



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)
MARK J. EDSALL, P.E. (NY, NJ & PA)

MAIN OFFICE
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

**TOWN OF NEWBURGH
PLANNING BOARD
REVIEW COMMENTS**

PROJECT: DICHIARO SUBDIVISION
PROJECT NO.: 14-20
PROJECT LOCATION: SECTION 3, BLOCK 1, LOT 35.22
PROJECT REPRESENTATIVE: MERCURIO-NORTON-TAROLLI-MARSHALL
REVIEW DATE: 3 NOVEMBER 2014
MEETING DATE: 6 NOVEMBER 2014

1. Comments from Orange County Department of Public Works should be received as to driveway access. A permit from the Public Works is required.
2. Plans have been revised pursuant to our 16 September 2014 comments.
3. Orange County Planning submission was made on 9 October 2014. Timeframe for County review will not have expired as of the date of this meeting, unless comments have been received.
4. Road name is required. Submission of a road name to the Town Board for approval should be a condition of approval.
5. Planning Board should perform architectural review of the proposed duplex for Lot 2.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

REGIONAL OFFICES

• 111 Wheatfield Drive • Milford, Pennsylvania 18337 • 570-296-2765 •

FILE COPY

45 Main Street • P.O. Box 166
Pine Bush, New York 12566
Tel: (845) 744-3620
Fax: (845) 744-3805
Email: mnt-pc@mnt-pc.com

Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING

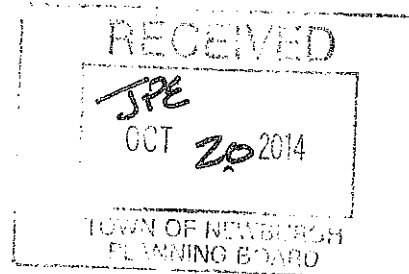
Alphonse Mercurio, L.S.
William G. Norton, L.S. (NY & PA)

John Tarolli, P.E., L.S.

Lawrence J. Marshall, P.E.
Kenneth W. Vriesema, L.S.

October 20, 2014

Planning Board
Town of Newburgh
PO Box 247
Walkkill, New York 12589-0247



Re: Job No. 3720
Lands of Marguerite DiChiaro
Tax Map Parcel: 3-1-35.22
Town of Newburgh, Forest Road
3-Lot Residential Subdivision
Newburgh Project No. 2014-20

Dear Board Members:

Enclosed please find the following items in reference to the above-captioned project:

1. Twelve (12) copies of the revised Subdivision Plan
2. Twelve (12) copies of the Architectural Review Form
3. Twelve (12) copies of the Building Renderings & Exterior Material List
4. One (1) copy of the Draft Common Driveway Maintenance Agreement

The following comments are in response to a review by Patrick Hines of McGoey, Hauser, & Edsall Consulting Engineers, dated September 16, 2014:

1. No response required.
2. A copy of the plans was submitted to the Orange County Department of Works on September 8, 2014 for review. As of the date of this letter, no response has been received.
3. No response required.
4. A draft copy of the Common Driveway Maintenance Agreement has been included in this submission. A copy of the document has also been forwarded directly to Mr. Donnelly for review.
5. The two (2) existing 12" HDPE culverts from the existing pond will be extended to outlet below the proposed driveway for Lot 3. The existing and proposed culverts have been added to the Driveway Profiles on sheet 2.
6. Note 11 has been added on sheet 1 stating the existing stone wall along the proposed driveway for lot 3 shall be preserved. The note states that any damaged sections of the wall shall be rebuilt to pre-construction conditions.

7. An NOI has been prepared for the project. An MS4 Acceptance Form will be required prior to submitting to NYSDEC for permit coverage.
8. Note 10 on sheet 1 has been added stating the proposed two-family dwelling on Lot 2 shall be staked out by a N.Y.S. Licensed Land Surveyor prior to construction.
9. The proposed 1,500 gallon septic tank on Lot 2 has been labeled on sheet 1.
10. The proposed type of system for Lot 3 has been revised in the Sewage Disposal System Requirements Table on sheet 3.

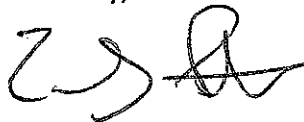
The project last appeared for discussion at the September 18, 2014 Planning Board meeting. At that time, the Board indicated the proposed Common Driveway serving Lots 1 & 2 will require a Private Road name. The following is a list of names proposed by the applicant, with the most preferred at the top:

1. Rock Ridge Road
2. Stone Ridge Road
3. Rock Hill Road
4. Stone Hill Road
5. Granite Ridge Road

We are scheduled to appear at the November 6, 2014 Planning Board meet for a Public Hearing.

If you have any questions or concerns, please feel free to contact me at (845) 744-3620 or by email at zpeters@mnt-pc.com.

Sincerely,



Zachary A. Peters, P.E.

ZP/zp
Enc.

cc: Marguerite DiChiaro
Patrick Hines (w/ enc.1 & 2)
Michael Donnelly, Esq. (w/enc. 3)

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: _____

NAME OF PROJECT: DICHIARO SUBDIVISION

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

VINYL SIDING

COLOR OF THE EXTERIOR OF BUILDING:

NATURAL CLAY & SANDSTONE BEIGE

ACCENT TRIM:

Location: _____

Color: _____

Type (material): VINYL

PARAPET (all roof top mechanicals are to be screened on all four sides):

N/A

ROOF:

Type (gabled, flat, etc.): GABLED

Material (shingles, metal, tar & sand, etc.): ASPHALT SHINGLES

Color: DRIFTWOOD

WINDOWS/SHUTTERS:

Color (also trim if different): GREEN (SHUTTERS), WHITE (WINDOWS)

Type: VINYL

DOORS:

Color: WHITE

Type (if different than standard door entrée): FRONT DOORS ; PATIO DOORS

SIGN:

Color: N/A

Material: _____

Square footage of signage of site: _____

MARGUERITE DICHIARO, OWNER

Please print name and title (owner, agent, builder, superintendent of job, etc.)

Marguerite M. D. Chiaro
Signature



Westchester Modular Homes

Construction Corp.

October 15, 2014

Marguerite DiChiaro
Forest Road
Lot #2
Newburgh, NY 12550

Dear Marguerite,

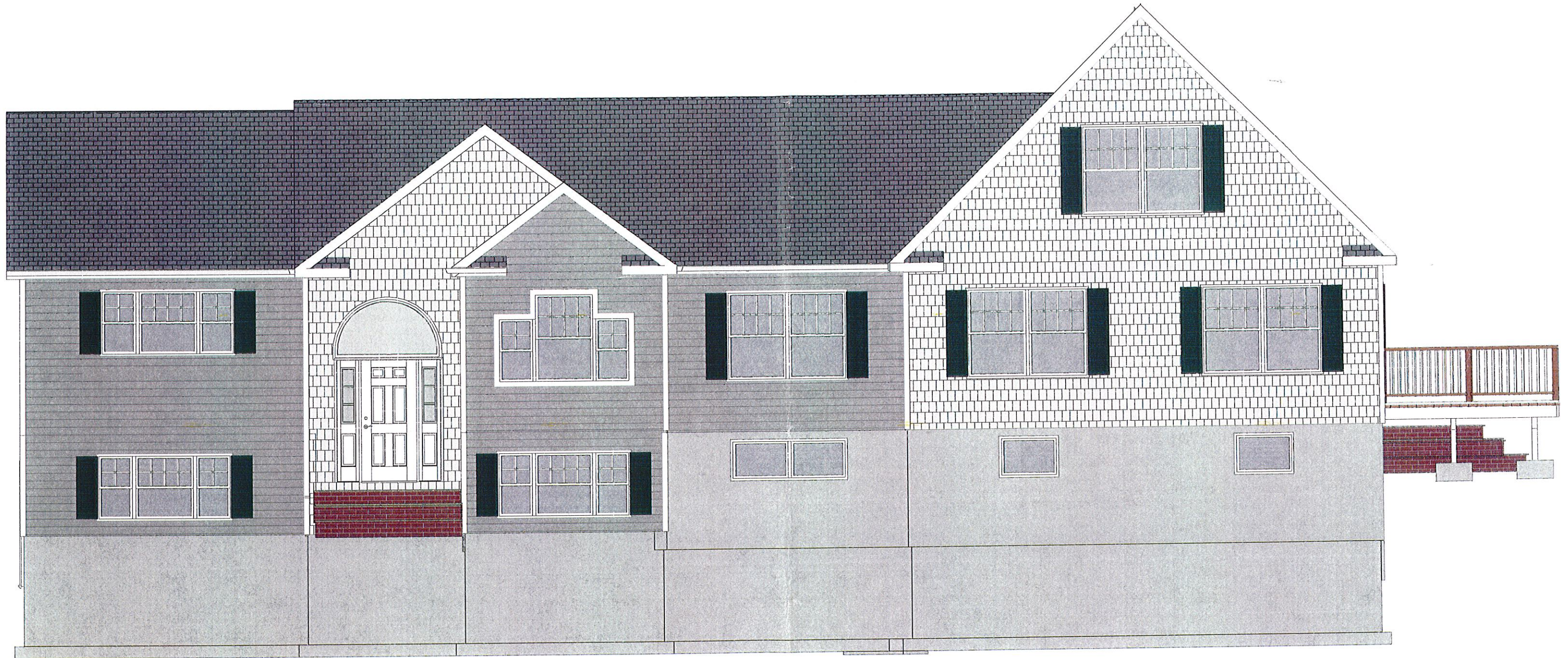
I appreciate the opportunity to work with you on your new home. As per your request I've listed the exterior materials below.

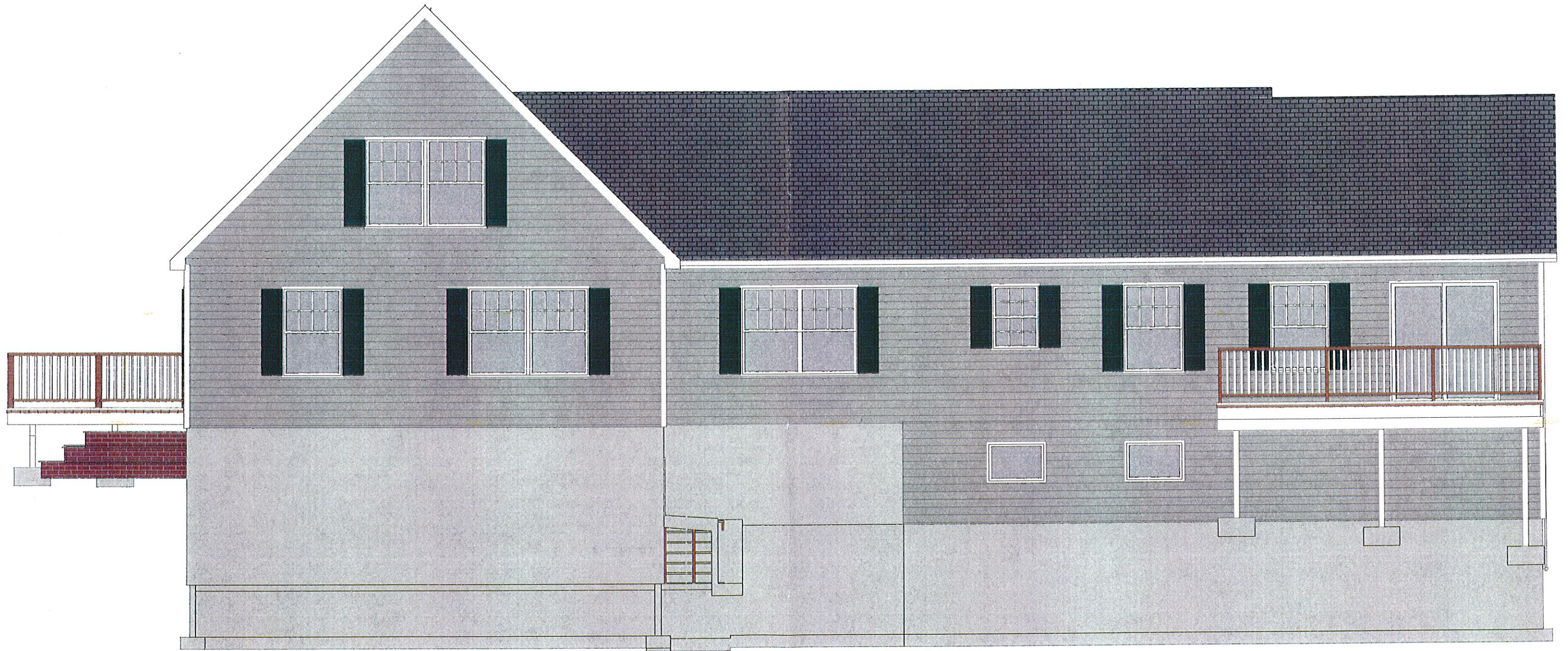
Roof Shingles: Owens Corning Asphalt 30 Year Architect Roof Shingles / Driftwood
Siding: CertainTeed Vinyl / Natural Clay (Monogram) / Sandstone Beige (Northwoods)
Corner Boards: Vinyl / White
Shutters: Vinyl / Green (Louvered)
Picture Frames: Vinyl / White
Soffit: Vinyl / White
Fascia: Aluminum / White
Drip Edge: Aluminum / White
Front Door: ThermaTru / Fiberglass / White
Patio Door: Andersen / White

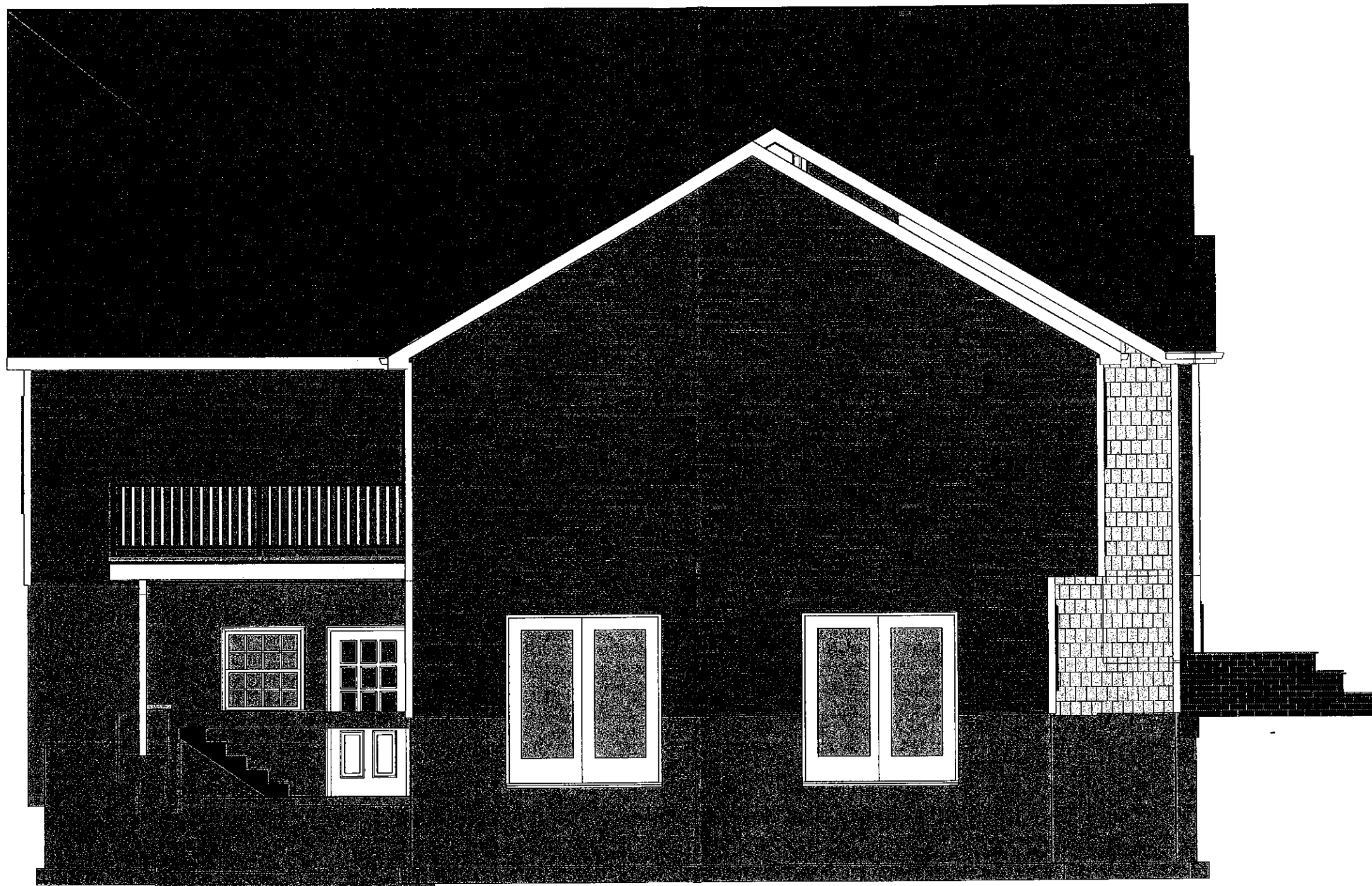
Please feel free to call or email me with any questions.

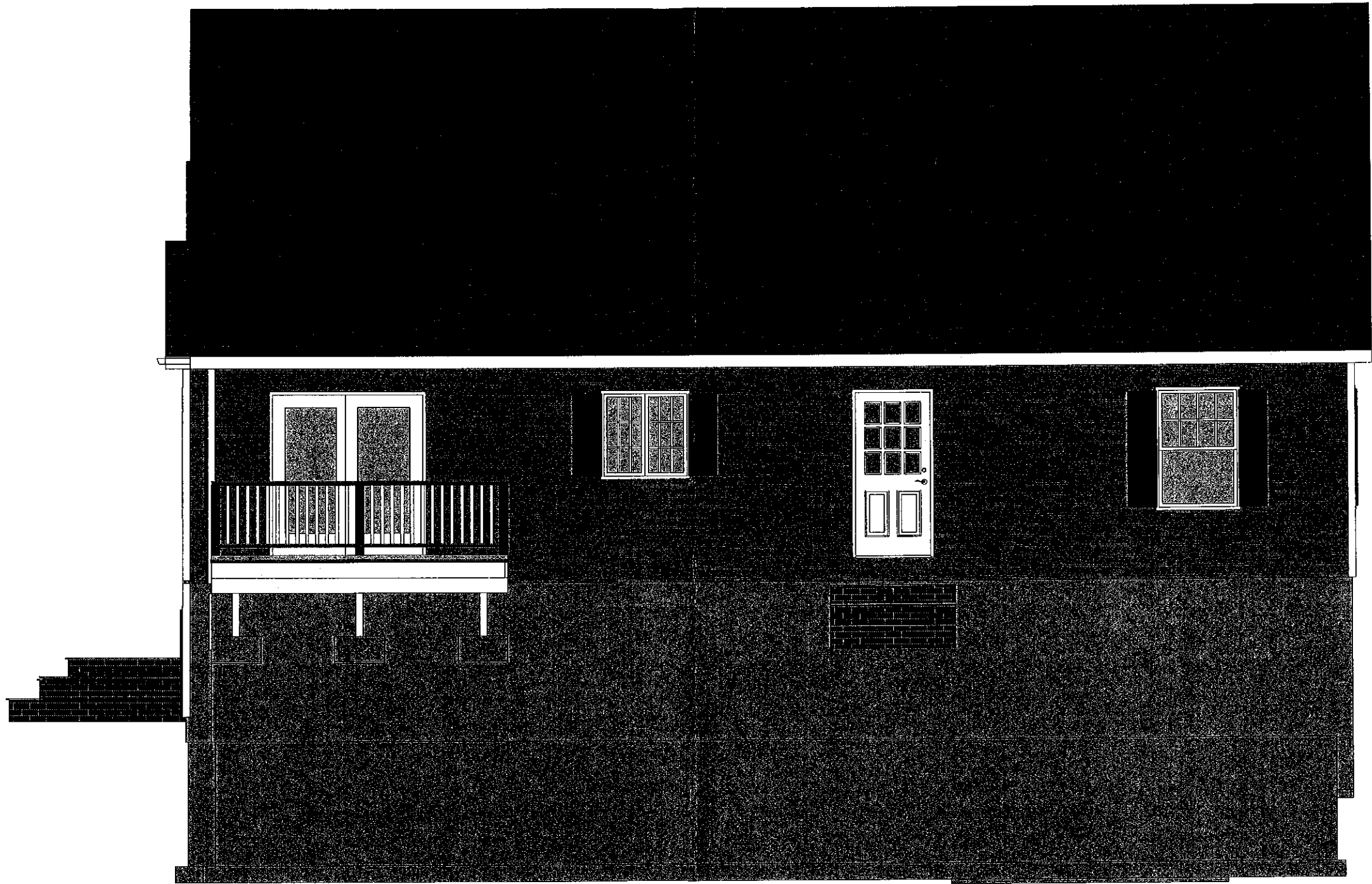
Very truly yours,

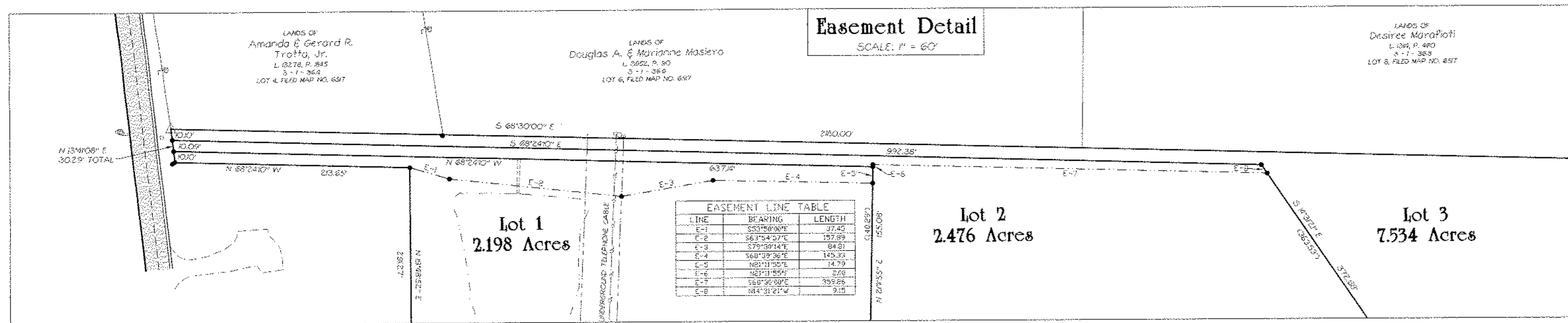
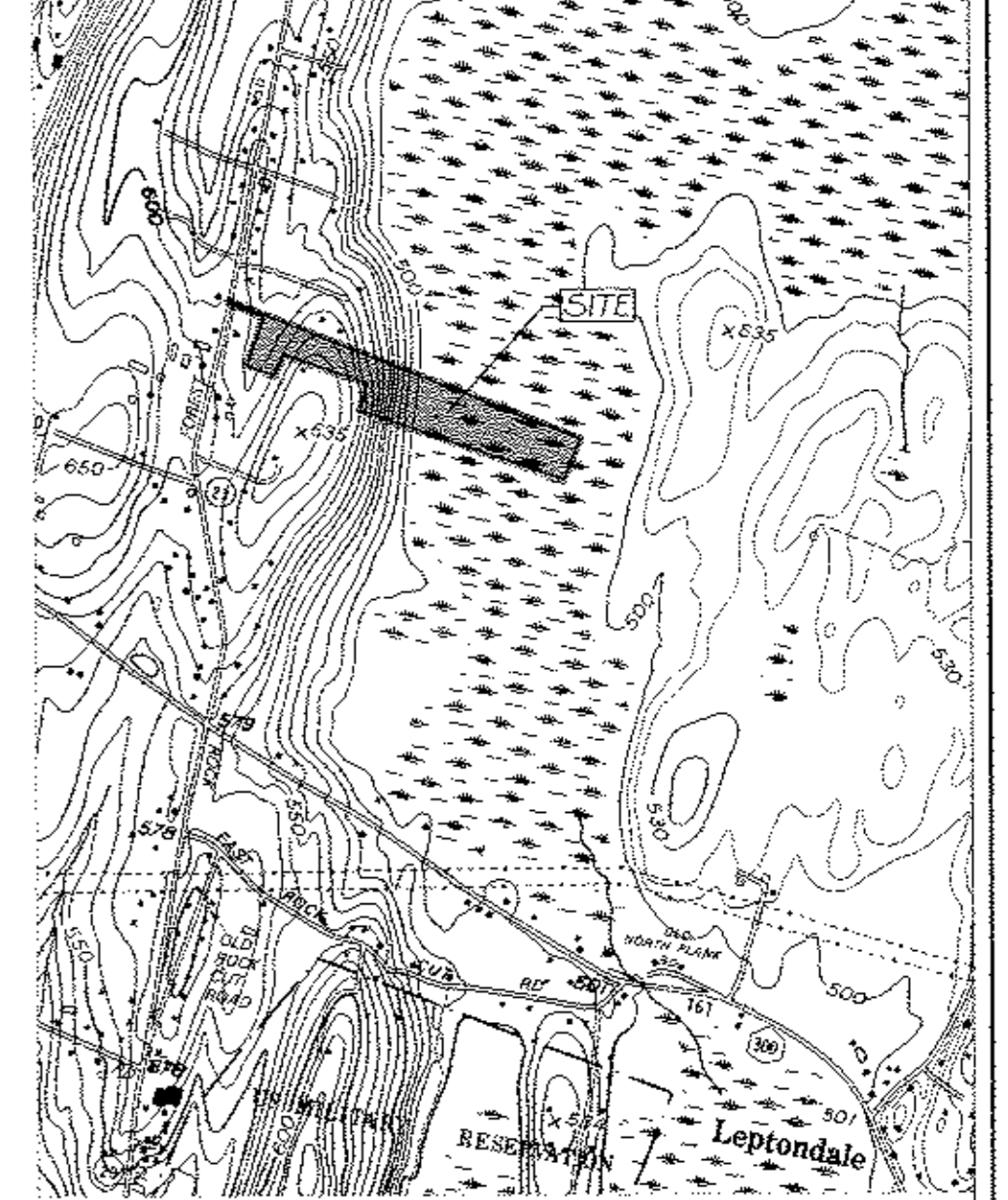
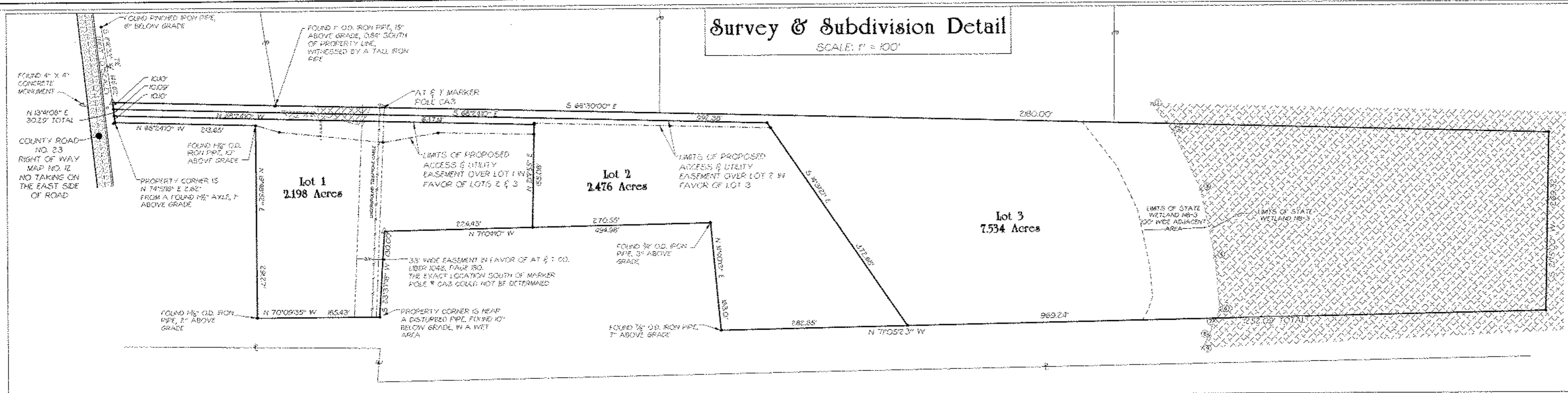
Patrick Hatcher
Sales Manager









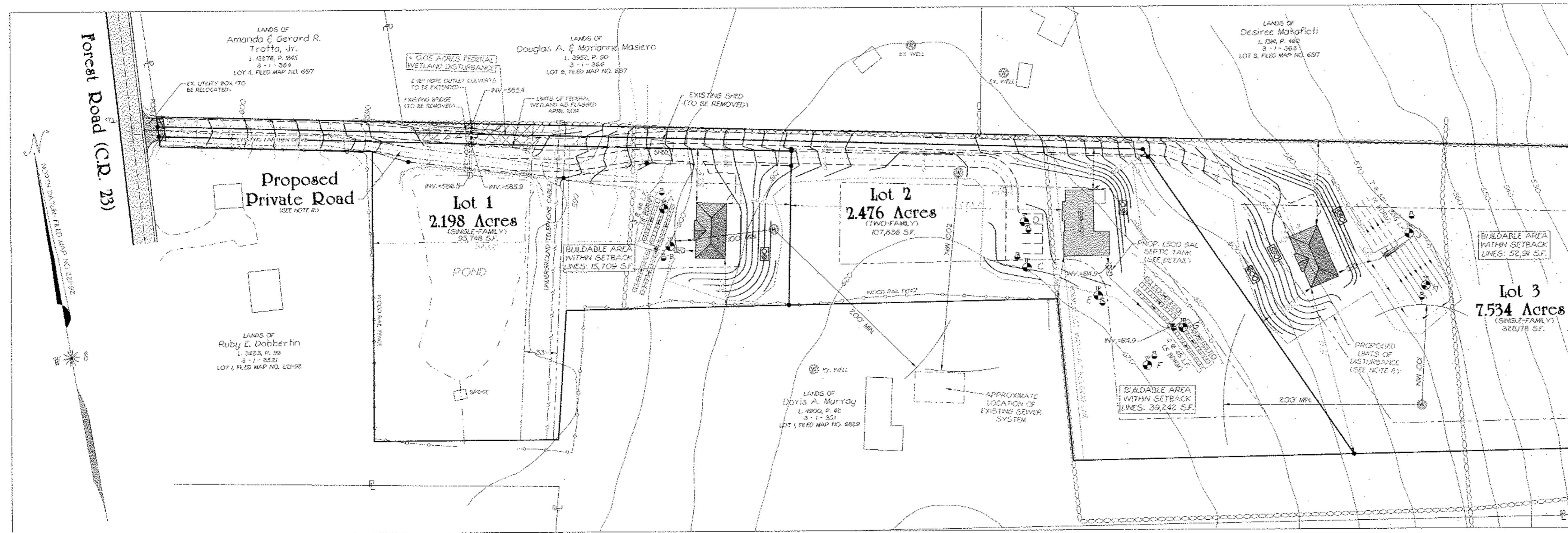


Zoning Legend: AR

(SINGLE-FAMILY)	REQUIRED	LOT 1	LOT 3
MINIMUM LOT AREA (TWO-FAMILY)	90,000 SF	95,788 SF	82,808 SF
MINIMUM LOT WIDTH	150'	165.0'	133.0'
MINIMUM LOT DEPTH	100'	110.0'	100.0'
MINIMUM FRONT SETBACK	50'	50'	50'
MINIMUM SIDE SETBACK (CORNER)	30'	30'	30'
MINIMUM SIDE SETBACK (BOTH)	30'	30'	25.0'
MINIMUM REAR SETBACK	30'	30'	30.0'
MAXIMUM BUILDING HEIGHT	35'	35.0'	35.0'
MINIMUM FLOOR AREA	900 SF	7500 SF	7800 SF
MAXIMUM LOT BUILDING COVERAGE	20%	16%	15.0%
MAXIMUM LOT SURFACE COVERAGE	20%	7.0%	3.0%

Zoning Legend: AR

(TWO-FAMILY)	REQUIRED	LOT 2
MINIMUM LOT AREA (TWO-FAMILY)	90,000 SF	80,758 SF
MINIMUM LOT WIDTH	150'	166.0'
MINIMUM LOT DEPTH	100'	60.0'
MINIMUM FRONT SETBACK	50'	27.7'
MINIMUM SIDE SETBACK (CORNER)	30'	30.0'
MINIMUM SIDE SETBACK (BOTH)	30'	30.0'
MINIMUM REAR SETBACK	30'	30.0'
MAXIMUM BUILDING HEIGHT	35'	35.0'
MINIMUM FLOOR AREA	900 SF	7280 SF
MAXIMUM LOT BUILDING COVERAGE	20%	2.0%
MAXIMUM LOT SURFACE COVERAGE	20%	13.3%



Legend

	PROPERTY LINE & CORNER		PROPOSED WELL LOCATION
	PROPOSED EASEMENT		PROPOSED 4" DIA. PERFORATED PVC SEWER DISTRIBUTOR PIPE FOR SEWER EXPANSION AREA
	ADJOINING PROPERTY LINE		PROPOSED 2" DIA. PERFORATED PVC DISTRIBUTOR PIPE FOR SEWER EXPANSION AREA
	MARK OF DEEDS PAGE		PROPOSED SEPTIC TANK & 4" DIA. SOLID WALL PVC SDRAS PIPE
	TAX MAP DESIGNATION (SECTION - BLOCK - LOT)		LIMITS OF NYSDEC WETLAND
	EX. UTILITY POLE & LINE		WETLAND FLAG NUMBER
	DEEP SOIL TEST LOCATION & NUMBER		PROPOSED DRIVE
	PERCOLATION SOIL TEST LOCATION & NUMBER		PROPOSED SILT FENCE (SEE DETAIL)
	EXISTING STRUCTURE		PROPOSED CONSTRUCTION ENTRANCE (SEE DETAIL)
	WATERCOURSE		EASIMENT LABELS
	EXISTING CONTOUR LINE		PROPOSED DISTRIBUTION BOX & 4" DIA. SOLID WALL PVC SDRAS PIPE
	ZONING MINIMUM SETBACK LINE		PROPOSED COUNTY ROAD ENTRANCE IMPROVEMENTS

Total Area = 12.208 Acres

Survey Map, Subdivision, & Site Plan for Lands of Marguerite DiChiaro

RECORD OWNER: MARGUERITE DI PALMA (AKA MARGUERITE DICHIARO), 205 ROUTE 300 - APT. 2, WALLVILLE, NY 12559
 DEED REFERENCE: LIBER 15024, PAGE 155
 TAX MAP REFERENCE: SECTION 3, BLOCK 1, LOT 3572
 Situate in the Town of Newburgh
 Orange County, New York State
 Scale: 1" = 60' April 3, 2014

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7003, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
 ONLY COPIES FROM THE ORIGINAL TRACKS OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES.
 CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL APPLY ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.

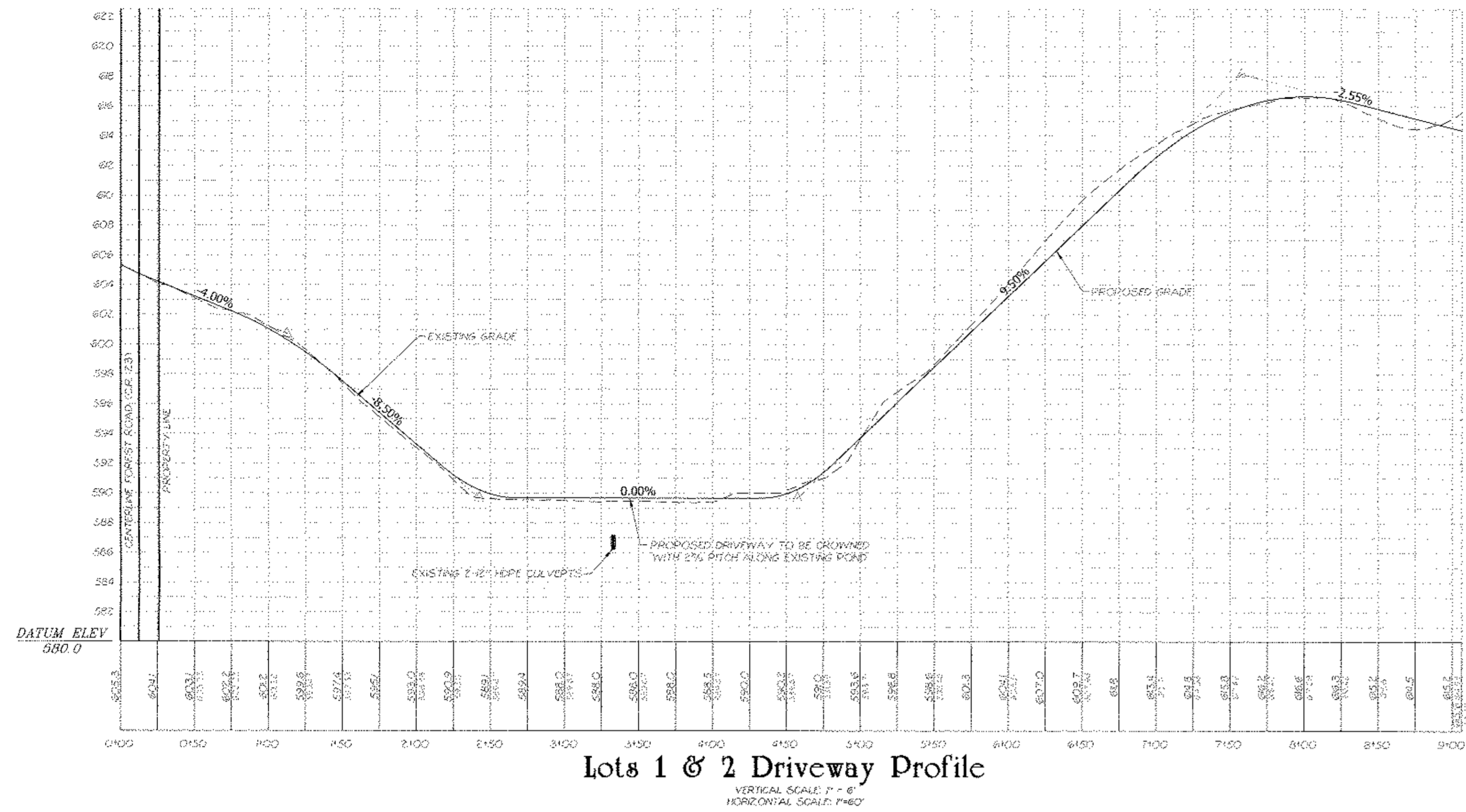
NYSDEC Freshwater Wetland Boundary Validation
 THE FRESHWATER WETLAND BOUNDARY AS REPRESENTED ON THESE PLANS ACCURATELY REFLECTS THE LIMITS OF FRESHWATER WETLAND AS-3 AS DETERMINED BY NYSDEC FIELD STAFF.
 DEC STAFF: SURVEYOR/ENGINEER: SEAL
 DATE: SEAL
 WETLAND BOUNDARY DELINEATIONS, AS VALIDATED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REMAIN VALID FOR TEN YEARS UNLESS SYSTEMS CHANGE (E.G. AGRICULTURAL TO RESIDENTIAL). AFTER TEN YEARS, THE BOUNDARY MUST BE REVALIDATED BY DEC STAFF. REVALIDATION MAY INCLUDE A NEW DELINEATION AND SURVEY OF THE WETLAND BOUNDARY.
 ANY PROPOSED CONSTRUCTION, GRADING, FILLING, EXCAVATING, CLEARING OR OTHER REGULATED ACTIVITY IN THE FRESHWATER WETLAND OR WITHIN 100 FEET OF THE WETLAND BOUNDARY AS SHOWN ON THIS PLAN REQUIRES A PERMIT FROM THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION UNDER ARTICLE 24 OF THE ENVIRONMENTAL CONSERVATION LAW (FRESHWATER WETLANDS ACT) PRIOR TO COMMENCEMENT OF WORK.

COUNTY ROAD NOTE
 NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.

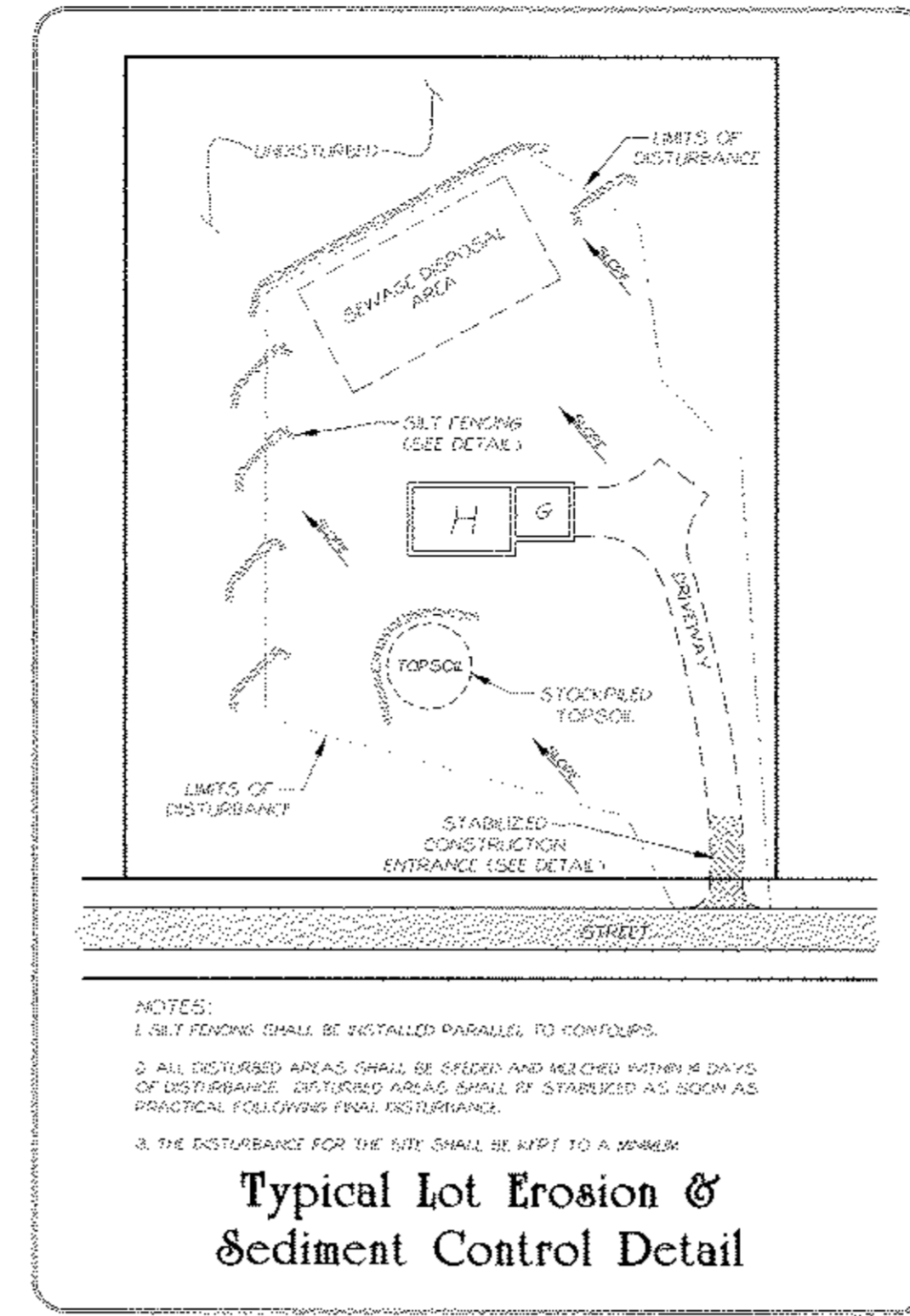
I HAVE REVIEWED THE PLAN AND AGREE TO ITS PLUMB IN THE COUNTY CLERK'S OFFICE.
 MARGUERITE DICHIARO (OWNER)

MNTM
Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING
 PO Box 166, 45 Main Street Pine Bush, NY 12566
 P: (845)744.3620 F: (845)744.3915 Email: mnt-nc@mnt-nc.com

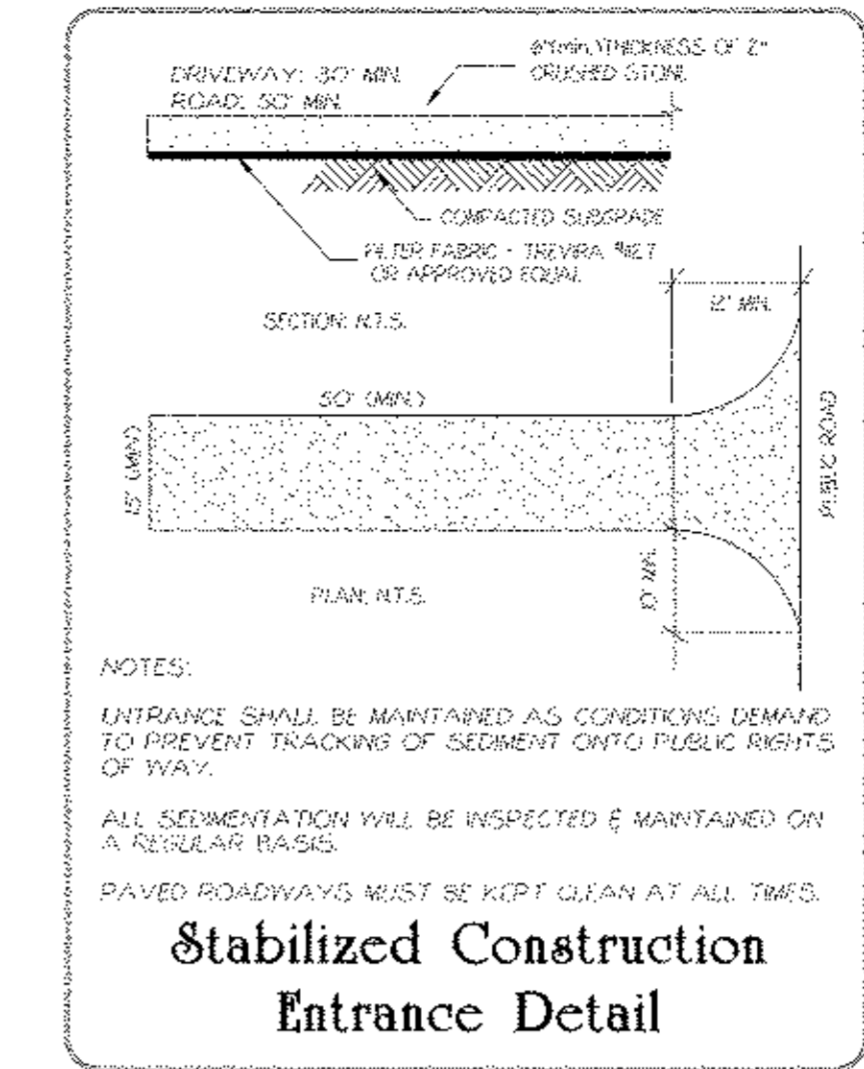
NO.	DATE	DESCRIPTION	BY	DATE	REVISION COMMENTS	APP.
1		I HEREBY CERTIFY TO MANAGE THE PROJECT THAT THIS MAP IS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL, ENGINEERS - LAND SURVEYORS, P.C. ON APRIL 3, 2014.				
2		I HEREBY CERTIFY THAT EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHOWN ON THIS PLAN IS DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE NEW YORK STATE DEPARTMENTS OF HEALTH AND ENVIRONMENTAL CONSERVATION FOR WASTEWATER TREATMENT PLANT LAYOUTS (16 NYCRR 60.01) AND THE INSTALLATION OF EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHALL BE IN ACCORDANCE WITH THE DESIGN SHOWN & AT THE LOCATION SHOWN.				



Lots 1 & 2 Driveway Profile
 VERTICAL SCALE: 1" = 6'
 HORIZONTAL SCALE: 1" = 60'

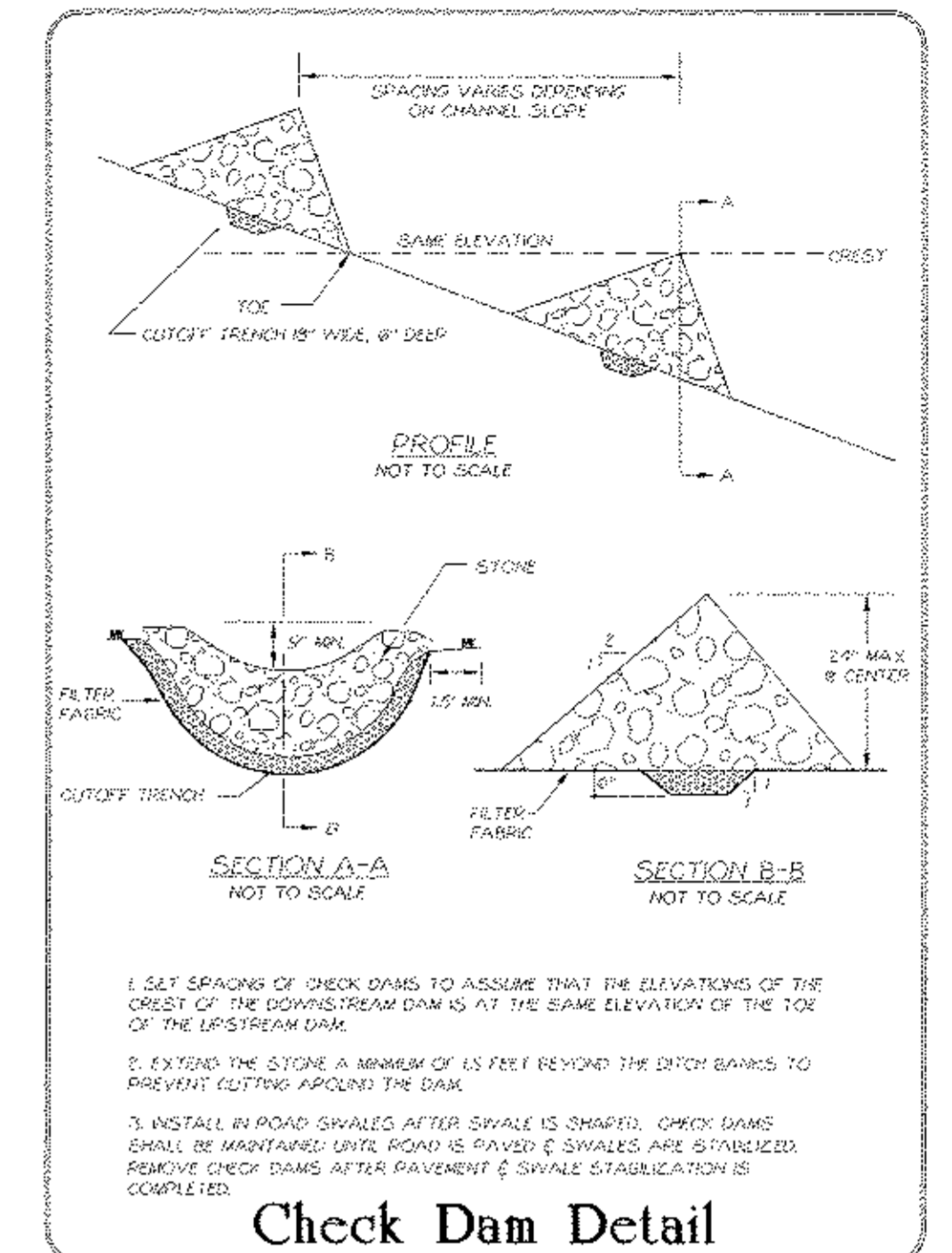


Typical Lot Erosion & Sediment Control Detail



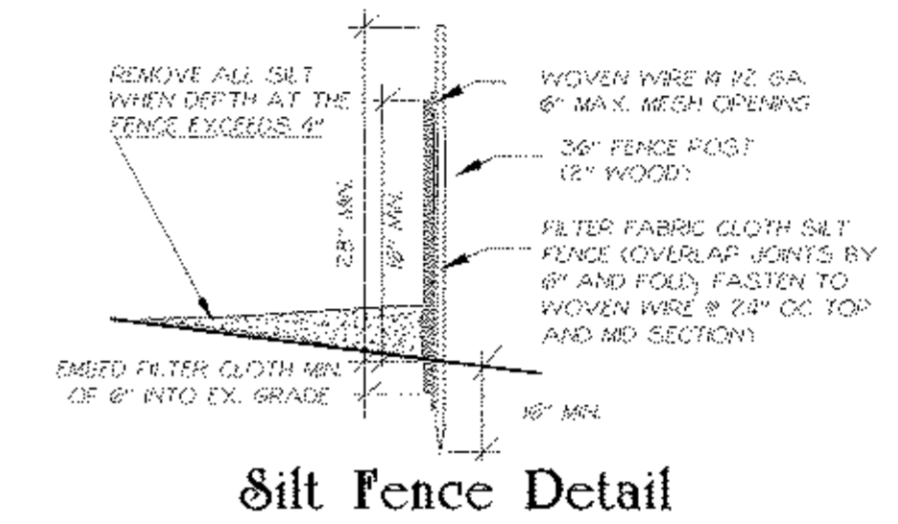
Stabilized Construction Entrance Detail

NOTES:
 ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.
 ALL SEDIMENTATION WILL BE INSPECTED & MAINTAINED ON A REGULAR BASIS.
 PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

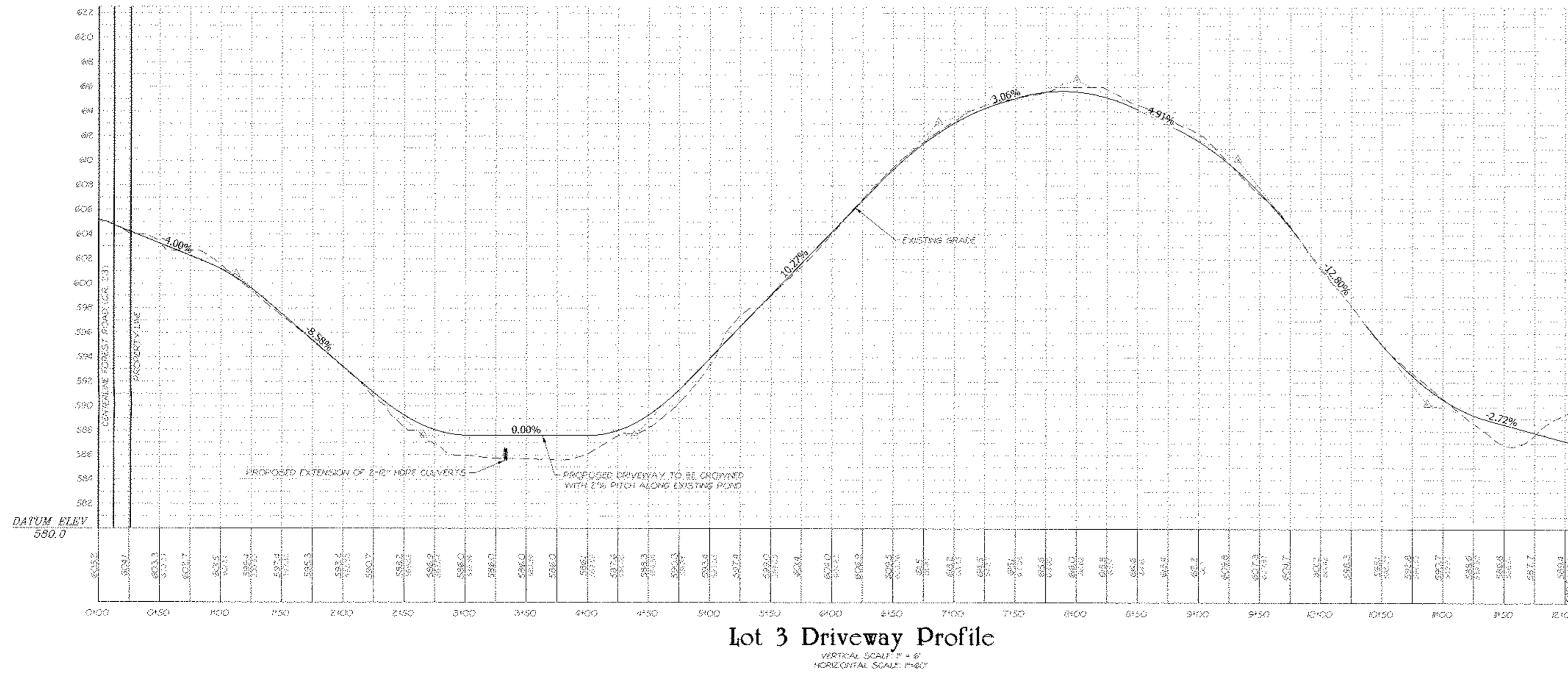


Check Dam Detail

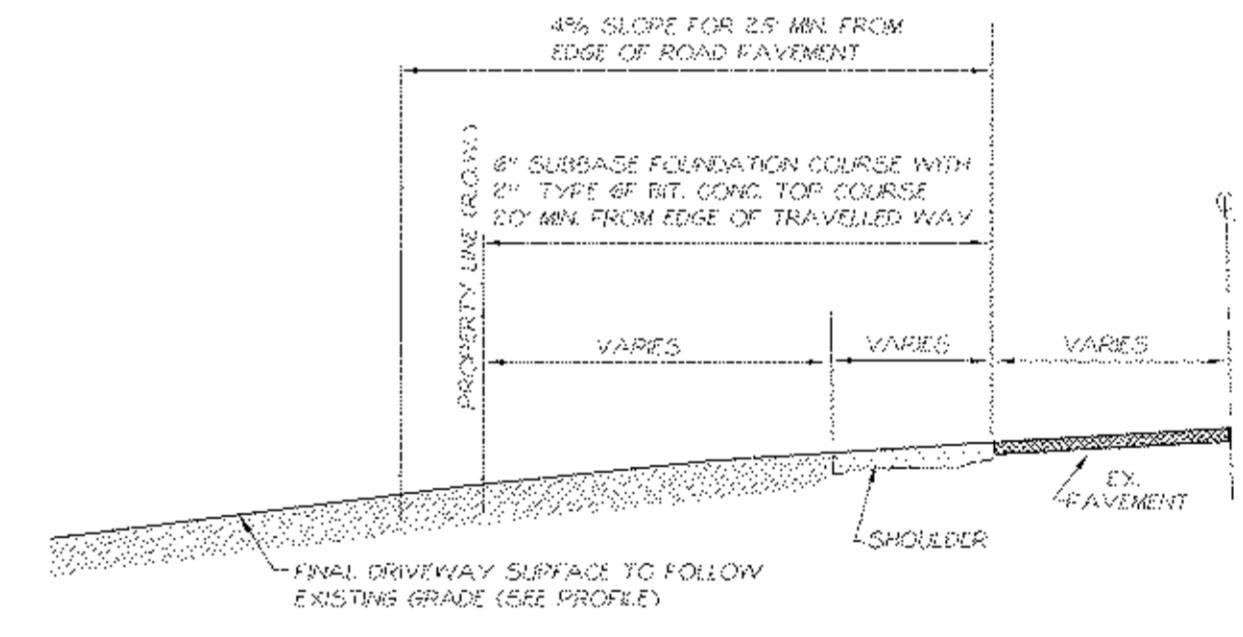
1. SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAMS IS AT THE SAME ELEVATION OF THE TOP OF THE UPSTREAM DAM.
 2. EXTEND THE STONE A MINIMUM OF 15 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 3. INSTALL BY ROAD SWALES AFTER SWALE IS SHAPED. CHECK DAMS SHALL BE MAINTAINED UNTIL ROAD IS PAVED & SWALES ARE STABILIZED. REMOVE CHECK DAMS AFTER PAVEMENT & SWALE STABILIZATION IS COMPLETED.



Silt Fence Detail

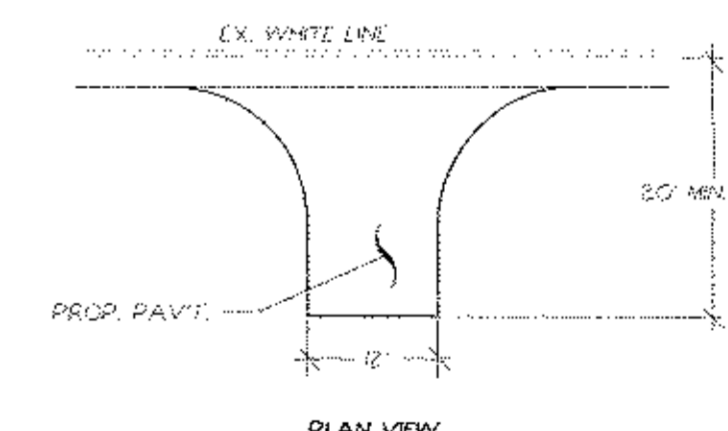


Lot 3 Driveway Profile
 VERTICAL SCALE: 1" = 6'
 HORIZONTAL SCALE: 1" = 60'



Driveway Entrance Detail

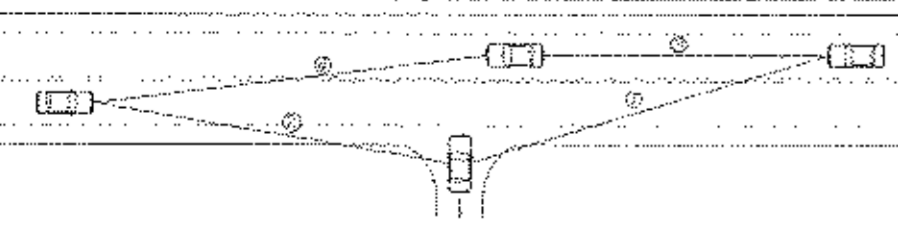
NOTES:
 1. ALL DRIVEWAYS SHALL BE GRADED TO DIVERT WATER AWAY FROM MAIN ROAD.



Proposed County Road Entrance Detail

ENTRANCE PAVEMENT NOTES:
 1. PAVEMENT SHALL CONSIST OF 12" COMPACTED ITEM 4 SUBBASE AND 2" ASPHALT TOP COURSE.
 2. THE DRIVEWAY SHALL HAVE A GRADE OF -4.0% FROM THE EDGE OF THE TRAVEL LANE (WHITE LINE) FOR A MINIMUM OF 25 FEET.

SIGHT LINE	DISTANCE	NOTES
1	> 1000'	
2	> 1000'	
3	> 1000'	
4	> 1000'	



Driveway Sight Distance Table

MNTM
 Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING
 PO Box 166, 45 Main Street, Pine Bush, NY 12566
 P: (845)744.3620 F: (845)744.3805 Email: mnt-pc@mnt-pc.com

NO.	DATE	CONTRACTOR COMMENTS	DATE
1	02/24/20	CONTRACTOR COMMENTS	2/24
2	04/01/20	REVISION	4/1

Detail Sheet
 for lands of
Marguerite DiChiaro
 RECORD OWNER: MARGUERITE CEPALMA-LAKA MARGUERITE DICHIARO, 209 ROUTE 300 -APT 2, WALUKILL, NY 12580
 DEED REFERENCE: 188R 1302A, PAGE 155
 TAX MAP REFERENCE: SECTION 3, BLOCK 1, LOT 35-52Z
 Situate in the Town of Newburgh
 Orange County, New York State
 April 2014

