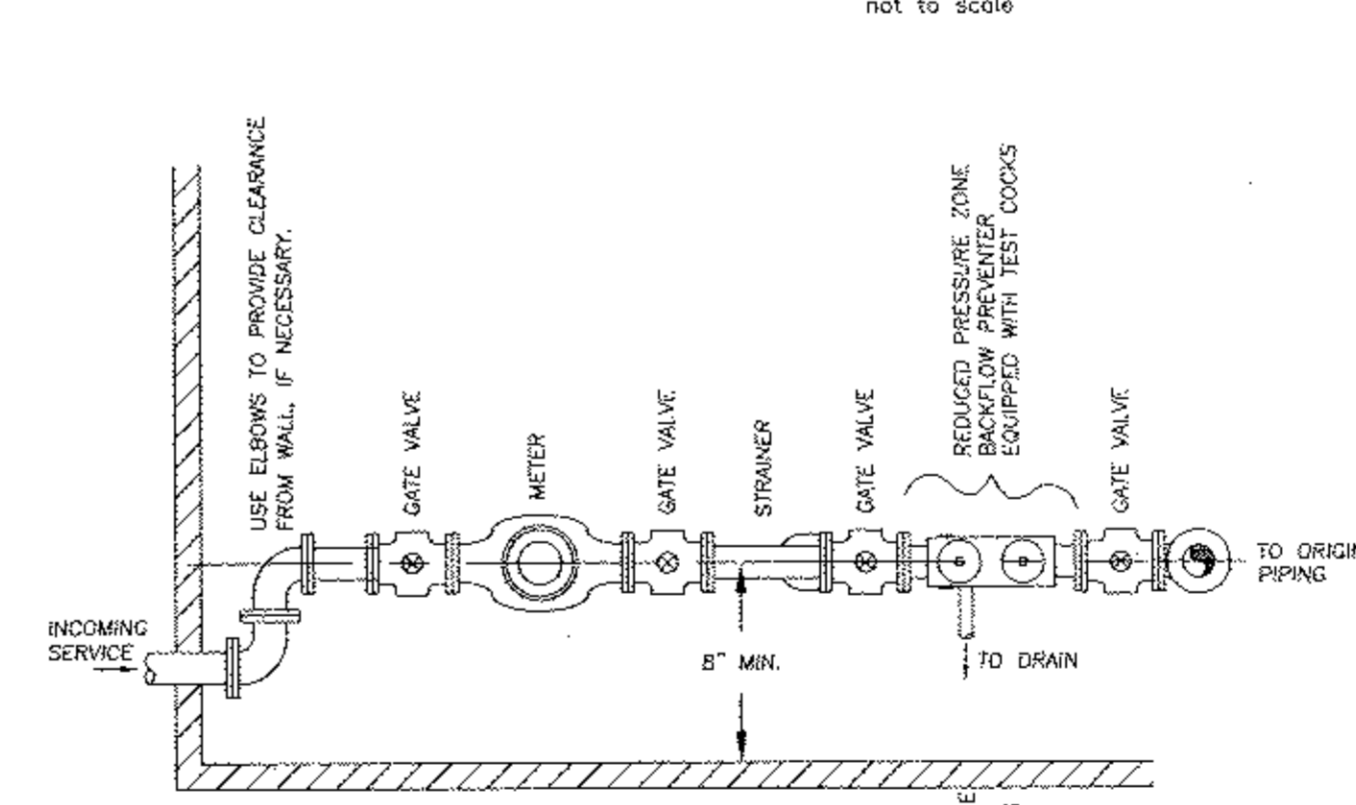
- WATER NOTES**
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
 - ALL WATER SERVICE LINES (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE. JOINTS SHALL BE EITHER PUSH-IN OR MECHANICAL JOINT AS REQUIRED.
 - THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER ISLANDS. ALL FITTINGS AND VALVES SHALL BE INSTALLED WITH RETAINER ISLANDS FOR JOINT RESTRAINT. RETAINER ISLANDS SHALL BE EQUAL WITH INCLUDING SERIES 100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINT JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
 - ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C151/A21.51-91 OR LATEST REVISION FOR DUCTILE IRON FITTINGS OR ANSI/AWWA C151/A21.51-91 OR LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
 - ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C500 OR LATEST REVISION SUCH AS Mueller A-2280-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
 - TAPPING SLEEVES SHALL BE MECHANICAL JOINT SUCH AS Mueller H-603 OR EQUAL. TAPPING SLEEVES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C500 SUCH AS Mueller H-603 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVES AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
 - ALL WATER SERVICE LINES (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CONDUIT SHALL BE TYPE K COPPER TUBING. CURB VALVES SHALL BE Mueller H-150-2 FOR 3/4" AND 1" INCH AND Mueller H-150-3 FOR 1 1/2" AND 2" INCH SIZES. CURB VALVES SHALL BE Mueller H-150-2 FOR 3/4" AND 1" INCH AND Mueller H-150-3 FOR 1 1/2" AND 2" INCH SIZES.
 - ALL FIRE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
 - THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
 - THRUST RESTRAINT SHALL BE PROVIDED BY THE ROSS AND RETAINER ISLANDS. THE LENGTH OF RESTRAINED PIPE SHALL BE DETERMINED BASED UPON WORKING PRESSURES, SOIL CONDITIONS AND DEPTH OF BURY ACCORDING TO DPRA STANDARDS.
 - PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-500 STANDARDS.
 - DISINFECTION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-601 STANDARDS.
 - ALL WATER MAINS SHALL BE 8" CLASS 52, DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.



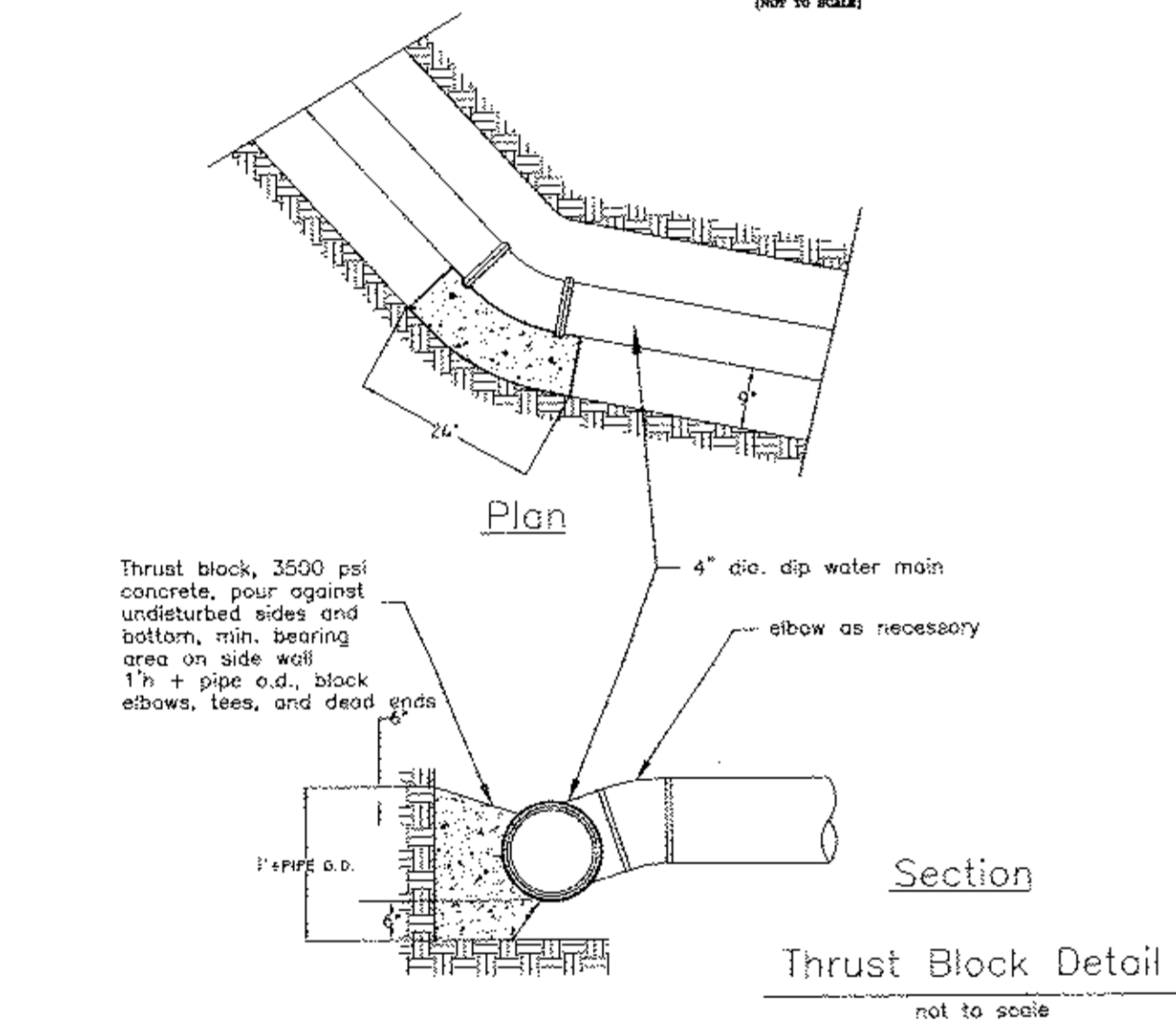
Valving at Building
NOT TO SCALE



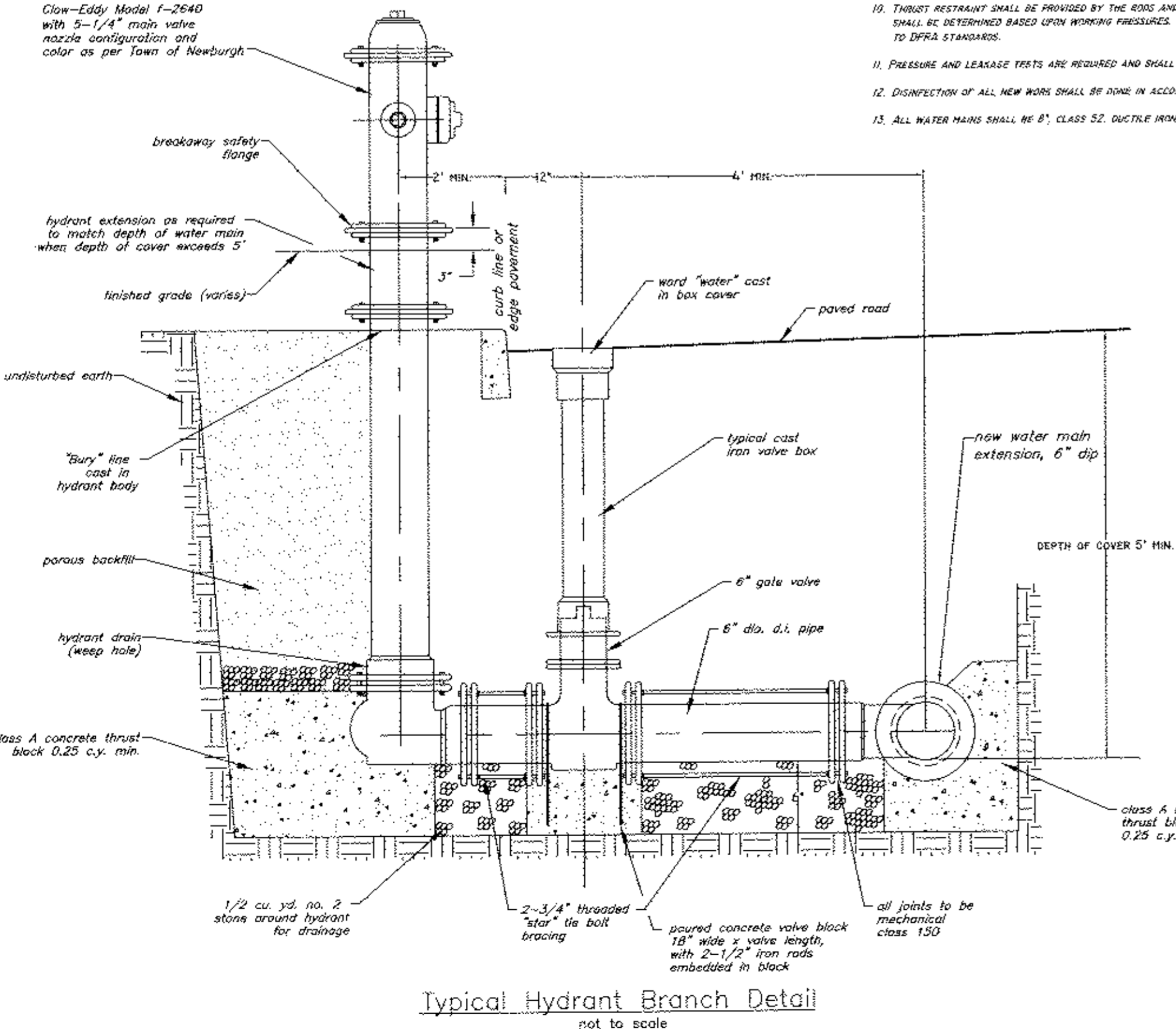
Water Main with Storm/Sanitary Sewer Parallel Installation
NOT TO SCALE



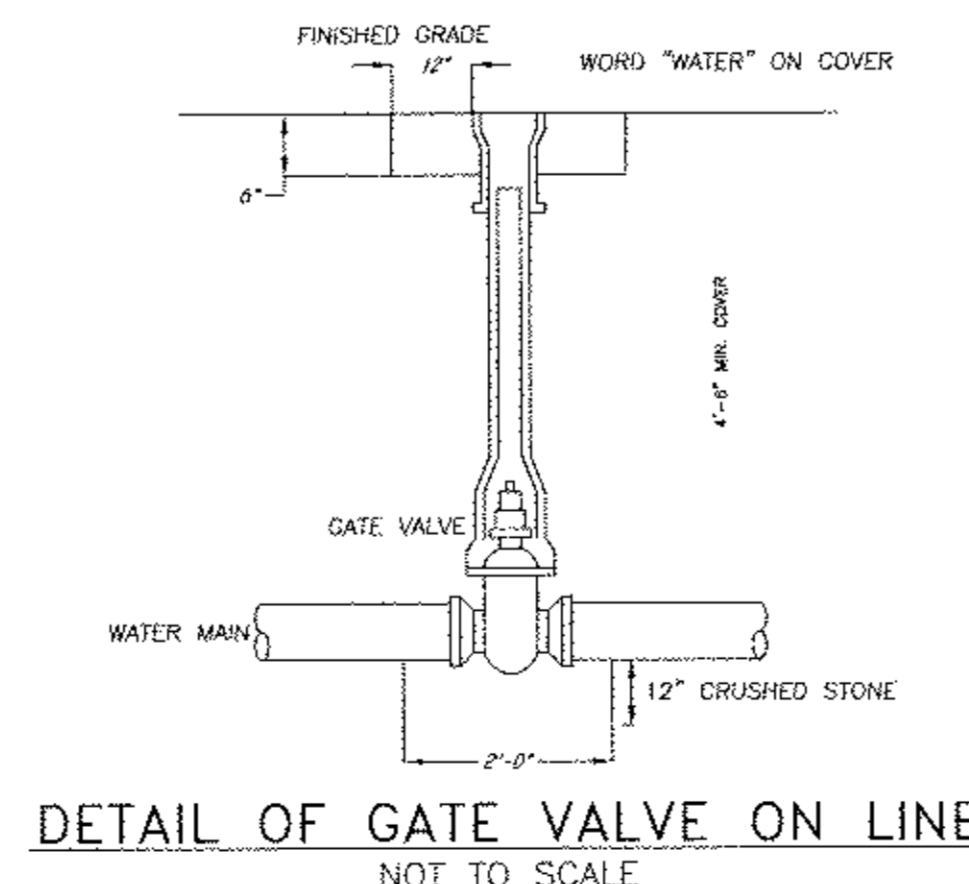
New Lateral Connection To Existing Manhole
NOT TO SCALE



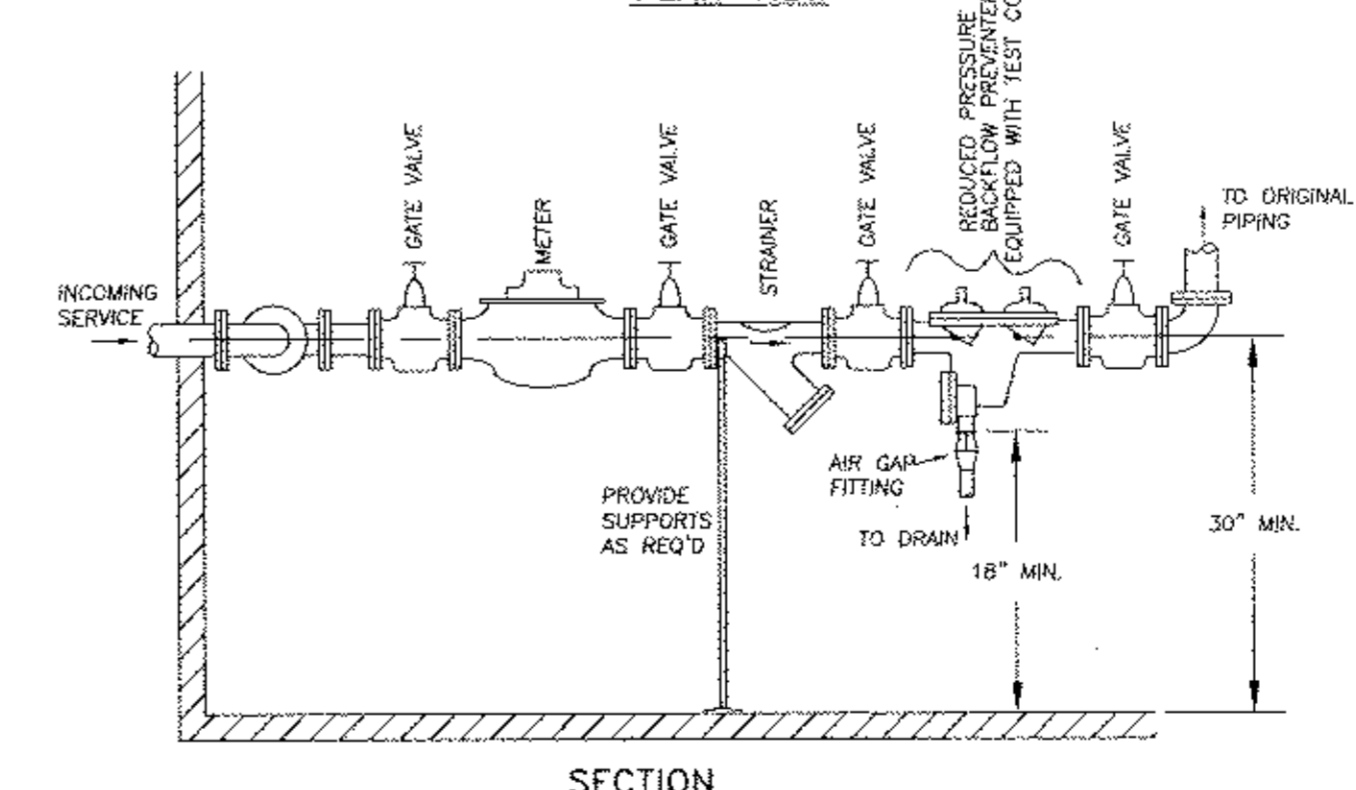
Thrust Block Detail
NOT TO SCALE



Typical Hydrant Branch Detail
NOT TO SCALE



DETAIL OF GATE VALVE ON LINE
NOT TO SCALE



REDUCED PRESSURE ZONE BACKFLOW PREVENTION DEVICE FOR DOMESTIC WATER SERVICE UNIVERSAL DIAGRAM
NOT TO SCALE

- Notes:**
- All piping, valves, meters and RPZ as per Town of Newburgh specifications.
 - No 0-psi class around RPZ permitted.
 - Drain must be by gravity, no sump pits allowed (i.e. install necessary piping to allow gravity drainage).
 - Drain shall not be subject to flooding, and shall be screened at its discharge.

- CORE DRILL, OR SAW CUT OPENING.
- PROVIDE NON-SHINK GROUT AROUND NEW SEWER PIPE AND MANHOLE WALLS. CLEAN AND ROUGHEN ALL SURFACES AGAINST NEW GROUT OR WHERE CONCRETE IS TO BE PLACED.

**Construction Details #2
Site Plan**

for
Webb Properties, Inc.

Auto Park Place
Tax Map: Section 97, Block 2, Lots 13.22, 35, and Lot 43
Town of Newburgh Orange County New York State
Scale: as shown Date: September 30, 2014

A. DIACHISHIN AND ASSOCIATES, P.C.
LAND SURVEYORS & CONSULTING ENGINEERS
115 Yankee Folly Road New Paltz, N.Y. 12561
PHONE # (845) 419-2305 FAX # (845) 419-2306

REVISED: 5/16/14, BASED SANITARY MANHOLE 12/14/13	DATE: 11/20/2014
D	14G1834
1" = 50'	209
	6 of 7

