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CONSULTING ENGINEERS D.P.C.

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Principal Emeritus:  
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WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: CABRERA SUBDIVISION MODIFICATION**  
**PROJECT NO.: 18-24**  
**PROJECT LOCATION: SECTION 17, BLOCK 2, LOT 31.2 & 31.3**  
**REVIEW DATE: 14 DECEMBER 2018**  
**MEETING DATE: 20 DECEMBER 2018**  
**PROJECT REPRESENTATIVE: TALCOTT ENGINEERING/CHARLES BROWN**

1. The Application is for modification of a 2003 subdivision which contained two driveways within an easement with independent access points to the County roadway, Fostertown Road. Based on a review of the topography the Applicant's are now requesting a single driveway access point for both lots and a common driveway serving the lots. The Applicant's have filed a driveway easement with the County in 2017 which modified the easement approved on the original subdivision. The Applicant's are now before Board to get approval to file an amended subdivision map.
2. County DPW comments on the driveway modification should be received.
3. The original subdivision contained drainage improvements collecting runoff from the county roadway across the driveway on proposed Lot #31.2.
4. A proposed swale is identified at the new 15 inch HDPE, which crosses both of the lots. It appears that an easement for the swale as well as the drainage pipe may be required. Grading for the swale should be depicted as current topography would allow the discharge from the proposed pipe to cross the septic and reserve area.
5. The original plan contained a proposed drainage easement to County of Orange which should be depicted on the plans.
6. Mike Donnelly's review of the easement and maintenance agreement is required.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Principal

# Talcott Engineering

## DESIGN, PLLC

1 GARDNERTOWN ROAD ~ NEWBURGH, NY 12550  
(845) 569-8400\* ~ (fax) (845) 569-4583

Town of Newburgh  
Planning Board  
308 Gardnertown Road  
Newburgh, NY 12550

December 12, 2018

Attn: John Ewasutyn, Chairman

Re: Project Narrative  
Town Project No. 2018-24  
Cabrera Subdivision Modification  
522 Fostertown Road  
SBL: 17-2-31.2 & 31.3  
AR Zone  
Job No. 18339-CHI

### PROJECT NARRATIVE

The proposed project is a modification to the common driveway easement to facilitate grading of the common driveway. Both lots are in common ownership and there are no proposed changes to existing lot lines or the entrance to Fostertown Road (County Route 86). The lots were created with filed Map #32-03, as was the original driveway easement. The new driveway easement was filed with the County in 2017.

Attached please find 12 Planning Board Applications, 12 sets of plans, and 12 copies of an EAF short form, along with this narrative and checks for the application fees (\$700), public hearing fee (\$150) and escrow (\$2,200). I will FedEx 1 copy to Michael Donnelly and will deliver 1 copy to Pat Hines.

Respectfully yours,



Charles T. Brown, P.E. – President  
Talcott Engineering

Pc; John Richichi, Owner

TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550

DATE RECEIVED: \_\_\_\_\_ TOWN FILE NO: \_\_\_\_\_  
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

CARRERA SUBDIVISION MODIFICATION

2. Owner of Lands to be reviewed:

Name JOHN RICHICHI  
Address 20 FROREN RIDGE ROAD  
NEWBURGH, NY 12550  
Phone 845-542-8888

3. Applicant Information (If different than owner):

Name (SAME)  
Address \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Representative CHARLES BROWN  
Phone 845-569-8400  
Fax 845-569-4583  
Email TALCOTT\_DESIGN12@GMAIL.COM

4. Subdivision/Site Plan prepared by:

Name TALCOTT ENGINEERING/CHARLES BROWN  
Address 1 GARDNERTOWN ROAD  
NEWBURGH, NY 12550  
Phone/Fax 845-569-8400 / 845-569-4583

5. Location of lands to be reviewed:

520 & 522 FOSTERTOWN ROAD, NEWBURGH

6. Zone AR Fire District CROMMER VALLEY  
Acreage 2.1 School District NEWBURGH

7. Tax Map: Section 17 Block 2 Lot 31.2 & 31.1

8. Project Description and Purpose of Review:

Number of existing lots 2 Number of proposed lots 2  
Lot line change NO  
Site plan review NO  
Clearing and grading NO  
Other AMENDED SUBDIVISION

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) COMMON DRIVEWAY EASEMENT

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature [Signature] Title OWNER

Date: 12/6/18

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

TOWN OF NEWBURGH PLANNING BOARD

CABRERA SUBDIVISION MODIFICATION  
PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1.  Environmental Assessment Form As Required
2.  Proxy Statement
3.  Application Fees
4.  Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda.  
Non-submittal of the checklist will result in application rejection.

1.  Name and address of applicant
2.  Name and address of owner (if different from applicant)
3.  Subdivision or Site Plan and Location
4.  Tax Map Data (Section-Block-Lot)
5.  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6.  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8.  Date of plan preparation and/or plan revisions
9.  Scale the plan is drawn to (Max 1" = 100')
10.  North Arrow pointing generally up

11.  Surveyor,s Certification
12.  Surveyor's seal and signature
13.  Name of adjoining owners
14. n/a Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. n/a Flood plain boundaries
16.  Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17.  Metes and bounds of all lots
18.  Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19.  Show existing or proposed easements (note restrictions)
20.  Right-of-way width and Rights of Access and Utility Placement
21. n/a Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22.  Lot area (in sq. ft. for each lot less than 2 acres)
23.  Number of lots including residual lot
24. n/a Show any existing waterways
25.  A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26.  Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.  Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28.  Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.  Show topographical data with 2 or 5 ft. contours on initial submission

30.  Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33. N/A Estimated or known cubic yards of material to be excavated and removed from the site
34. N/A Estimated or known cubic yards of fill required
35.  The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:   
 Licensed Professional

Date: 12/11/13

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.



**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

John Richichi  
APPLICANT'S NAME (printed)

John Richichi  
APPLICANT'S SIGNATURE

12/6/18  
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) JOHN RICCIACI, DEPOSES AND SAYS THAT HE/SHE

RESIDES AT 20 FROZEN RIDGE ROAD

IN THE COUNTY OF ORANGE

AND STATE OF NEW YORK

AND THAT HE/SHE IS THE OWNER IN FEE OF 520 AND 522

FOSTERTOWN ROAD - 5/26 17-2-31.2 & 31.3

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

PLANNING BOARD AND CHARLES BROWN IS AUTHORIZED

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 12/6/18

[Signature]  
OWNERS SIGNATURE

THORNTON ENGINEERING

JOHN RICCIACI  
OWNERS NAME (printed)

\_\_\_\_\_  
\_\_\_\_\_

[Signature]  
WITNESS' SIGNATURE

NAMES OF ADDITIONAL REPRESENTATIVES

Katherine M. Miller  
WITNESS' NAME (printed)

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**


The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

12/6/18  
DATED

JOHN RICHICHI  
APPLICANT'S NAME (printed)

  
APPLICANT'S SIGNATURE

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

  X   NONE

\_\_\_\_\_ **NAME, ADDRESS, RELATIONSHIP OR INTEREST**  
(financial or otherwise)

\_\_\_\_\_

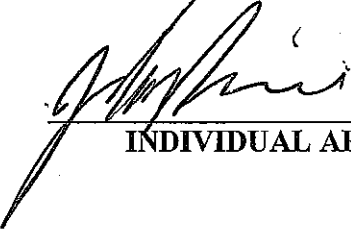
\_\_\_\_\_

\_\_\_\_\_

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

- \_\_\_\_\_ **TOWN BOARD**
- \_\_\_\_\_ **PLANNING BOARD**
- \_\_\_\_\_ **ZONING BOARD OF APPEALS**
- \_\_\_\_\_ **ZONING ENFORCEMENT OFFICER**
- \_\_\_\_\_ **BUILDING INSPECTOR**
- \_\_\_\_\_ **OTHER**

12/6/18  
DATED

  
INDIVIDUAL APPLICANT

\_\_\_\_\_  
CORPORATE OR PARTNERSHIP APPLICANT

BY: \_\_\_\_\_  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

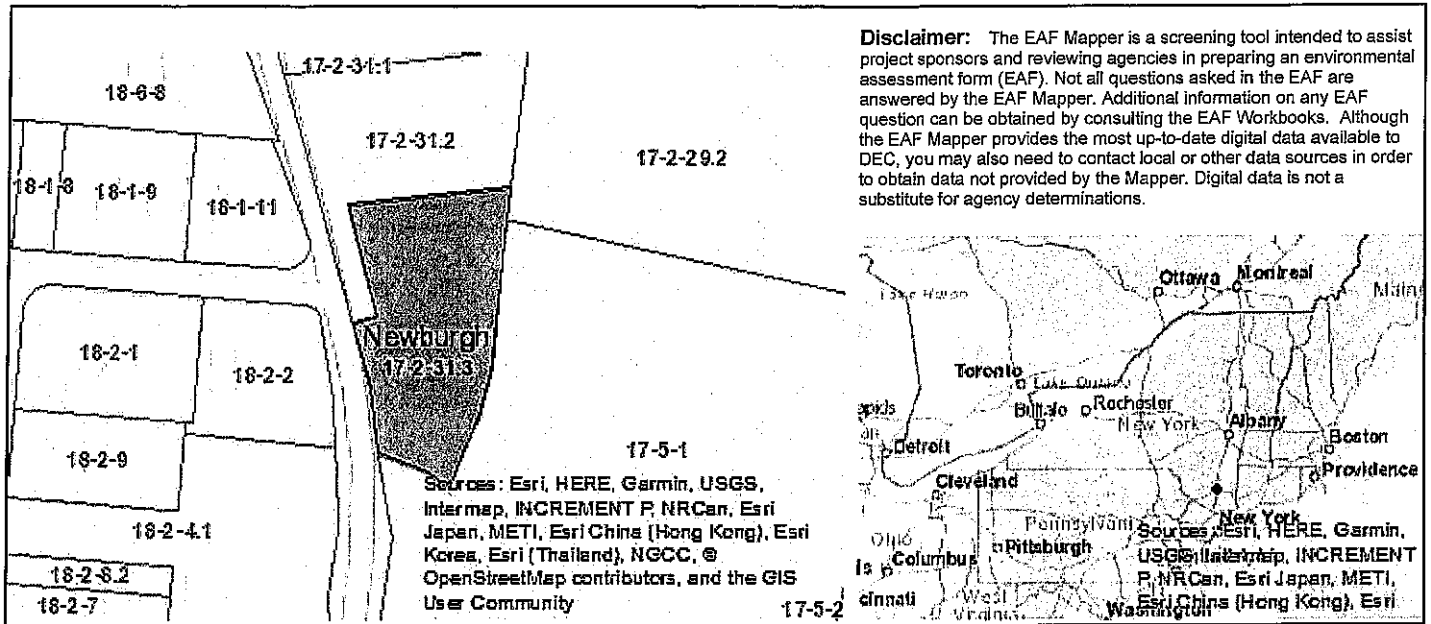
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: SANDRA CABRERA SUBDIVISION MODIFICATION <span style="float: right;">TED # 18339-CHI</span>			
Project Location (describe, and attach a location map): 520-522 FOSTERTOWN ROAD, TOWN OF NEWBURGH			
Brief Description of Proposed Action: MODIFY A COMMON DRIVEWAY EASEMENT TO FACILITATE GEADING OF THE DRIVEWAYS			
Name of Applicant or Sponsor: JOHN RICHICHI		Telephone: 845-542-0339 E-Mail: JRICHICHI@ME.COM	
Address: 20 FROZEN RIDGE ROAD			
City/PO: NEWBURGH		State: NY	Zip Code: 12550
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ 2.1 acres			
b. Total acreage to be physically disturbed? _____ 0.8 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 2.1 acres			
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

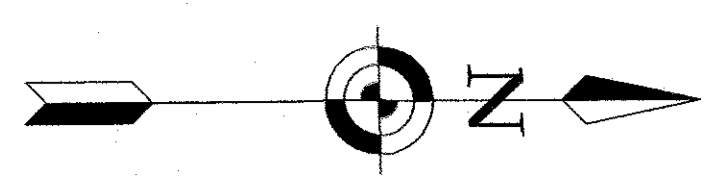


<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p>		
<p>Applicant/sponsor name: <u>CHARLES T. BROWN, PE</u></p>		<p>Date: <u>12-4-2018</u></p>
<p>Signature: _____</p>		

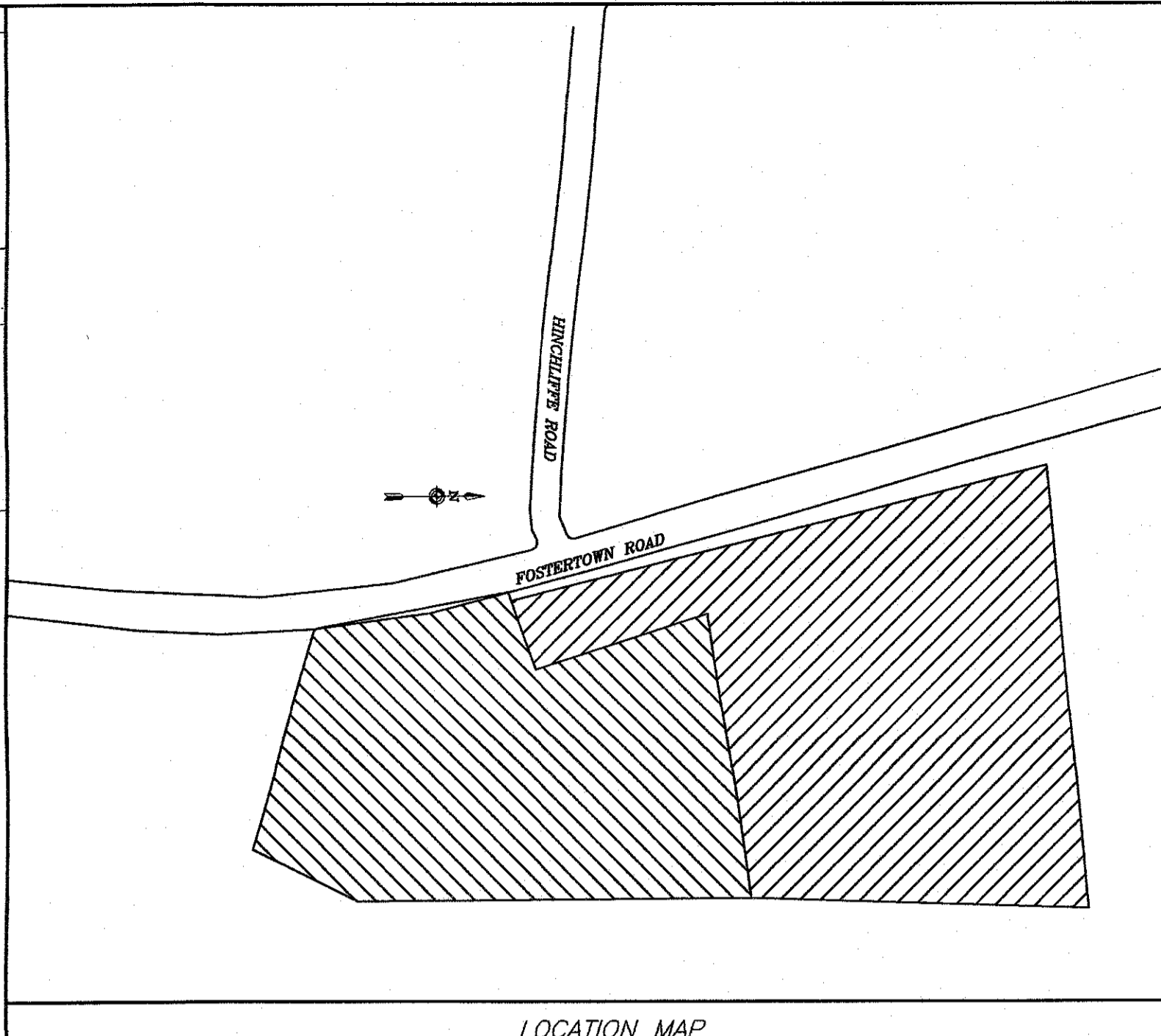
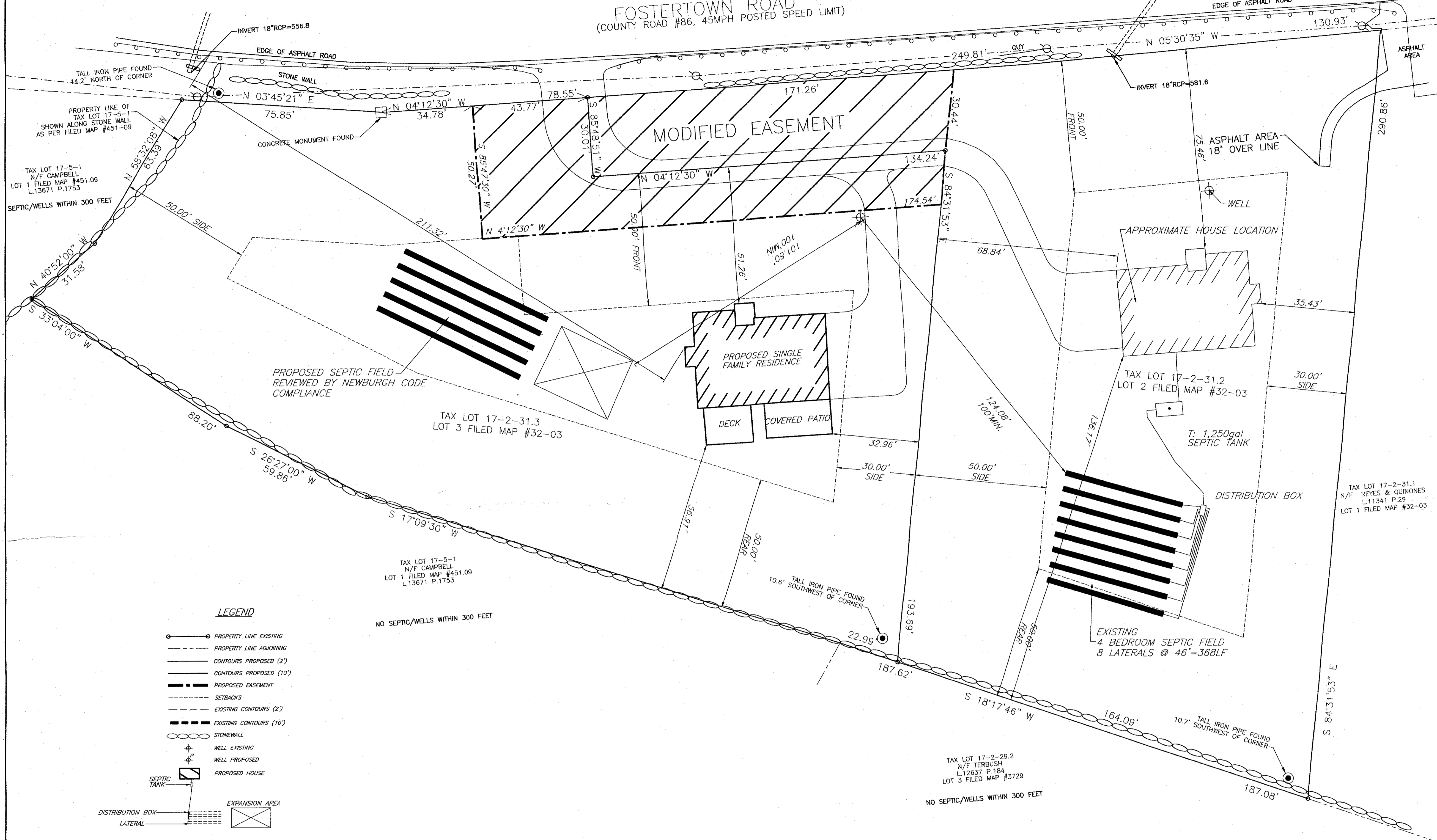


- Part 1 / Question 7 [Critical Environmental Area] No
- Part 1 / Question 12a [National Register of Historic Places] No
- Part 1 / Question 12b [Archeological Sites] No
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] No
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] No





HINCHLIFFE ROAD  
 FOSTERTOWN ROAD  
 (COUNTY ROAD #86, 45MPH POSTED SPEED LIMIT)



**ZONING SCHEDULE**

ZONE: AR

	REQUIRED	LOT 3 PROVIDED	LOT 2 PROVIDED
MINIMUM LOT AREA	40,000sf	46,997 SF	45,253 SF
MINIMUM YARDS (feet)			
FRONT	50'	51'	75'
REAR	50'	56'	136'
SIDE			
ONE	30'	32'	35'
BOTH	80'	243'	104'
MINIMUM LOT WIDTH (feet)	150'	313'	162'
MINIMUM LOT DEPTH (feet)	150'	160'	225'
MAXIMUM BUILDING SURFACE COVERAGE (%)	10%	4%	4%
MAXIMUM LOT SURFACE COVERAGE (%)	20%	10%	10%
MAXIMUM BUILDING HEIGHT	35'	<35'	<35'

**LOT NOTES:**

1. AN ASBUILT SURVEY AND CERTIFICATION SHALL BE PROVIDED TO THE TOWN OF NEWBURGH CODE ENFORCEMENT DEPARTMENT PRIOR TO ISSUANCE OF A CERTIFICATION OF OCCUPANCY.

**LEGEND**

- PROPERTY LINE EXISTING
- - - - - PROPERTY LINE ADJOINING
- CONTOURS PROPOSED (2')
- CONTOURS PROPOSED (10')
- PROPOSED EASEMENT
- SETBACKS
- EXISTING CONTOURS (2')
- EXISTING CONTOURS (10')
- STONEWALL
- ⊕ WELL EXISTING
- ⊕ WELL PROPOSED
- ▭ PROPOSED HOUSE
- ▭ SEPTIC TANK
- ▭ EXPANSION AREA
- ▭ DISTRIBUTION BOX
- ▭ LATERAL
- ▭ SILT FENCE

NO SEPTIC/WELLS WITHIN 300 FEET

NO SEPTIC/WELLS WITHIN 300 FEET

**APPLICANT:**  
 JOHN RICHICHI  
 20 FROZEN RIDGE ROAD  
 NEWBURGH, NY 12550

**RECORD OWNER'S CONSENT NOTE:**  
 THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

RECORD OWNER'S SIGNATURE  
 JOHN RICHICHI  
 20 FROZEN RIDGE ROAD  
 NEWBURGH, NY 12550

**SURVEYOR'S CERTIFICATION:**  
 I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED IN THE FIELD 11/3/17.

SIGNATURE \_\_\_\_\_ DARREN STRIDIRON, L.L.S.

**REFERENCE NOTES**

1. EXISTING PROPERTY LINES PER A SUBDIVISION ENTITLED "ESTATE OF SANDRA L. CABRERA" FILED AS FM#32-03 ON 02/14/03
2. EXISTING TOPOGRAPHY PER A SURVEY PER A SURVEY PERFORMED BY DARREN STRIDIRON LS ,11/3/17
3. DRIVEWAY ENTRANCE TO FOSTERTOWN ROAD IS AS APPROVED BY ORANGE FOR THE ORIGINAL SUBDIVISION.

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

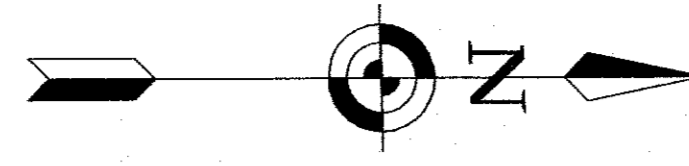
<b>SURVEYOR</b>	<b>ENGINEER</b>	<b>TALCOTT ENGINEERING DESIGN PLLC</b> 1 GARDNERTOWN ROAD NEWBURGH, NY 12550 (845)-569-8400 (FAX)(845)-569-4583 TALCOTTDESIGN12@GMAIL.COM
DARREN J. STRIDIRON	CHARLES T. BROWN, P.E.	<b>EXISTING SUBDIVISION MODIFICATION ENTITLED "CABRERA SUBDIVISION MODIFICATION" FOSTERTOWN ROAD LOT 2&amp;3, SBL: 17-2-31.2 &amp; 31.3 TOWN OF NEWBURGH, ORANGE COUNTY, NY</b>
DATE: 12/11/18	SCALE: 1"=20'	JOB NUMBER: 18.339-CHI
		SHEET NUMBER: 1 OF 3

**REVISIONS**

REV.	DATE	BY	DESCRIPTION

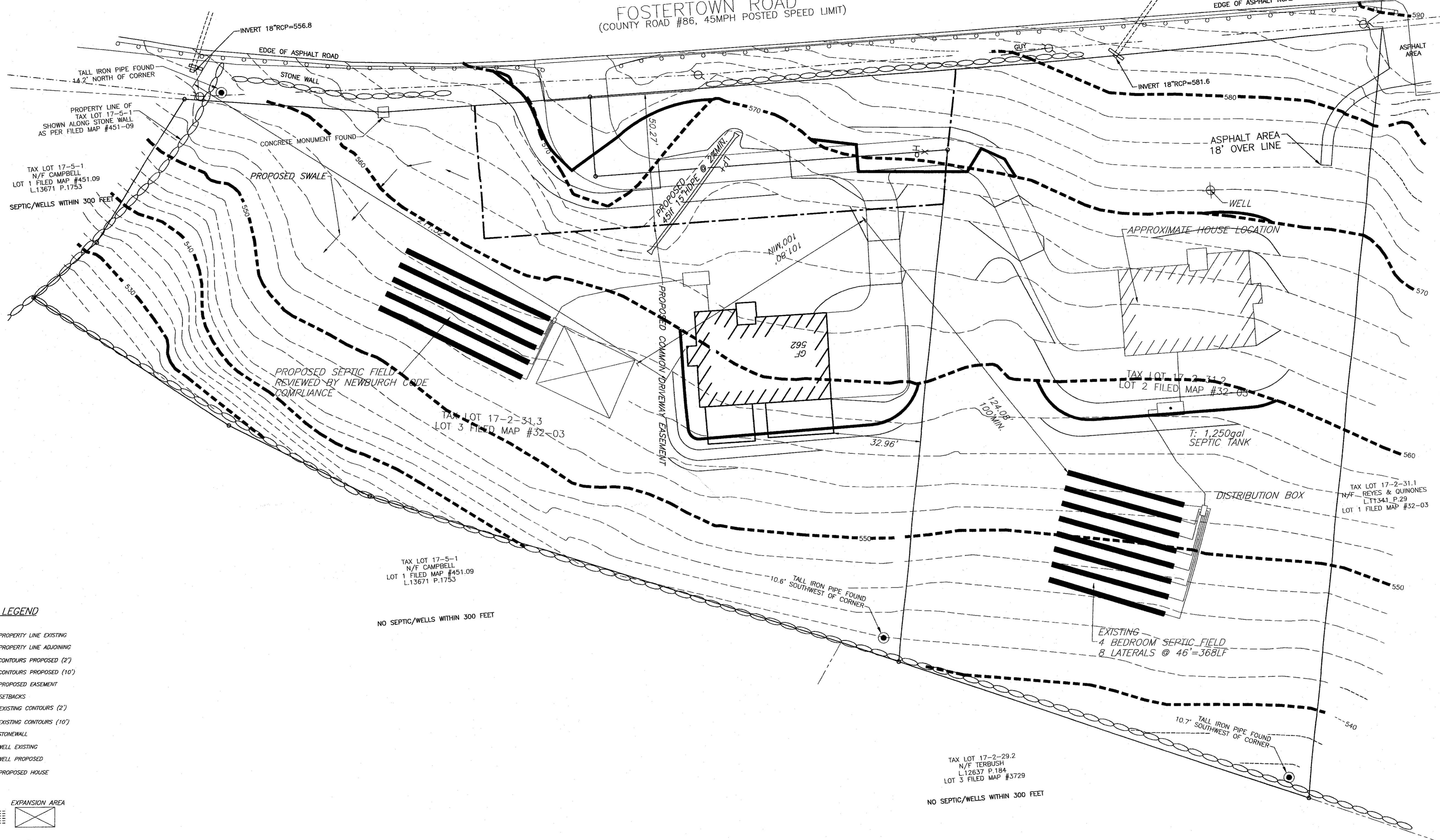
**CALL BEFORE YOU DIG... IT'S THE LAW**

WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU MUST FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOU OR YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS - AND COSTLY - TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 811



HINCHLIFFE ROAD

FOSTERTOWN ROAD  
(COUNTY ROAD #86, 45MPH POSTED SPEED LIMIT)



**LEGEND**

- PROPERTY LINE EXISTING
- PROPERTY LINE ADJOINING
- - - CONTOURS PROPOSED (2')
- - - CONTOURS PROPOSED (10')
- PROPOSED EASEMENT
- - - SETBACKS
- - - EXISTING CONTOURS (2')
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- ▭ SILT FENCE

NO SEPTIC/WELLS WITHIN 300 FEET

NO SEPTIC/WELLS WITHIN 300 FEET

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

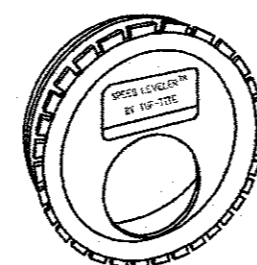
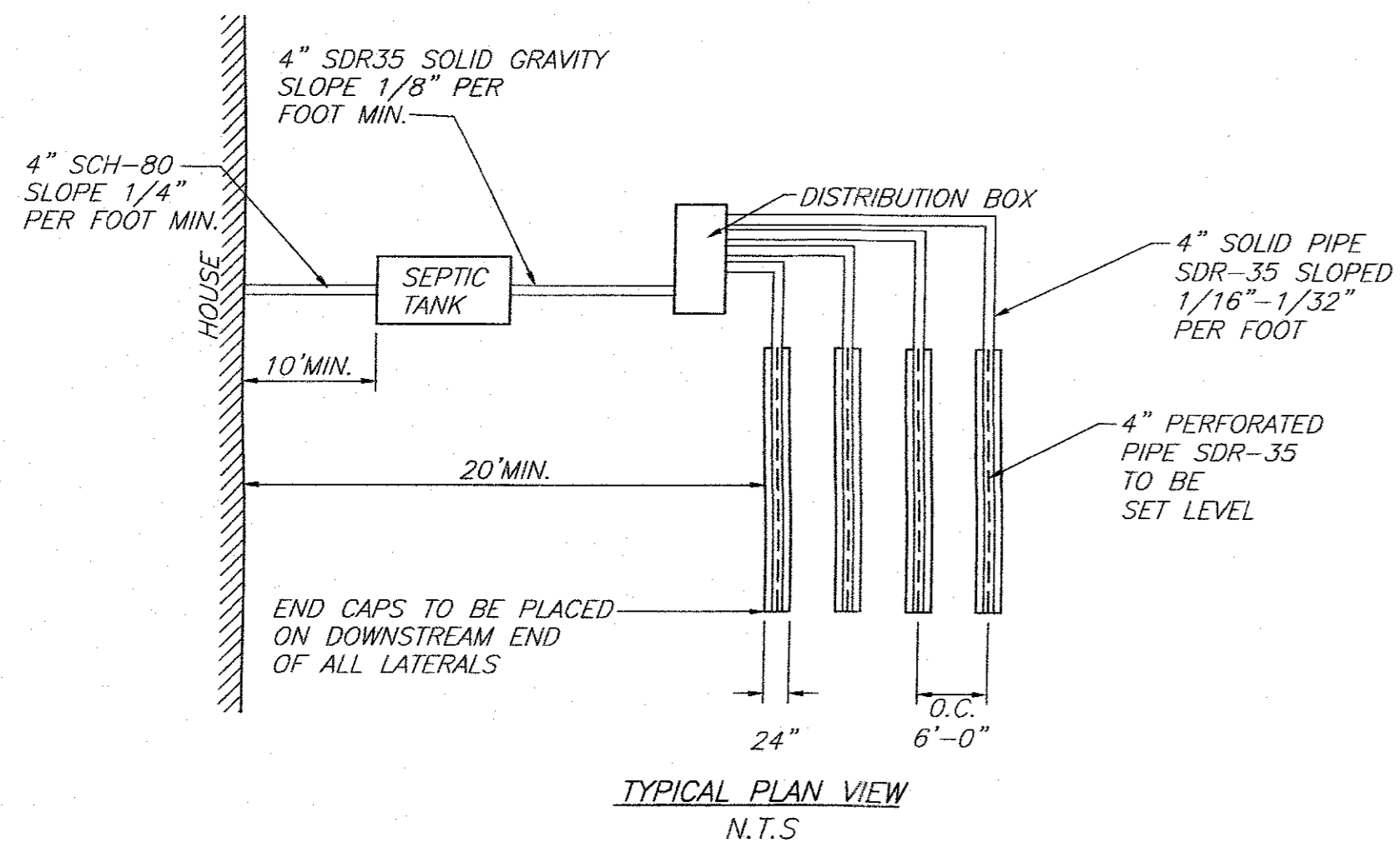
	ENGINEER	TALCOTT ENGINEERING DESIGN PLLC
	1 GARDNERTOWN ROAD NEWBURGH, NY 12550 (845)-569-8400 (FAX)(845)-569-4583 TALCOTTDESIGN12@GMAIL.COM	
EXISTING SUBDIVISION MODIFICATION ENTITLED <b>"CABRERA SUBDIVISION MODIFICATION"</b> FOSTERTOWN ROAD LOT 2&3, SBL: 17-2-31.2 & 31.3 TOWN OF NEWBURGH, ORANGE COUNTY, NY		
DATE	SCALE	JOB NUMBER
12/11/18	1"=20'	18339-CHI
SHEET NUMBER		2 OF 3

REVISIONS			
REV.:	DATE:	BY:	DESCRIPTION:

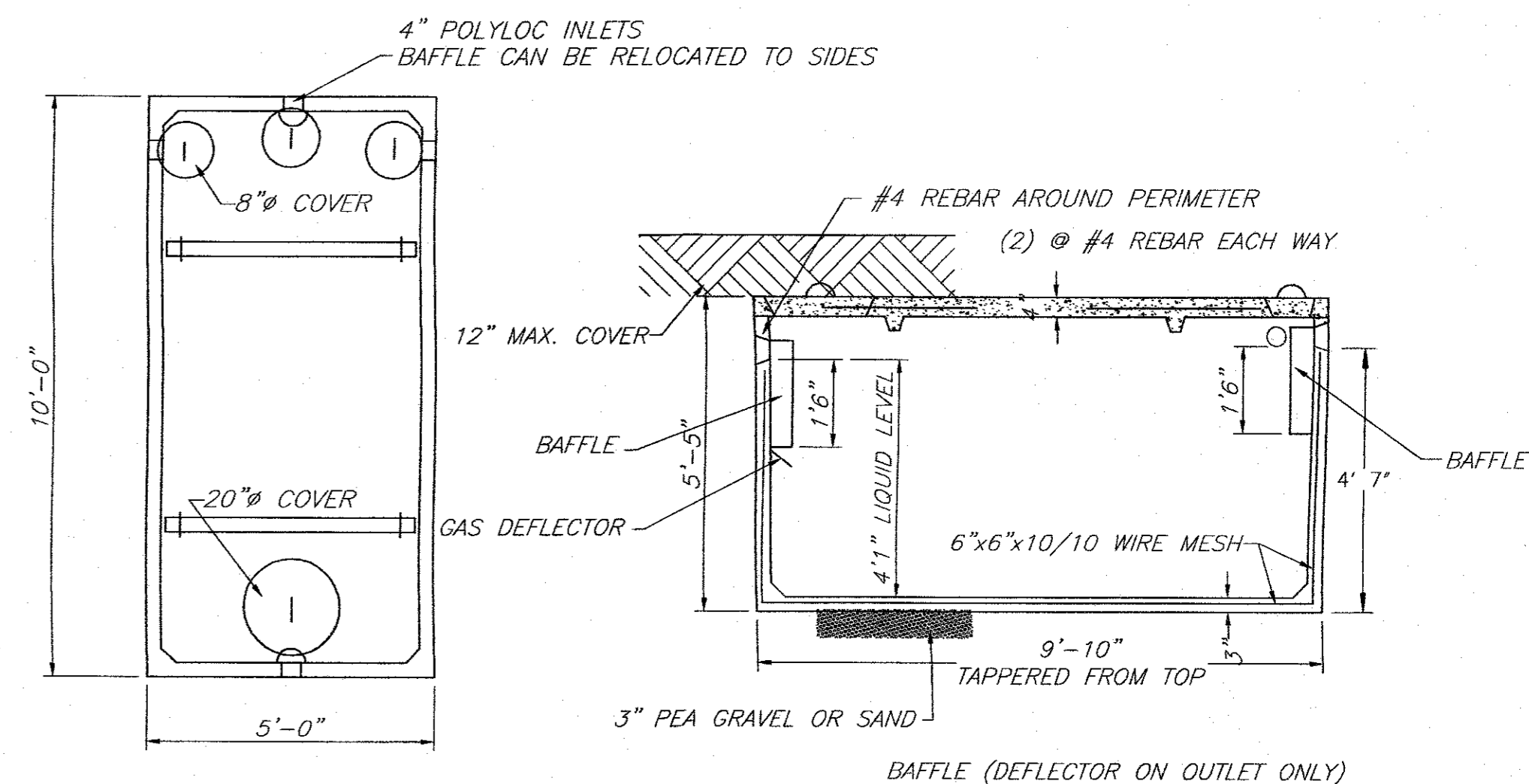
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WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU MUST FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOU OR YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS - AND COSTLY - TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 811



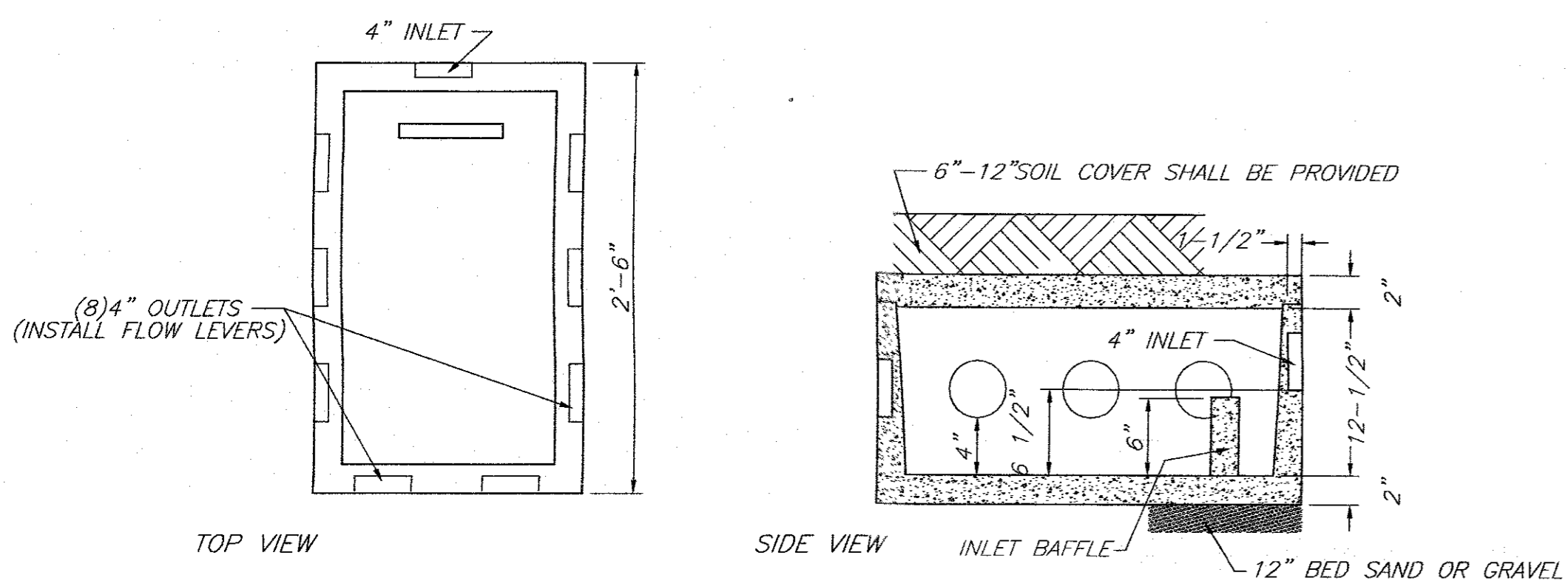
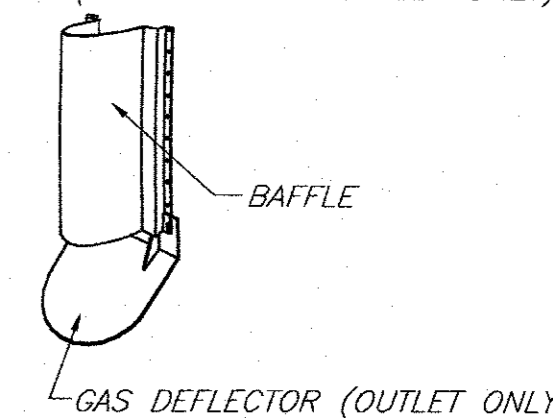


1. INSERT A SPEED LEVELER IN THE END OF ALL OUTLET PIPES IN THE DROPBOX.  
 2. ROTATE UNTIL EFFLUENT ENTERS ALL OUTLETS EQUALLY.  
**WOODARD'S SPEED LEVELER FSL-4**  
 N.T.S.



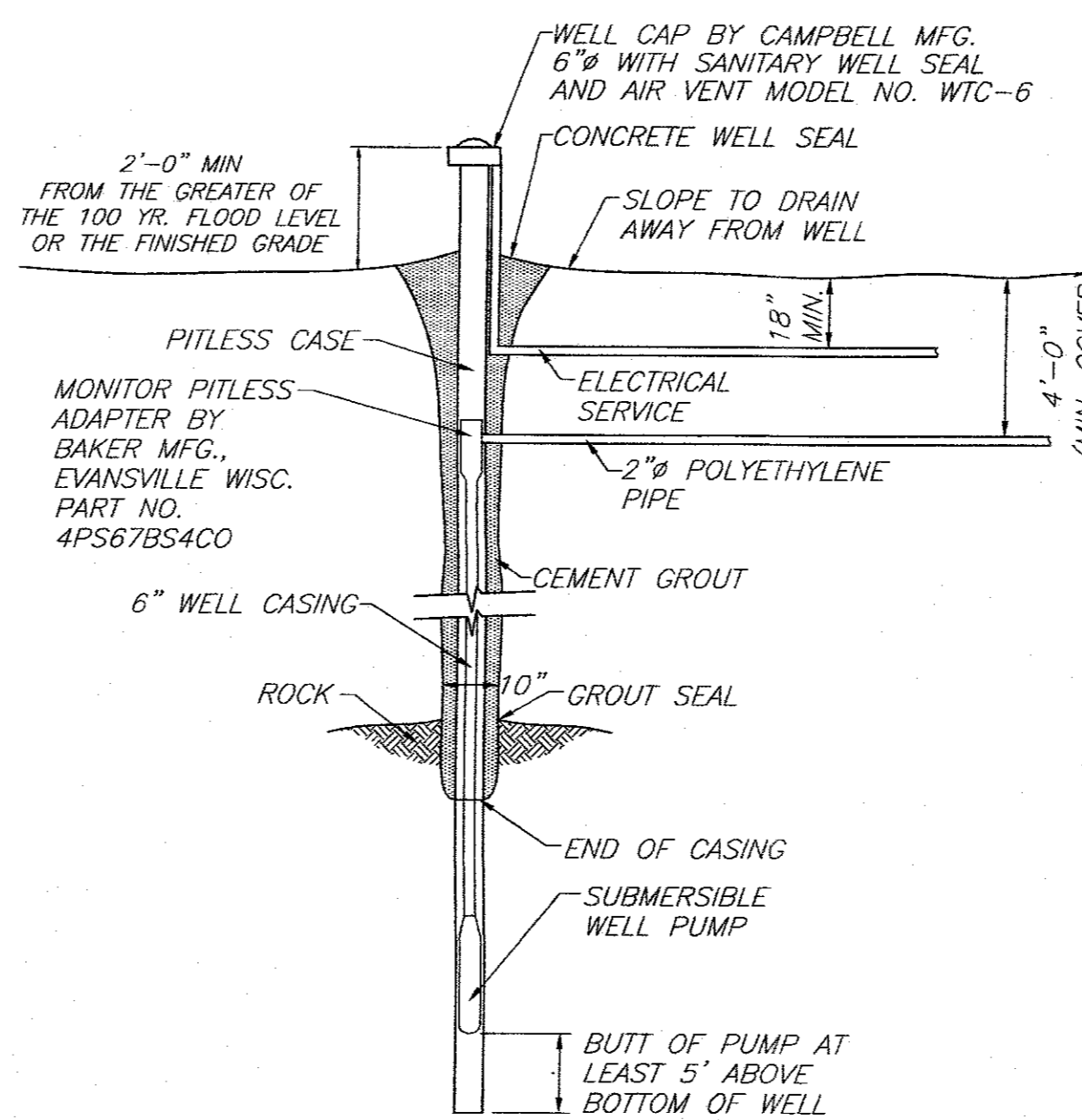
**WOODARD'S 1250gal. SEPTIC TANK OR EQUAL**  
 N.T.S.

SPECIFICATIONS	
CONCRETE MINIMUM STRENGTH-	4,000 PSI AT 28 DAYS
REINFORCEMENT-	6"x6" 10GA. WWF, #4 REBAR
AIR ENTRAPMENT-	5%
CONSTRUCTION JOINT-	BUTYL RUBBER - BASE CEMENT
PIPE CONNECTION-	POLYLOK SEAL (PATENTED)
LOAD RATING-	300PSF WEIGHT = 9,500LBS



**WOODARD'S PRECAST 8 OUTLET DISTRIBUTION BOX**  
 N.T.S.

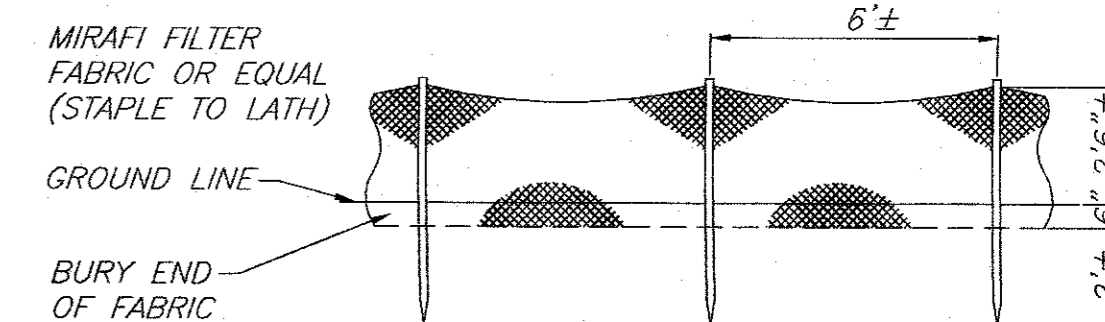
SPECIFICATIONS	
CONCRETE MINIMUM STRENGTH-	4,000 PSI AT 28 DAYS
REINFORCEMENT-	FIBER
AIR ENTRAPMENT-	5%
PIPE CONNECTION-	POLYLOK SEAL (PATENTED)
LOAD RATING-	300 PSF WEIGHT = 290 lbs



**TYPICAL WELL DETAIL**  
 N.T.S.

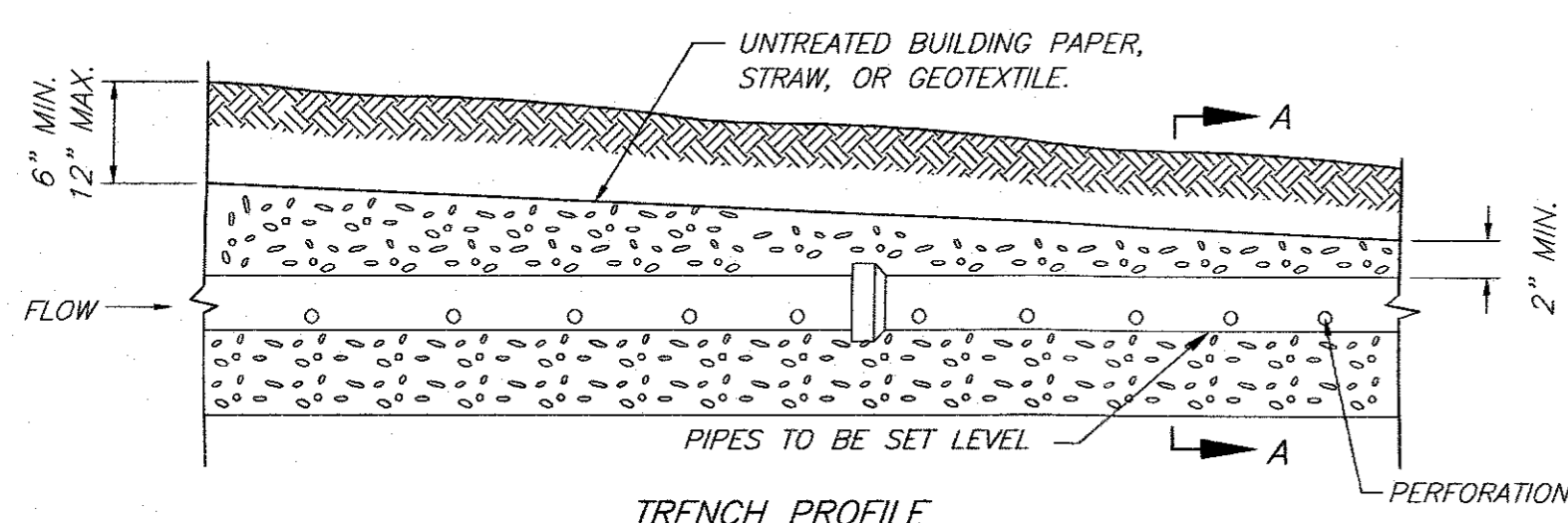
- WELL NOTES:**
- CASING DEPTH SHALL EXTEND AT LEAST 40' BELOW GROUND IN ANY CONDITION
  - WELL TO BE CONSTRUCTED PER NYSDOH APPENDIX 5B "STANDARDS FOR WATER WELL" LATEST EDITION
  - WELL SHALL HAVE A MIN. YIELD OF 5 GPM.
  - WELL CASING MATERIAL IS TO BE IN COMPLIANCE WITH AWWA STANDARD A-100, LATEST VERSION.

**NOTE:**  
 SILT FENCE IS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND SHALL BE CHECKED AFTER EVERY RAIN STORM. SILT FENCES ARE TO BE REPLACED AS NECESSARY DUE TO DAMAGE OR WHEN FILLED WITH SILT. SILT TO BE REMOVED IN FRONT OF FENCES REGULARLY TO PREVENT EXCESSIVE SOIL BEARING WEIGHT ON THE FENCES AND FENCE POSTS.



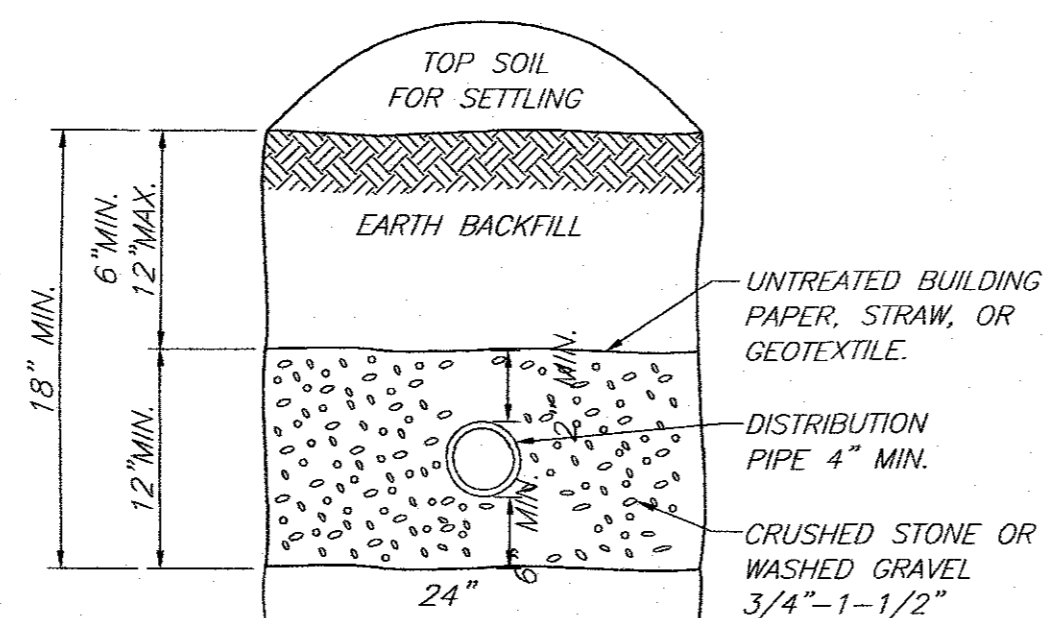
**SILT FENCE DETAIL**  
 N.T.S.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. SILT FENCING IS TO BE USED FOR SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION. SILT FENCING IS TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS REESTABLISHED.



**NOTES**  
 DO NOT INSTALL TRENCHES IN WET SOIL. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL. END OF ALL DISTRIBUTION PIPES MUST BE PLUGGED UNLESS INTERCONNECTED. BOTTOM OF TRENCH TO BE LEVEL.

**ABSORPTION TRENCH DETAIL**  
 N.T.S.



**SECTION A-A**

REVISIONS			
REV.	DATE	BY	DESCRIPTION

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

	<b>ENGINEER</b> <b>TALCOTT ENGINEERING DESIGN PLLC</b> 1 GARDNERTOWN ROAD NEWBURGH, NY 12550 (845)-569-8400 (FAX) (845)-569-4583 TALCOTTDESIGN12@GMAIL.COM		
	<b>EXISTING SUBDIVISION MODIFICATION ENTITLED</b> <b>"CABRERA SUBDIVISION MODIFICATION"</b> <b>FOSTERTOWN ROAD LOT 2&amp;3, SBL: 17-2-31.2 &amp; 31.3</b> <b>TOWN OF NEWBURGH, ORANGE COUNTY, NY</b>		
CHARLES T. BROWN, P.E. 12/11/18	SCALE NTS	JOB NUMBER 18,339-CHI	SHEET NUMBER 3 OF 3