



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: DIXON 2 LOT SUBDIVISION
PROJECT NO.: 14-15
PROJECT LOCATION: SECTION 3, BLOCK 1, LOT 103.31
PROJECT REPRESENTATIVE: TALCOTT ENGINEERING
REVIEW DATE: 13 NOVEMBER 2014
MEETING DATE: 20 NOVEMBER 2014

1. The proposed flag lot layout does not meet the requirements of access to a public highway as neither of the strips of land is 15 feet wide or wider. A 9.9 foot wide and a 14.93 foot wide which may actually narrow towards the proposed subdivision are identified on the plans.
2. A note will be added to the map requiring the installation of the new well to service existing structure on lot 1 prior to filing of the subdivision map.
3. Orange County DPW approval for the driveway is required.
4. Abandonment of the existing private driveway would apparently require concurrence of the Owners of lot 103.32.
5. Any approval which contains 3 lots on a private roadway would require the road to be named in accordance with the Town 911 system.

Respectfully submitted,

***McGoey, Hauser & Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

Talcott Engineering DESIGN, PLLC

1 GARDNERTOWN ROAD ~ NEWBURGH, NY 12550
(845) 569-8400 ~ (fax) (845) 569-4583

NOV 12 2014

November 12, 2014

Town of Newburgh
Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Attn: John Ewasutyn, Chairman

Re: Dixon 2 Lot Subdivision
Town Project No. 2014-15
S-B-L: 3-1-103.31
Job No. 13074-PEI



Dear John,

Please be advised that Talcott Engineering has prepared a revised subdivision plan set for the above referenced project. Said plan set has been revised to address the following:

To address Mike Donnelly's Comment;

1. The driveway and proposed property lines have been relocated such that a portion of it is on each lot for the full length of "common driveway".

Per Pat Hines Comments;

1. See Above
2. We are prepared to go before the Town Board for 3 lots on 1 common driveway.
3. A note has been added requiring the well for Lot 1 to be drilled prior to the filing of the subdivision.

Attached are 12 subdivision plan sets.

Respectfully yours,

Charles T. Brown, P.E. – President
Talcott Engineering Design

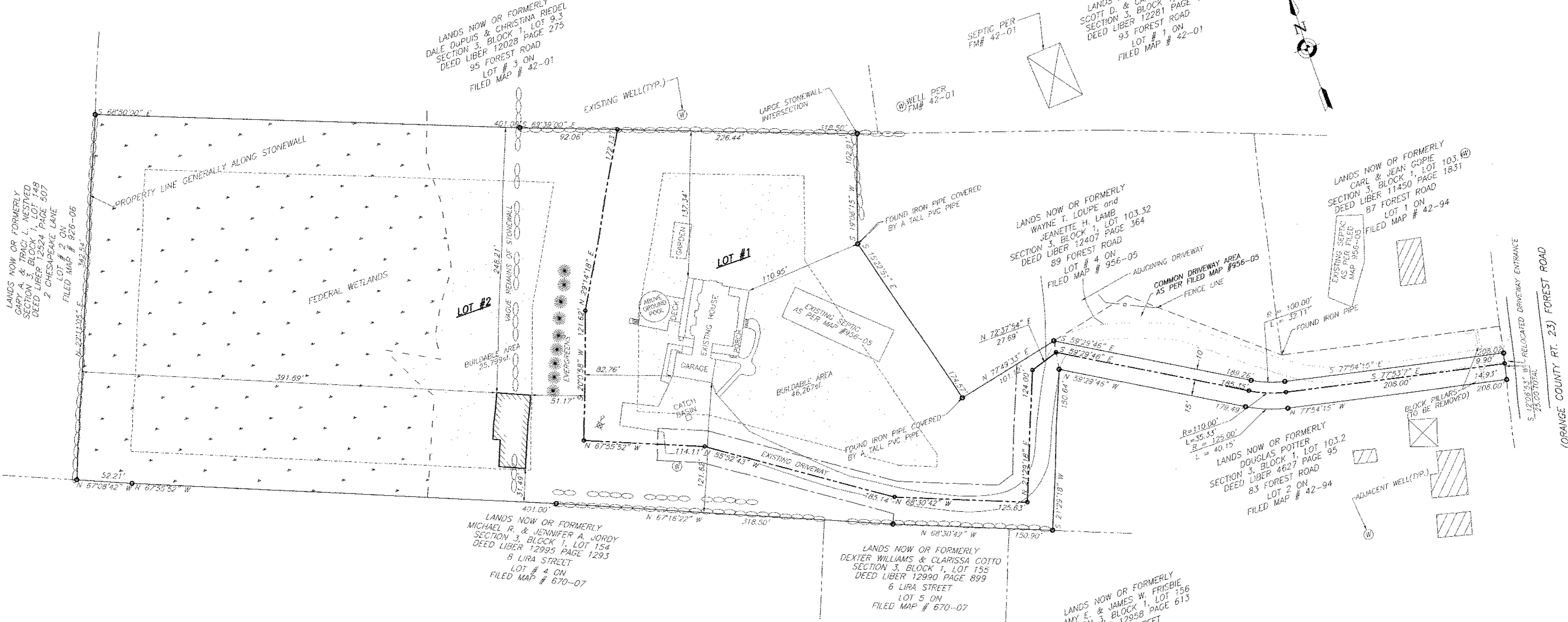
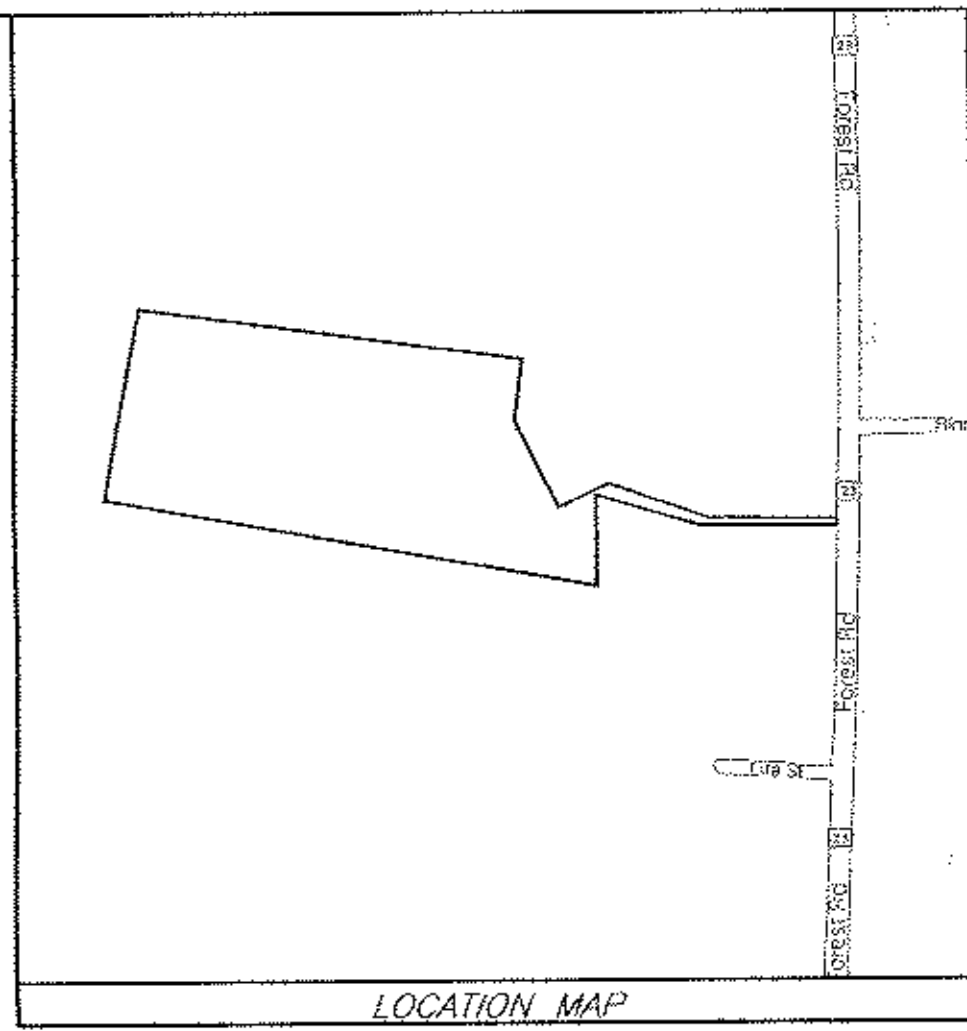
Pc: Percy Dixon, Owner

ZONING SCHEDULE

ZONE: AR	REQUIRED	LOT #1 PROPOSED	LOT #2 PROPOSED
MINIMUM LOT AREA	0.92ac.(40,000sf.)	105,051sf.	193,278sf.
MINIMUM LOT WIDTH (feet)	150'	295'	348'
MINIMUM LOT DEPTH (feet)	150'	357'	472'
MINIMUM YARDS (feet)			
FRONT	50'	110'	51'
REAR	50'	82'	391'
SIDE			
ONE	30'	121'	31'
BOTH	60'	298'	779'
MINIMUM HABITABLE FLOOR AREA	900sf.	>900sf.	>900sf.
MAXIMUM LOT BUILDING COVERAGE	10%	3%	1%
MAXIMUM BUILDING HEIGHT	35'	35'max.	35'max.
MAXIMUM LOT SURFACE COVERAGE	20%	18%	4%
MINIMUM BUILDING AREA	10,000sf.	46,267sf.	25,799sf.

- LOT #1 NOTES**
- THE PROPOSED WELL ON LOT #1 SHALL BE CONSTRUCTED PRIOR TO THE FILING OF THE SUBDIVISION IN ORANGE COUNTY.
- LOT #2 NOTES**
- LOT SPECIFIC PLOT PLANS FOR LOT #2 SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION AND FOUNDATION AND SEPTIC FIELDS SHALL BE STAKED OUT, PER PLOT PLAN, BY A LICENSED SURVEYOR, PRIOR TO CONSTRUCTION.

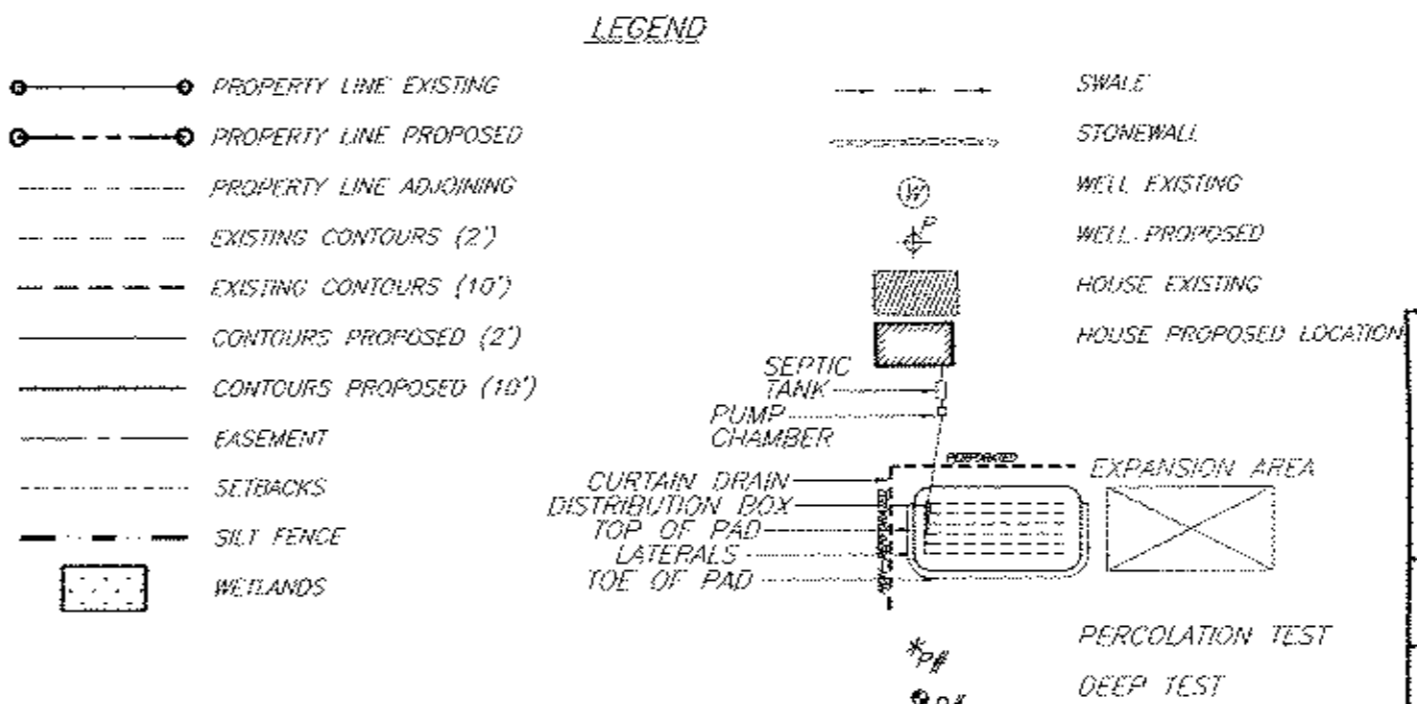
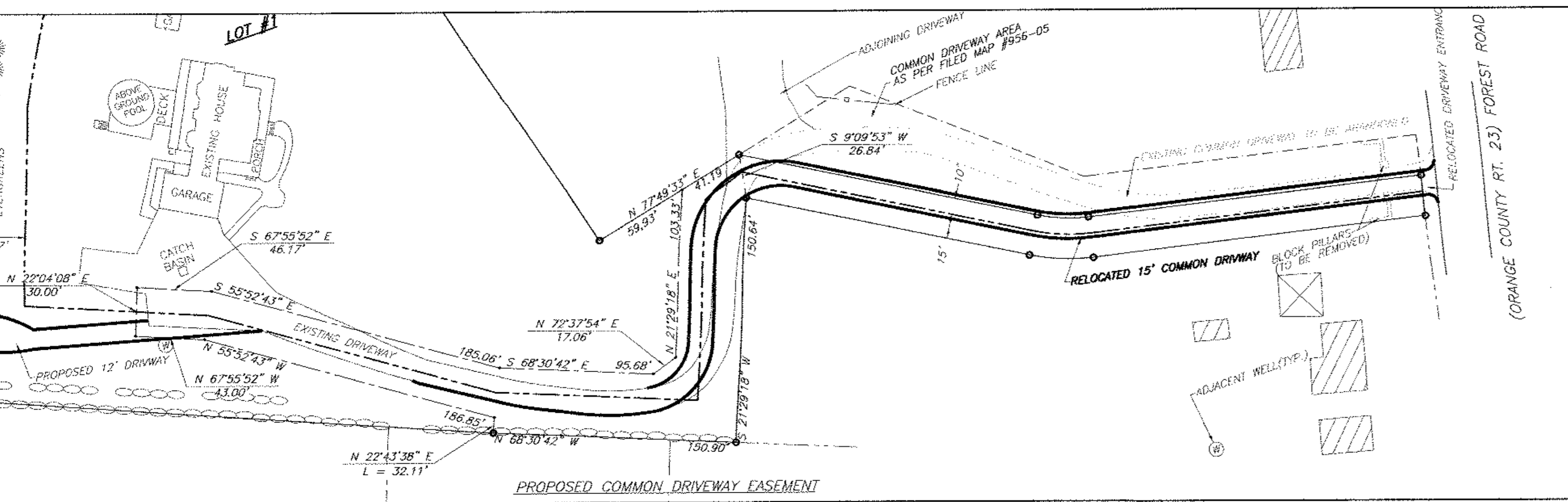
- MAP REFERENCES:**
- ALL EXISTING FEATURES, INCLUDING TOPOGRAPHY, BUILDINGS, PROPERTY LINES AND ROADS PER A SURVEY ENTITLED "PERCY DIXON & KIMBERLY DIXON" PERFORM BY MARGARET M. HILLRIEGEL, P.L.S., LAST REVISED ON AUGUST 7, 2013.
 - EXISTING FEDERAL WETLAND BOUNDARY FLAGGED BY BIOLOGIST MIKE NOWICKI AND LOCATED BY BY MARGARET M. HILLRIEGEL, P.L.S., DURING JULY 2013.



APPLICANT:
 PERCY & KIMBERLY DIXON
 35 FOREST ROAD
 WALLKILL, NY 12589

RECORD OWNER'S CONSENT NOTE:
 THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

PERCY & KIMBERLY DIXON
 35 FOREST ROAD
 WALLKILL, NY 12589



SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED BY ME IN THE FIELD ON AUGUST 7, 2013.

MARGARET M. HILLRIEGEL
 LICENSE NO. 50253

TOWN PROJECT# 14-15
 THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

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 TALCOTTDESIGN120@MML.COM

ENGINEER
CHARLES T. BROWN, P.E.
 P.O. BOX 4470
 NEW WINDSOR, N.Y. 12553

LOT LAYOUT
PROPOSED SUBDIVISION ENTITLED "DIXON SUBDIVISION II"
85 FOREST ROAD (COUNTY RT 23)
SBL 3-1-103.31, LOT #3 FM#42-94
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 05/27/14 SCALE: 1"=50' JOB NUMBER: 13074-PEI SHEET NUMBER: 1 OF 3

CALL BEFORE YOU DIG... IT'S THE LAW

WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU MUST FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOU OR YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS - AND COSTLY - TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 811

TOWN CERTIFICATION:
 I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE PROPOSED SEWAGE DISPOSAL SYSTEMS DEPICTED ON THIS PLAN HAVE BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."

REVISIONS

REV.	DATE	BY	DESCRIPTION
1	11/11/14	RBM	REVISED COMMON DRIVEWAY

LANDS NOW OR FORMERLY
CARL A. TRACY
SECTION 3, BLOCK 1, LOT 1
DEED LIBER 12028 PAGE 275
95 FOREST ROAD
LOT # 3 ON
FILED MAP # 42-01

LANDS NOW OR FORMERLY
DALE DUPUIS & CHRISTINA RIEDEL
SECTION 3, BLOCK 1, LOT 9.3
DEED LIBER 12028 PAGE 275
95 FOREST ROAD
LOT # 3 ON
FILED MAP # 42-01

LANDS NOW OR FORMERLY
SCOTT D. & CAROLINE M. GOLL
SECTION 3, BLOCK 1, LOT 9.1
DEED LIBER 12281 PAGE 1431
93 FOREST ROAD
LOT # 1 ON
FILED MAP # 42-01

LANDS NOW OR FORMERLY
WAYNE T. LOUPE and
JEANETTE H. LAMB
SECTION 3, BLOCK 1, LOT 103.32
DEED LIBER 12407 PAGE 364
89 FOREST ROAD
LOT # 4 ON
FILED MAP # 956-05

LANDS NOW OR FORMERLY
CARL & JEAN GOPPE
SECTION 3, BLOCK 1, LOT 103.10
DEED LIBER 11450 PAGE 1831
87 FOREST ROAD
LOT 1 ON
FILED MAP # 42-94

LANDS NOW OR FORMERLY
DEXTER WILLIAMS & CLARISSA COTTO
SECTION 3, BLOCK 1, LOT 153
DEED LIBER 12995 PAGE 1233
6 LIRA STREET
LOT # 4 ON
FILED MAP # 670-07

LANDS NOW OR FORMERLY
DOUGLAS POTTER
SECTION 3, BLOCK 1, LOT 103.2
DEED LIBER 4627 PAGE 95
83 FOREST ROAD
LOT 2 ON
FILED MAP # 42-94

LANDS NOW OR FORMERLY
AMY E. & JAMES W. FRISBIE
SECTION 3, BLOCK 1, LOT 156
DEED LIBER 12958 PAGE 613
4 LIRA STREET
LOT 6 ON
FILED MAP # 670-07

SEPTIC DESIGN CRITERIA: LOT #2

1. NO. OF BEDROOMS- 3max.
2. SEPTIC TANK DESIGN- 1,250 GAL.
3. STABILIZED PERCOLATION RATE- 4.3 MIN/IN
4. FLOW RATE (GALS./DAY)- 330
5. DESIGN LENGTHS: PROVIDE 4 LATERALS @ 86' = 344ft. (330ft. REQ'D)
6. FILL REQUIRED: 19" MIN. SHALLOW TRENCH SYSTEM
7. PUMP CHAMBER REQUIRED

PERCOLATION DATA: LOT 2

P1	12" DEEP	11/18/13	1	2	3	4
FINISH	2:02	2:38	3:22	4:06		
START	1:32	2:03	2:39	3:23		
TIME	:28	:36	:43	:43		
STABILIZED PERCOLATION RATE: 43 MINUTES / INCH						

P2	12" DEEP	11/15/13	1	2	3	4
FINISH	1:59	2:30	3:07	3:45		
START	1:36	1:59	2:30	3:08		
TIME	:23	:31	:37	:37		
STABILIZED PERCOLATION RATE: 37 MINUTES / INCH						

DEEP TEST DATA: LOT #2

- D1 72" DEEP 11/15/13
0-7" TOPSOIL
7"-6" CLAY LOAM
MOTTLING @ 4'
- D2 72" DEEP 11/15/13
0-7" TOPSOIL
7"-6" CLAY LOAM
MOTTLING @ 4'

SEPTIC CERTIFICATION:

SUBMISSION OF CERTIFICATION AND AS-BUILT TO THE TOWN OF NEWBURGH CODE COMPLIANCE DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR LOT #2.

SEPTIC SYSTEM GENERAL NOTES:

1. ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL.
2. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE.
3. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF ABSORPTION FIELD.
4. SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL NOT BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD.
5. NO TRENCHES TO BE INSTALLED IN WET SOIL.
6. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
7. GROUT ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX.
8. DISTRIBUTION LINES ARE TO BE CAPPED.
9. THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER.
10. ALL NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH.
11. NO SEWAGE SYSTEM SHALL BE PLACED WITHIN 35' OF ANY WATER COURSE DRAINAGE DITCH.
12. ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM.
13. BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED.
14. THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION FOR APPROVAL.
15. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION.
16. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THESE.
17. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
18. THE PURCHASER OF THIS LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

- "APPENDIX 75-A WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
- "WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH."
- "RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH."
- "PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH."

"THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES."

ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

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ENGINEER

CHARLES T. BROWN, P.E.



P.O. BOX 4470
NEW WINDSOR, N.Y. 12553

GRADING

PROPOSED SUBDIVISION ENTITLED
"DIXON SUBDIVISION II"
85 FOREST ROAD (COUNTY RT 23)
SBL 3-1-103.31, LOT #3 FM#42-94
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 05/27/14 SCALE: 1"=50' JOB NUMBER: 13074-PEI SHEET NUMBER: 2 OF 3

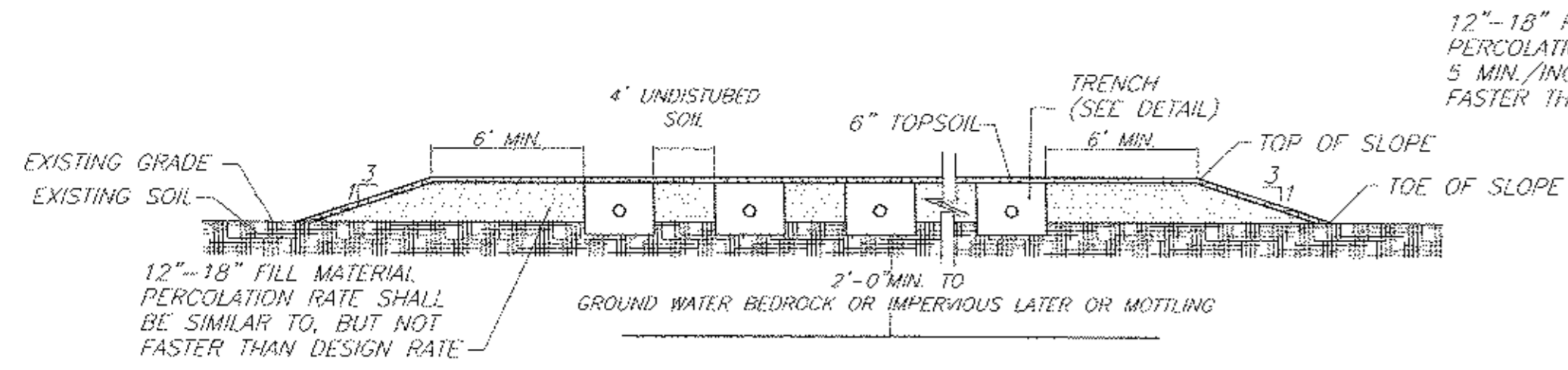
REVISIONS			
REV.	DATE	BY	DESCRIPTION
1	11/11/14	RBM	REVISED COMMON DRIVEWAY

LEGEND

- PROPERTY LINE EXISTING
- PROPERTY LINE PROPOSED
- PROPERTY LINE ADJOINING
- EXISTING CONTOURS (2')
- EXISTING CONTOURS (10')
- CONTOURS PROPOSED (2')
- CONTOURS PROPOSED (10')
- EASEMENT
- SETRACKS
- SILT FENCE
- WETLANDS
- SWALE
- STONEWALL
- WELL EXISTING
- WELL PROPOSED
- HOUSE EXISTING
- HOUSE PROPOSED LOCATION
- SEPTIC TANK
- PUMP CHAMBER
- CURTAIN DRAIN
- DISTRIBUTION BOX
- TOP OF PAD
- LATERALS
- TOE OF PAD
- EXPANSION AREA
- PERCOLATION TEST
- DEEP TEST

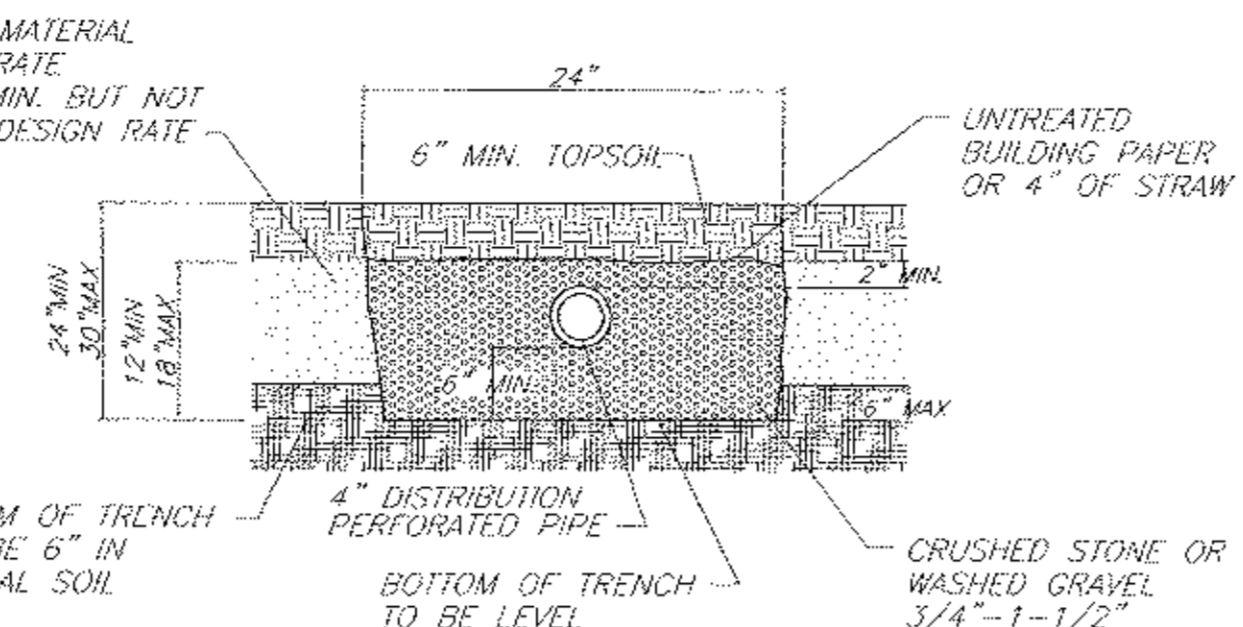
CALL BEFORE YOU DIG... IT'S THE LAW

WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU MUST FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOU OR YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS - AND COSTLY - TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 811

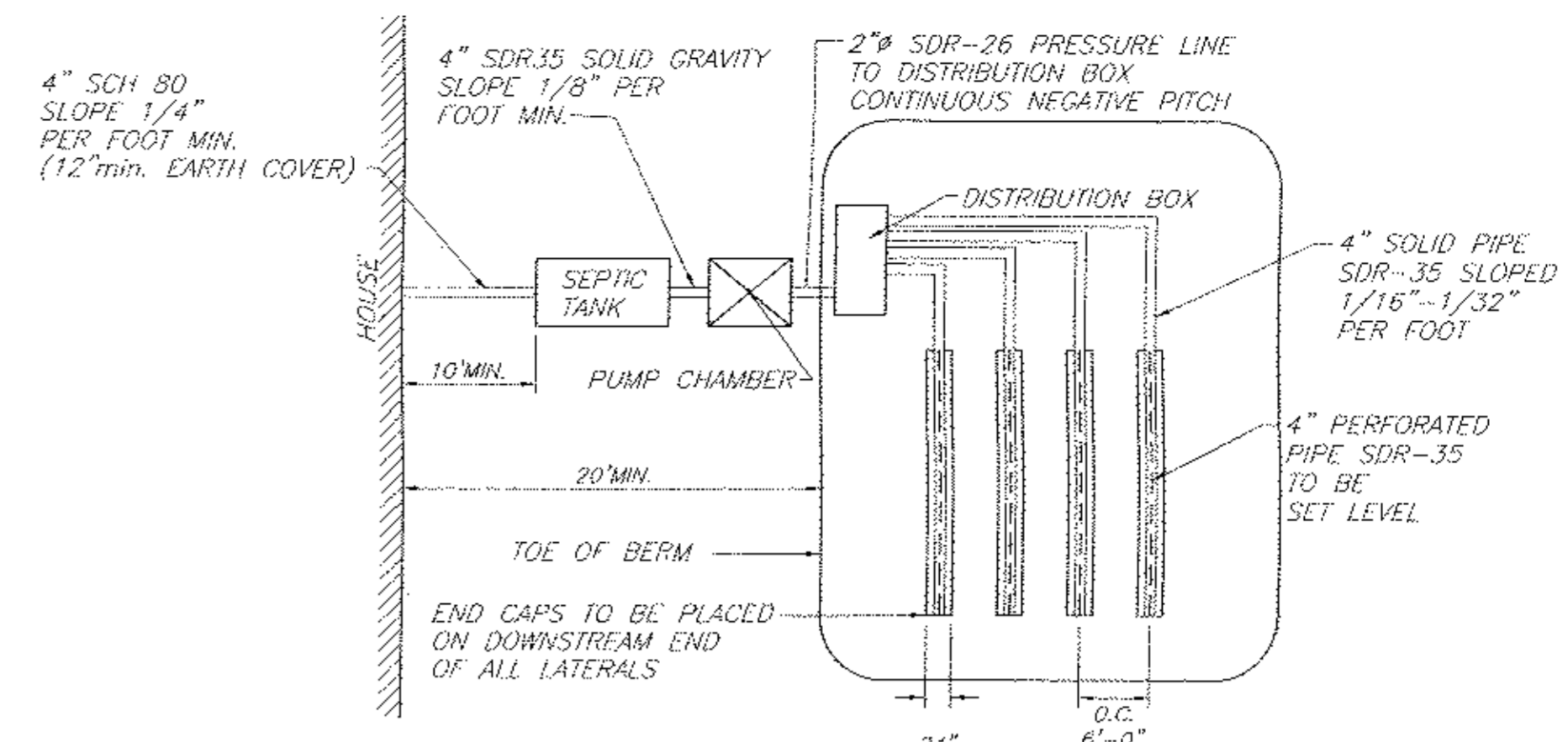


SHALLOW SYSTEM DETAIL
N.T.S.

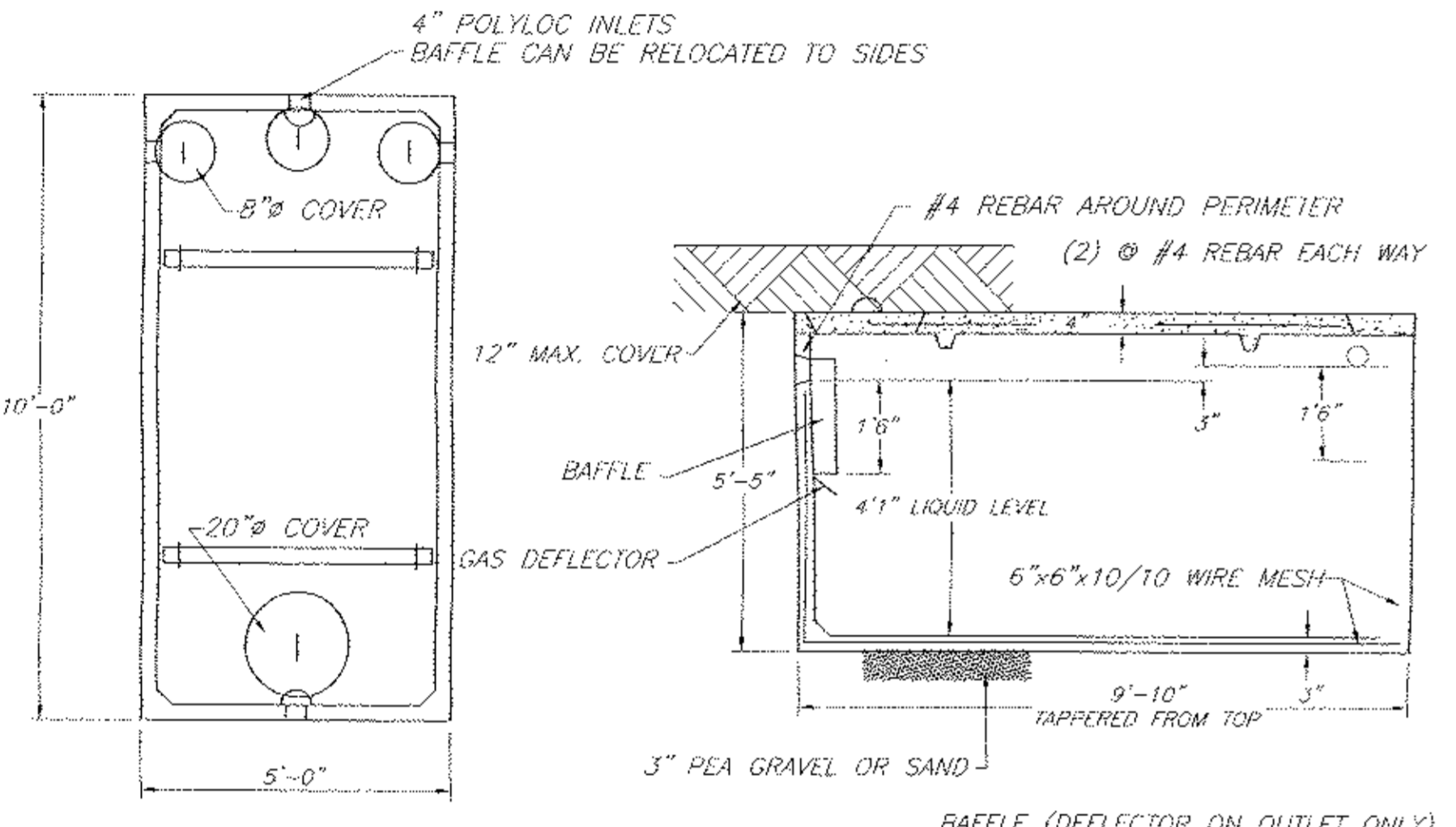
- NOTES:
 1. BOTTOM OF ALL TRENCHES SHALL NOT BE ABOVE ORIGINAL USABLE SOIL.
 2. MAXIMUM DEPTH OF USABLE FILL PLUS 6" OF TOPSOIL SHALL NOT EXCEED 30".
 3. MAXIMUM COVER OVER TRENCH AGGREGATE SHALL NOT EXCEED 12".



SHALLOW SYSTEM TRENCH DETAIL
N.T.S.

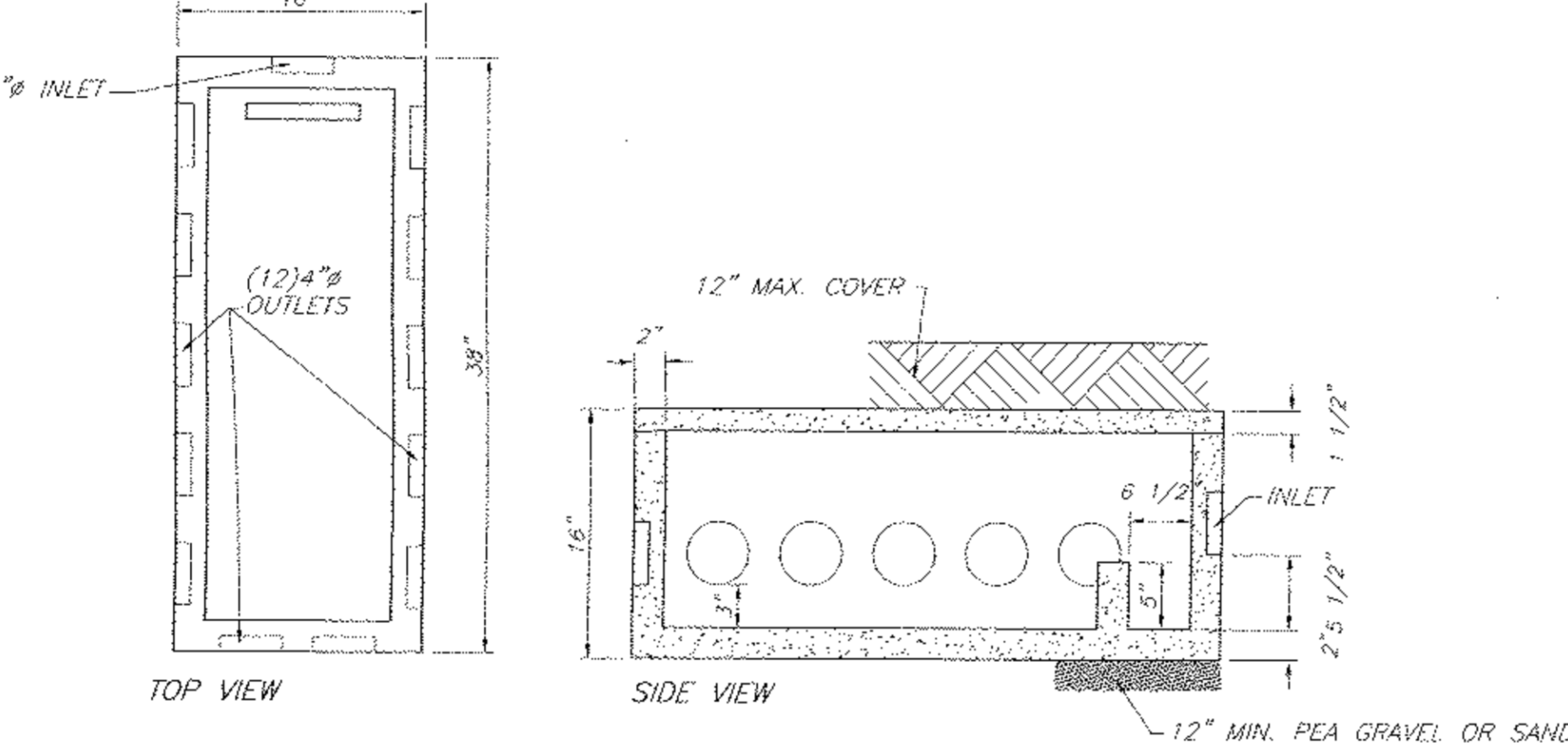
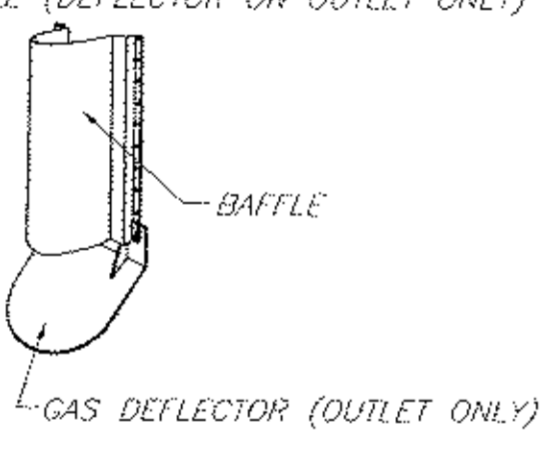


TYPICAL PLAN VIEW
N.T.S.



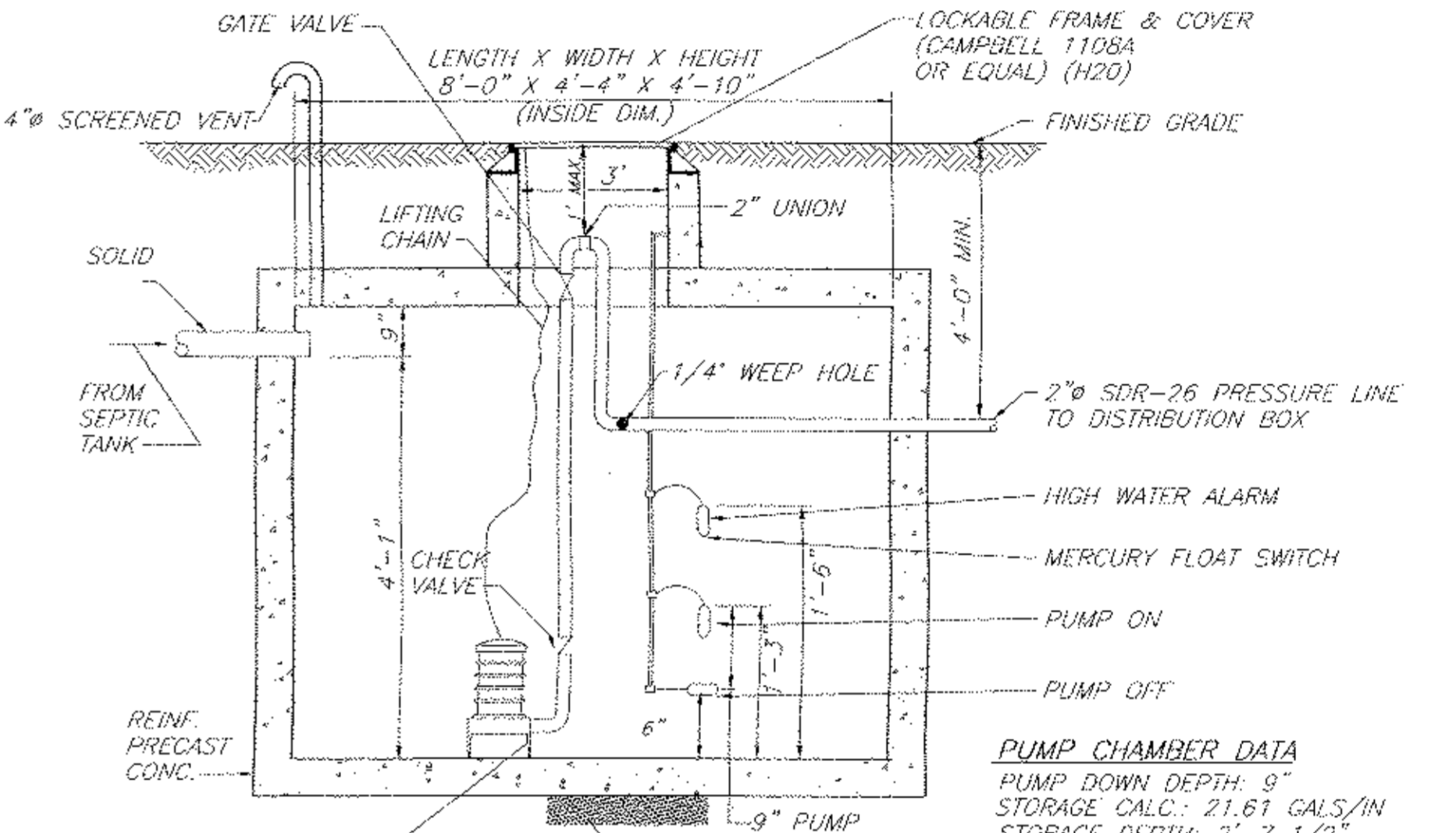
WOODWARD'S 1250gal SEPTIC TANK OR EQUAL
N.T.S.

SPECIFICATIONS
 CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
 REINFORCEMENT- 6"x6" 10GA. WWF, #4 REBAR
 AIR ENTRAPMENT- 5%
 CONSTRUCTION JOINT- BUTYL RUBBER - BASE CEMENT
 PIPE CONNECTION- POLYLOC SEAL (PATENTED)
 LOAD RATING- 300PSF WEIGHT = 9,500LBS



WOODWARD'S 12 OUTLET DISTRIBUTION BOX OR EQUAL
N.T.S.

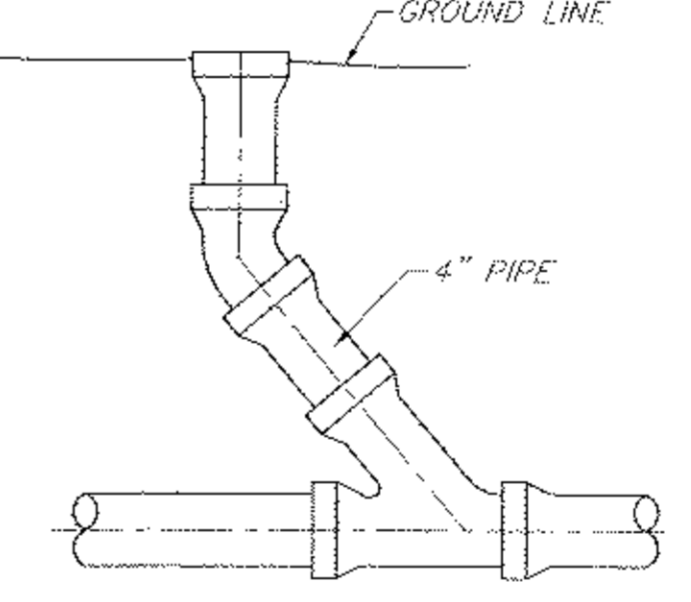
SPECIFICATIONS
 CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
 REINFORCEMENT- 6"x6" 10GA. WIRE MESH
 AIR ENTRAPMENT- 5%
 PIPE CONNECTION- POLYLOC SEAL (PATENTED)
 LOAD RATING- 300PSF WEIGHT = 325 LBS.



PUMP CHAMBER DATA
 PUMP DOWN DEPTH: 9"
 STORAGE CALC.: 21.61 GALS/IN
 STORAGE DEPTH: 2'-7 1/2"
 DOSE QTY (GALS.): 194.49 GALS.
 STORAGE QTY (GALS.): 669.91 GALS.
 MAX. ELEV. DIFFERENTIAL: 20'

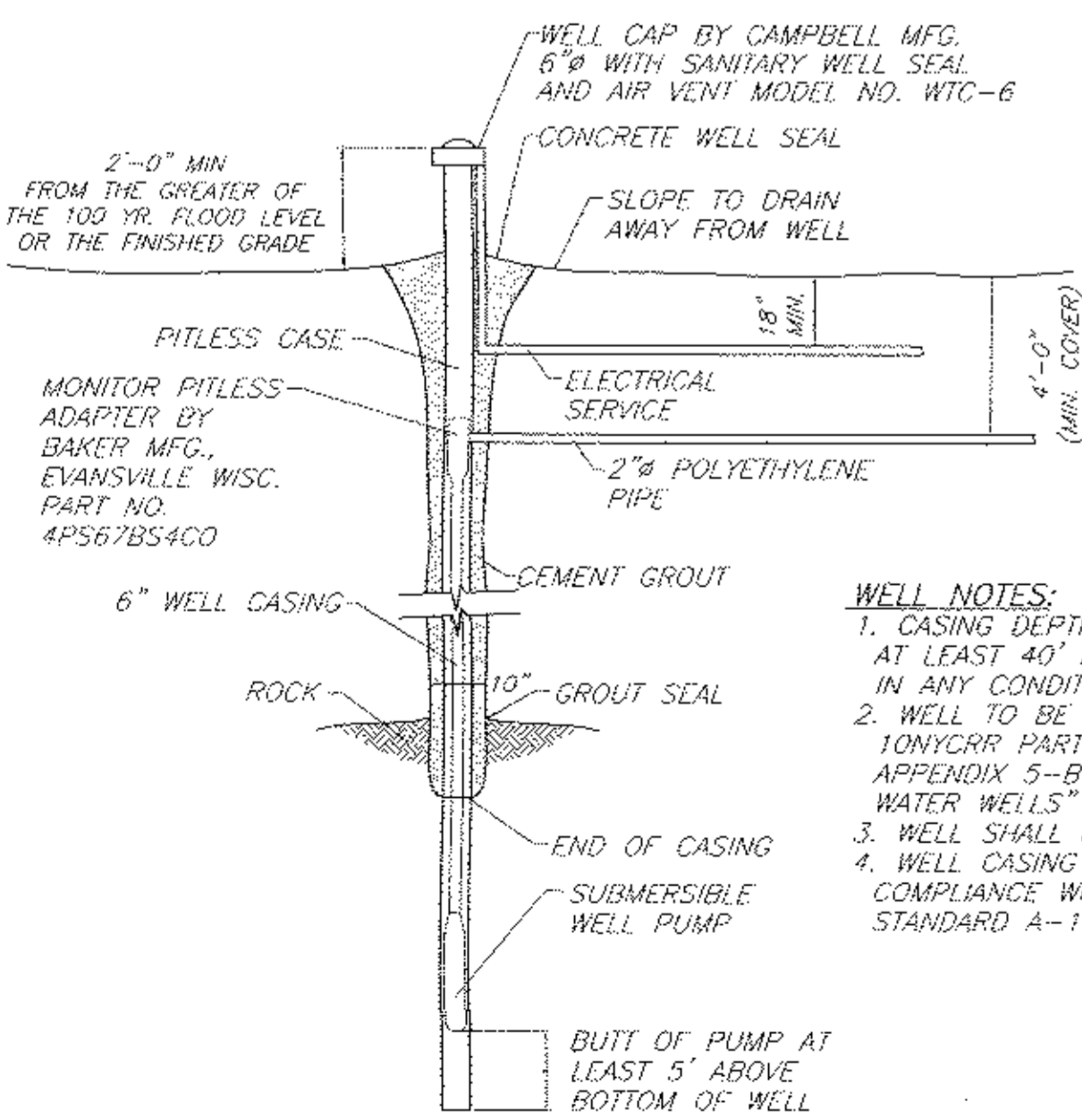
DOSING QUANTITY
 FORCE MAIN: 170' X 0.163GAL/LF = 27.71 GAL.
 LATS.: 75% X 344LF X 0.653GAL/LF = 165.47 GAL.
 196.18 GAL. TOTAL

- PUMP CHAMBER NOTES:**
- CONTRACTOR SHALL DETERMINE LENGTHS OF REQUIRED ELECTRICAL CABLE AND AVAILABLE VOLTAGE PRIOR TO ORDERING EQUIPMENT.
 - ALL WIRING SHALL CONFORM TO NATIONAL ELECTRICAL CODE & LOCAL CODE REQUIREMENTS.
 - THE POWER AND CONTROL WIRING SHALL BE MADE DIRECTLY TO THE CONTROL PANEL WITHOUT AND OUTSIDE SPLICES. CONTROL PANEL TO BE LOCATED INSIDE BASEMENT OF HOUSE AUDIBLE ALARMS AND FLASHING LIGHT.
 - A N.Y.S. PROFESSIONAL ENGINEER MUST CERTIFY TO THE CONSTRUCTION OF THE SYSTEM.
 - QUANTITY DOSED IS BASED UPON 75% OF 4" PIPE AND 100% OF FORCE MAIN.
 - QUANTITY STORED IS BASED UPON (1) DAYS FLOW MINIMUM.
 - AS-BUILT MUST SHOW FORCE MAIN LOCATION.

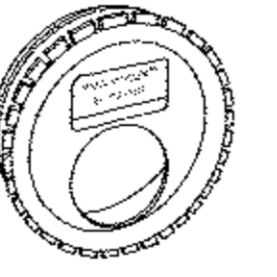


CLEANOUT DETAIL
N.T.S.

TO BE INSTALLED BEFORE BEND AT ALL BEND LOCATIONS AND AT EVERY 75' OF STRAIGHT PIPE. (DO NOT USE WITH PUMP CHAMBER)

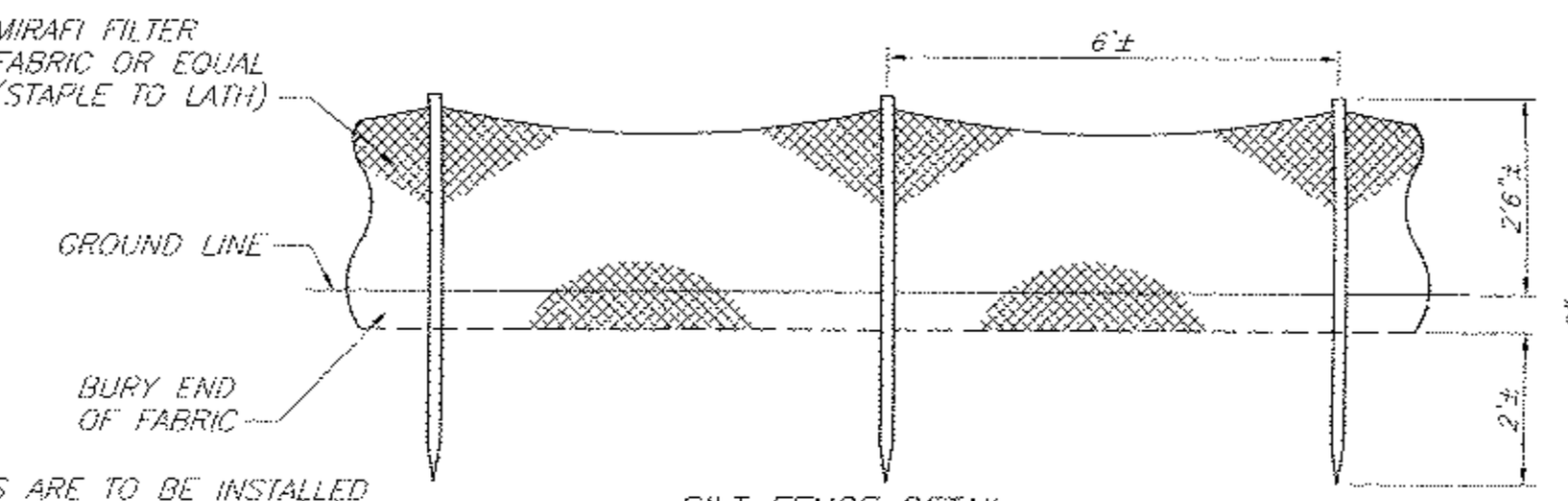


- WELL NOTES:**
- CASING DEPTH SHALL EXTEND AT LEAST 40' BELOW GROUND IN ANY CONDITION
 - WELL TO BE INSTALLED PER 10NYCRR PART 5 APPENDIX 5-B "STANDARDS FOR WATER WELLS" NOV. 2005 EDITION
 - WELL SHALL HAVE A MIN. YIELD OF 5 GPM.
 - WELL CASING MATERIAL IS TO BE IN COMPLIANCE WITH AWWA STANDARD A-100, LATEST VERSION.



- INSERT A SPEED LEVELER IN THE END OF ALL OUTLET PIPES IN THE DROPBOX.
- ROTATE UNTIL EFFLUENT ENTERS ALL OUTLETS EQUALLY.

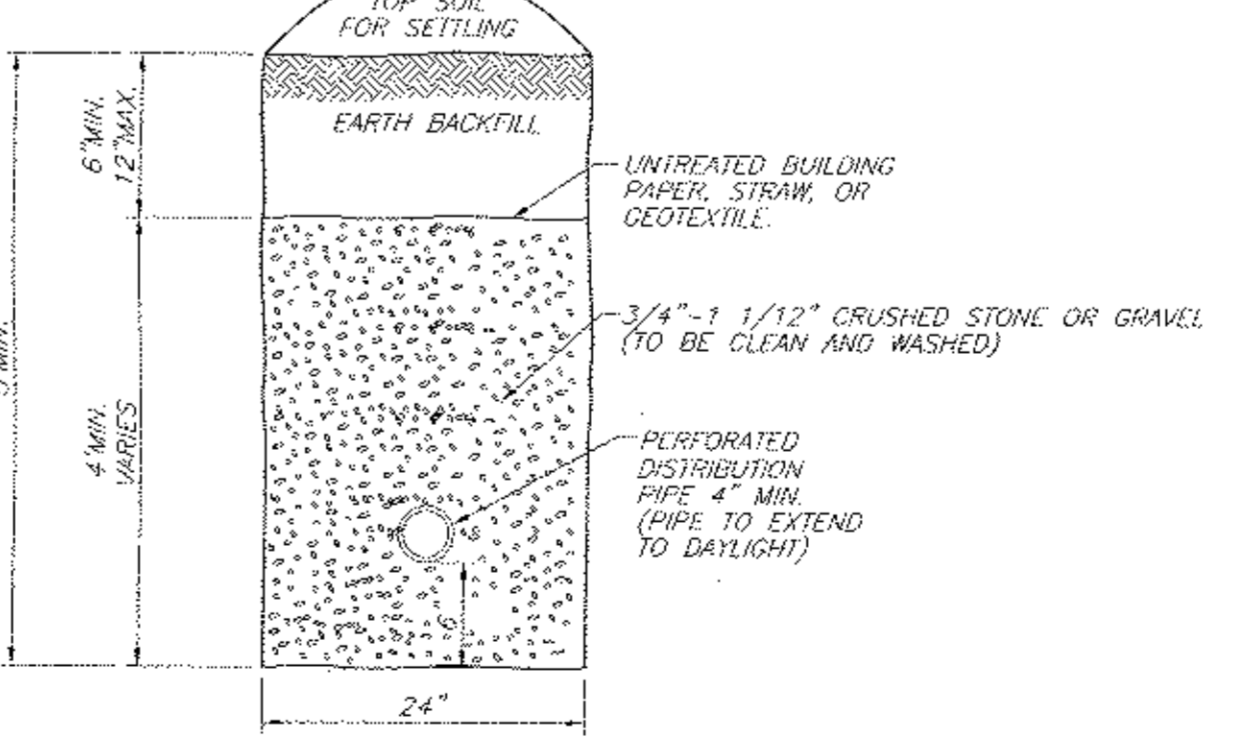
WOODWARD'S SPEED LEVELER FSL-4
N.T.S.



SILT FENCE DETAIL
N.T.S.

NOTE: SILT FENCES ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND SHALL BE CHECKED AFTER EVERY RAIN STORM. SILT FENCES ARE TO BE REPLACED AS NECESSARY DUE TO DAMAGE OR WHEN FILLED WITH SILT. SILT IS TO BE REMOVED IN FRONT OF FENCES REGULARLY TO PREVENT EXCESSIVE SOIL BEARING WEIGHT ON THE FENCES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. SILT FENCES ARE TO BE USED FOR SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION. SILT FENCES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS RE-ESTABLISHED.



CURTAIN DRAIN
N.T.S.

REV.	DATE	BY	DESCRIPTION
1	11/11/14	RBM	REVISED COMMON DRIVEWAY

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

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ENGINEER

CHARLES T. BROWN, P.E.

P.O. BOX 4470
NEW WINDSOR, N.Y. 12553

DETAILS

**PROPOSED SUBDIVISION ENTITLED
"DIXON SUBDIVISION II"
85 FOREST ROAD (COUNTY RT 23)
SBL 3-1-103.3, LOT #3 FM#42-94
TOWN OF NEWBURGH, ORANGE COUNTY, NY**

DATE: 05/27/14	SCALE: AS NOTED	JOB NUMBER: 13074-P/E	SHEET NUMBER: 3 OF 3
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