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CONSULTING ENGINEERS D.P.C.**

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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME: LZL EQUITIES INC. (DUNKIN DONUTS)**  
**PROJECT NO.: 14-02**  
**PROJECT LOCATION: SECTION 14, BLOCK. 1, LOT 43**  
**REVIEW DATE: 25 SEPTEMBER 2015**  
**MEETING DATE: 1 OCTOBER 2015**  
**REPRESENTATIVE: MERCURIO NORTON TAROLLI MARSHALL**

1. Site plan has been revised to provide additional parking for the Dunkin Donut facility.
2. Design flow calculations supporting the 400 gallon per day leach field design should be submitted. Information pertaining to the application rate of .8 gallons per day should also be provided. If this is from original plan, provide reference to original design plans.
3. Septic plan identifies a shallow absorption trench system however, it appears conventional laterals are proposed.
4. Two new pedestrian scale light poles are proposed on the site. Lighting plan appears to be in compliance with Town of Newburgh lighting regulations.
5. NYSDOT's comments regarding the driveway access should be received along with Ken Wersted's review of internal traffic circulation.
6. Curbing is proposed around a section of the new parking lot to control drainage which will discharge via a small section of pipe to the existing swale to the west of the property.
7. Erosion and sediment control details and the location of erosion control practices should be added to one of the plan sheets.
8. Revised landscape plan has been provided for the Planning Board's review. Planning Board's input on the plan should be received. It is noted that the dry laid stone walls continue to be proposed on the site to address parking in the front yard setback which is not in compliance with design guidelines.

9. Delivery truck access to the site may be difficult during busy times. The Applicant's Representative should discuss methods of material delivery and possibly restrictions on time in which vehicles can access the site.
10. Note 3, the word raised should be revised to read razed. No change in elevation is proposed.

Respectfully submitted,

***McGoey, Hauser & Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Principal

Alphonse Mercurio, L.S.  
William G. Norton, L.S. (NY & PA)

Lawrence J. Marshall, P.E.  
John Tarolli, P.E., L.S.

Zachary A. Peters, P.E.  
Kenneth W. Vriesema, L.S.

September 24, 2015

Planning Board  
Town of Newburgh  
308 Gardnertown Road  
Newburgh, NY 12550

Re: Job No. 3950  
Lands of O'Connor  
Tax Map Parcel: 14-1-43  
NYS Route 300 & NYS Route 32  
Town of Newburgh  
Dunkin Donuts Site Plan  
*Town of Newburgh Project #2014-02*

Dear Board Members:

Enclosed please find the following items in reference to the above-captioned project:

1. Fourteen (14) copies of the Site Plan
2. Fourteen (14) copies of the Project Narrative

The enclosed site plans are intended to be a revision to previous site plans submitted by Minuta Architecture on the applicant's behalf. Based upon conversations with the applicant, Michael Nafash, the main source of delay for this project has been the number of parking spaces being provided for the proposed use. The site plan has been revised to increase the number of spaces from 12 to 24. Revisions to the site lighting, grading, drainage, septic system, and landscaping have been made to accommodate the changes to the parking lot. The look of the exterior of the building will be consistent with the renderings previously submitted by Minuta Architecture.

As the enclosed site plan is a revision to a site plan and application previously made by another professional, we understand the application package, application checklist, short environmental assessment form and any necessary fees have all been submitted and are satisfactory. If any additional information or revisions required, please advise and we will provide the board with updated documents.

Please place this project on the next available meeting agenda for discussion.

If you have any questions or concerns, please feel free to contact me at (845) 744-3620 or by email at [lmarshall@mnt-pc.com](mailto:lmarshall@mnt-pc.com).

Sincerely,

A handwritten signature in black ink, appearing to read 'L Marshall', with a large, stylized initial 'L'.

Lawrence Marshall, P.E.

LM/lm  
Enc.

cc: LZL Equities (Michael Nafash)  
Pat Hines (w/ all enc.)  
Michael Donnelly, Esq. (w/ all enc.)  
Kenneth Wersted, PE (w/all enc.)

Alphonse Mercurio, L.S.  
William G. Norton, L.S. (NY & PA)

Lawrence J. Marshall, P.E.  
John Tarolli, P.E., L.S.

Zachary A. Peters, P.E.  
Kenneth W. Vriesema, L.S.

## Project Narrative

For

**Dunkin Donuts**  
301 Route 32  
Town of Newburgh  
Orange County, New York  
**Town of Newburgh Project #2014-02**

*Prepared for:*  
LZL Equities, LLC  
82 Alize Drive  
Kinnelon, NJ 07405

*Prepared by:*  
Mercurio-Norton-Tarolli-Marshall, P.C.  
P. O. Box 166  
45 Main Street  
Pine Bush, NY 12566  
(845) 744-3620



*Prepared:*  
**September 24, 2015**

Project Narrative for  
Dunkin Donuts

A. Description of Project Site

The project site is located at the corner of NYS Route 300 and NYS Route 32 in the Town of Newburgh, County of Orange, State of New York. The site is located on the northerly side of NYS Route 300, across the street from Villa Italia restaurant and located on the westerly side of NYS Route 32, across the street from Sunoco Gas Station and Convenience Store. The site is designated as tax map parcel: Section 14, Block 1, Lot 43. The project site contains a total of 0.466 acres of land (20,282 square feet) located in the B zoning district.

B. Description of the Project Site

The project site currently contains a vacant commercial building, parking lot, lighting, and sub-surface sewage disposal system. The site is currently accessed via a 26.2 foot wide curbed entrance to NYS Route 32. Based upon an analysis of the septic system by Michael A. Morgante, P.E. from Arden Consulting Engineers, PLLC on March 19, 2015, the existing septic system was designed for 800 gallons per day and consists of 10 absorption trench laterals at 50 linear feet each (500 feet total). The existing septic system was found by Mr. Morgante to be able to be "utilized immediately". The existing building is served by public water from an existing connection to the water main in NYS Route 300.

C. Description of Proposed Improvements

The proposed development involves the removal of the existing building and reconstruction on the existing building footprint. The new building will be utilized as a Dunkin Donuts. The existing entrance to the site will remain the same and the parking lot will be modified to accommodate additional vehicles. As the existing parking lot is atypical, portions of the existing parking lot will be removed to bring the parking lot layout into conformance with Town of Newburgh standards. Updates to the parking area shall include modifications to space sizes, orientation, and aisle widths. To accommodate the anticipated parking demand, the parking lot will be expanded to the north to increase the number of available parking spaces to 24, as requested by the Town of Engineer Traffic Consultant. In total, the removal of portions of existing asphalt and the additional of parking spaces results in approximately 533 square feet of additional impervious surface (8,743 square feet of existing pavement vs. 9,276 square feet of proposed pavement).

The lighting on the site will consist of 2 – 16 foot high pole mounted, 223w LED fixtures located on the west and south sides of the parking areas. A lighting plan specifying the light location and resulting light intensities has been provided as Sheet 5 of the Site Plan.

Landscaping will consist of decorative stonewalls around the north and east sides of the parking lot and a mixture of ornamental grasses, trees, and shrubs. The landscaping plan has been designed to complement the existing commercial sites on the adjoining parcels. A landscaping plan has been provided as Sheet 4 of the Site Plan.

Project Narrative for  
Dunkin Donuts

D. Septic System Modifications

Due to approximately half of the existing septic system being located under the proposed parking lot, the existing septic system will be modified to remove the laterals under the parking area and supplement the remaining laterals. As shown on the site plan, the five (5) existing laterals on the northeast portion of the site will be removed to accommodate the proposed parking area. Three (3) additional laterals will be moved from the southern portion of the field to accommodate the installation of three (3) new laterals. At completion, the septic system will consist of five (5) laterals at 50 linear feet each (250 linear feet of absorption trench total). As stated in Mr. Morgante's analysis, the proposed store is anticipated to have an average daily flow rate of 400 gallons per day (gpd). Utilizing the 400 gpd and the design application rate of 0.8 gpd/sf, the proposed store required 500 square feet of absorption area, or 250 linear feet of absorption trench. The modifications to the existing system will comply with New York State Department of Environmental Conservation requirements for the proposed use.

No modification to the existing septic tank or grease trap is proposed. The 1,500 gallon septic tank will remain in place and a new PVC pipe will be installed to the first lateral of the absorption field. The existing grease trap is reputedly a 150 gallon Kaustone #250 tank. As specified on the site plan, the grease trap will be emptied and inspected for function. If the tank is found to be in disrepair, the tank will be repaired or replaced in kind.

E. Stormwater Management

As previously stated, the proposed improvements will increase the existing impervious cover on the site by approximately 533 square feet through the expansion of the parking area to the north. All of the runoff from the site currently drains to the existing driveway accessing the Town of Newburgh Recreation Department building. Runoff is conveyed through an existing ditch on the east side of aforementioned driveway to an existing 24" corrugated metal (CMP) culvert near the northerly corner of the Dunkin Donuts parcel. The culvert conveys water to the west to the Quassaic Creek.

Runoff from the proposed parking lot expansion will be conveyed to and collected by a catch basin located at the northwesterly corner of said parking area. Stormwater will be conveyed from said basin to a riprap outlet located each of the existing ditch along the edge of the aforementioned driveway. The riprap outlet will serve to dissipate the energy of the stormwater and allow the water flow out of the proposed riprap outlet swale in a non-erosive manner. Water leaving the swale will flow into the driveway ditch and into the existing culvert pipe that drains to the Quassaic Creek.

F. Area Variances & Interpretation

The proposed project received an interpretation that the proposed use is classified as a convenience store from the Town of Newburgh Zoning Board of Appeals on August 28, 2014. The project also received area variances for the existing, deficient front yard setbacks from the Town of Newburgh Zoning Board of Appeals on January 22, 2015.



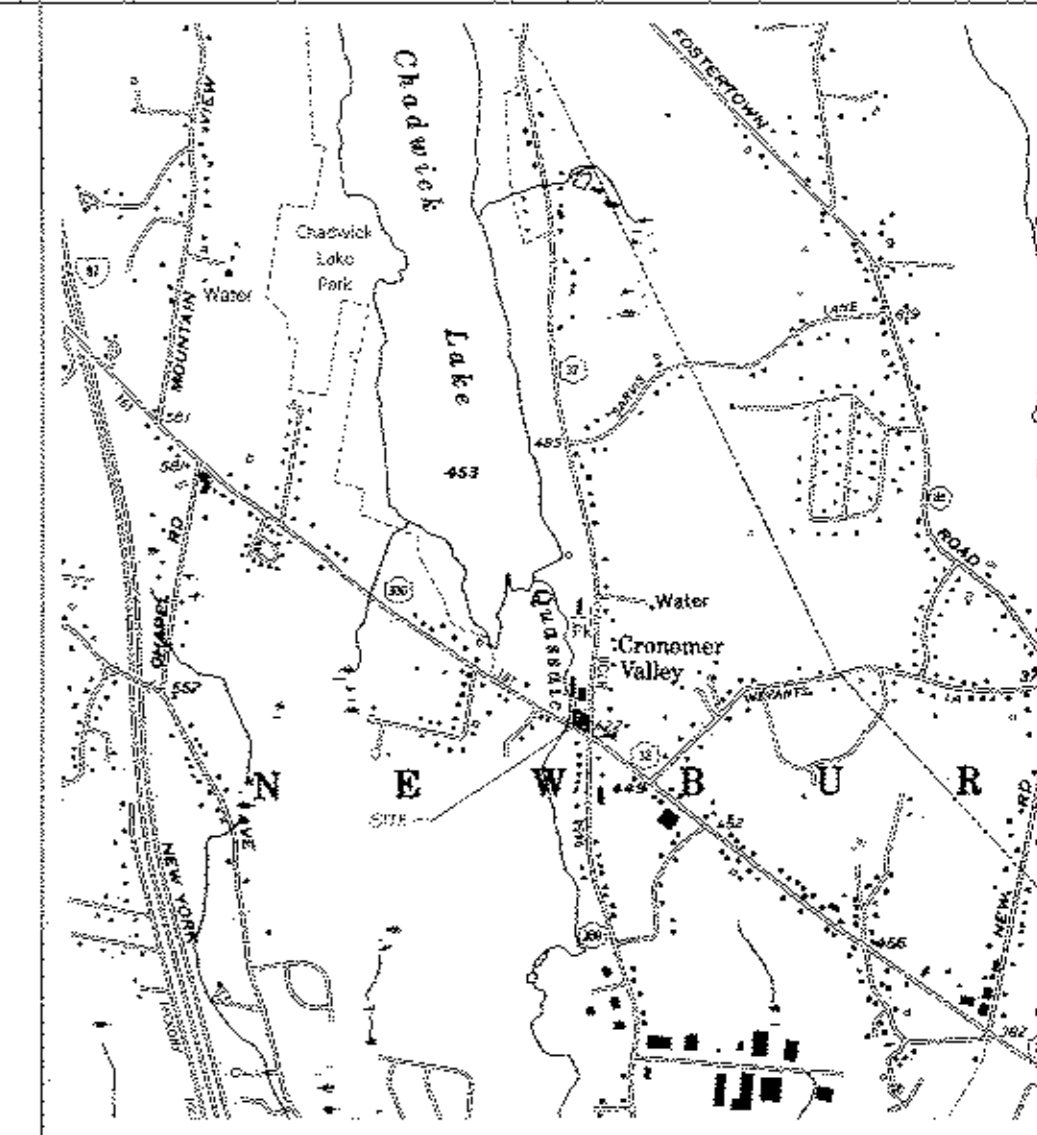
**Parking Requirements**

USE	PARKING REQUIREMENT	GROSS LEASABLE FLOOR SPACE	SPACES REQUIRED
RETAIL STORE	1 SPACE PER 150 SF OF GROSS LEASABLE FLOOR SPACE	1068 SF	7.12
TOTAL PARKING SPACES REQUIRED			12.44
TOTAL PARKING SPACES PROVIDED			24

**Zoning Legend: B**

	RECORDED IN	EXISTING	PROPOSED
MINIMUM LOT AREA	30,000 SQFT	30,000 SQFT	30,000 SQFT
MINIMUM LOT WIDTH	100'	150'	150'
MINIMUM LOT DEPTH	65'	136.7'	136.7'
<b>MINIMUM YARDS</b>			
FRONT (NYS ROUTE 32) (S)	60'	210'	210'
FRONT (NYS ROUTE 300) (S)	60'	48'	48'
SIDE (NYS)	15'	24.5'	24.5'
REAR	30'	48.5'	48.5'
<b>MAXIMUM BUILDING COVERAGE</b>			
	50%	9.2%	9.2%
<b>MAXIMUM BUILDING HEIGHT</b>			
	35'	45'	42.5'
<b>MAXIMUM LOT SURFACE COVERAGE</b>			
	80%	18.2%	16.5%

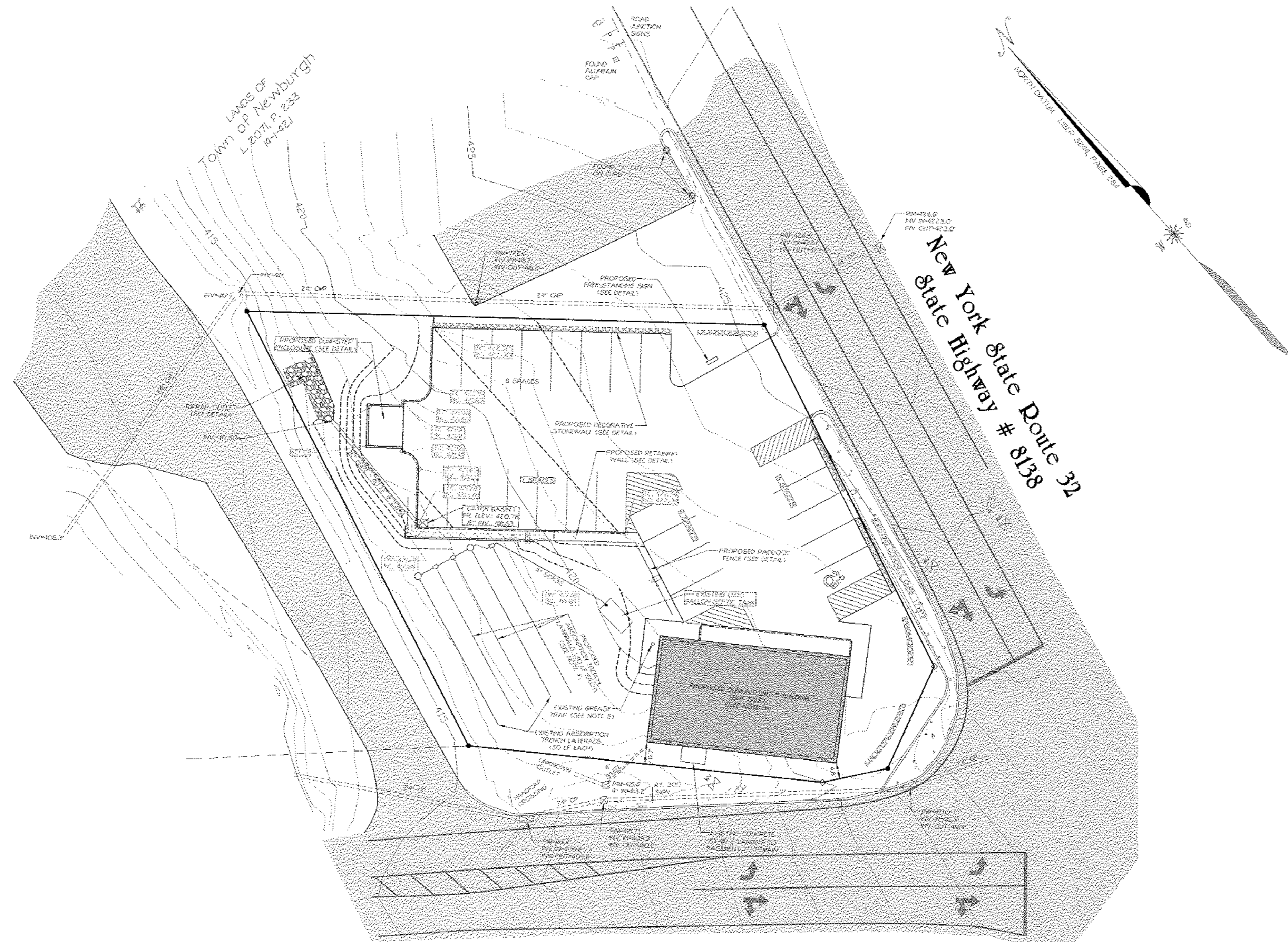
(1) TOWN OF NEWBURGH ZONING BOARD OF APPEALS ISSUED AN INTERPRETATION THAT PROPOSED USE IS CLASSIFIED AS A CONVENIENCE STORE ON AUGUST 28, 2014. EXISTING ZONING REQUIREMENTS SHOWN ARE BASED UPON THE USE BEING A CONVENIENCE STORE WITH OR WITHOUT GASOLINE FILLING STATION (USE B IN THE B ZONING DISTRICT).  
 (2) TOWN OF NEWBURGH ZONING BOARD OF APPEALS GRANTED A VARIANCE FOR THE EXISTING SETBACK TO NYS ROUTE 32 ON JANUARY 22, 2015.  
 (3) TOWN OF NEWBURGH ZONING BOARD OF APPEALS GRANTED A VARIANCE FOR THE EXISTING SETBACK TO NYS ROUTE 300 ON JANUARY 22, 2015.



**Location Map**  
SCALE 1" = 2,000'

**Legend**

- PROPERTY LINE & CORNER
- SET 3/4" IRON ROD
- UTILITY LINE AND POLE
- ADJACENT'S PROPERTY LINE
- LIBER OF DEEDS, PAGE
- TAX MAP DESIGNATION
- STONE WALL
- WIRE FENCE
- EXISTING SIGNS
- EXISTING CATCH BASIN & CULVERT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING LIGHT POLE
- CONCRETE AREA
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED CURBING
- PROPOSED SEGMENTAL RETAINING WALL (SEE DETAIL)
- PROPOSED SPOT ELEVATION (TW = TOP OF WALL, BW = BOTTOM OF WALL)



**Notes:**

- 1) RECORD OWNER: MATTHEW T. O'CONNOR, 4 FIELDSTONE COURT, NEWBURGH, NY 12550
- 2) APPLICANT: LZL EQUITIES, LLC, MICHAEL NAFASHI, 82 ALICE DRIVE, KINGSDOM, NY 12405, (973) 464-4489
- 3) EXISTING STRUCTURE SHALL BE RAISED AND THE NEW DUNKIN' DONUTS SHALL BE CONSTRUCTED ON THE EXISTING FOUNDATION.
- 4) THE EXISTING SEPTIC SYSTEM SHALL BE MODIFIED AS FOLLOWS:
  - (A) FIVE (5) LATERALS ON THE NORTHWEST SIDE OF THE LEACH FIELD SHALL BE REMOVED FROM THE DISTRIBUTION BOX AND THE DISTRIBUTION BOX HOLE CAPPED.
  - (B) TOP, SECOND, AND FOURTH LATERALS ON SOUTHWEST SIDE OF THE LEACH FIELD SHALL BE REMOVED, BACKFILLED WITH SIMILAR MATERIAL TO ONSITE SOIL, AND THE DISTRIBUTION BOX HOLE CAPPED.
  - (C) THREE (3) NEW LATERALS SHALL BE INSTALLED BETWEEN AND ADJACENT TO THE EXISTING ABSORPTION TRENCHES. THE PIPING BETWEEN THE SEPTIC TANK AND DISTRIBUTION BOXES SHALL BE MODIFIED TO ACCOMMODATE THE REMOVAL AND INSTALLATION OF LATERALS.
- 5) THE TOTAL LEACH FIELD PROPOSED FOR THE SYSTEM IS 250 FEET (5 LATERALS AT 50 LINEAR FEET EACH). SEE SEWER SHEET FOR DESIGN CALCULATIONS.
- 6) EXISTING GREASE TRAP IS REPUTEDLY A 150 GALLON KAUSTONE 1250. GREASE TRAP SHALL BE EMPTIED AND INSPECTED FOR FUNCTION. IF THE TANK IS FOUND TO BE IN DISREPAIR, THE TANK SHALL BE REPLACED BY 1500.

**Survey Notes:**

- 1) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
- 2) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF ADJOINING ROADS FOR USE AS A PUBLIC HIGHWAY.
- 3) SUBJECT TO UTILITY GRANTS OF RECORD.
- 4) THE DEED OF RECORD (L 3244, PAGE 284) DOES NOT CLOSE BY #23; THE ERROR APPEARS TO BE IN THIS PROPERTY LINE.

**Map References:**

- 1) CROMONER VALLEY - PLATTEKILL F.A. HIGHWAY PROJECT 185, MAP NO. 1, DATED FEBRUARY 25, 1922.
- 2) NEWBURGH - SHAWANGUNK STATE HIGHWAY NO. 81, MAP NO. 31, PARCEL NO. 44, LIBER 734, PAGE 255, DATED MAY 24, 1957.
- 3) CROMONER VALLEY - PLATTEKILL STATE HIGHWAY NO. 8028, MAP NO. 1, PARCEL 1, DATED JANUARY 24, 2003, DEED REFERENCE LIBER 1406, PAGE 1270.

**New York State Route 300  
State Highway # 161**

**Total Area = 0.466 Acres**  
TOWN OF NEWBURGH PROJECT #2014-02

**Site Plan  
for  
LZL Equities, LLC**

RECORD OWNER: MATTHEW T. O'CONNOR, 4 FIELDSTONE COURT, NEWBURGH, NY 12550  
DEED REFERENCE: LIBER 13403, PAGE 1332  
TAX MAP REFERENCE: SECTION 81, BLOCK 1, LOT 43

**Situate in the Town of Newburgh  
Orange County, New York State  
Scale 1"=20' September 18, 2015**

**MNTM**  
Mercurio-Norton-Tarolli-Marshall  
ENGINEERING - LAND SURVEYING  
PO Box 166, 45 Main Street, Pine Bush, NY 12546  
P: (845)744.3620 F:(845)744.3805 Email: mnt-pc@mnt-pc.com

NO.	DATE	DESCRIPTION	BY

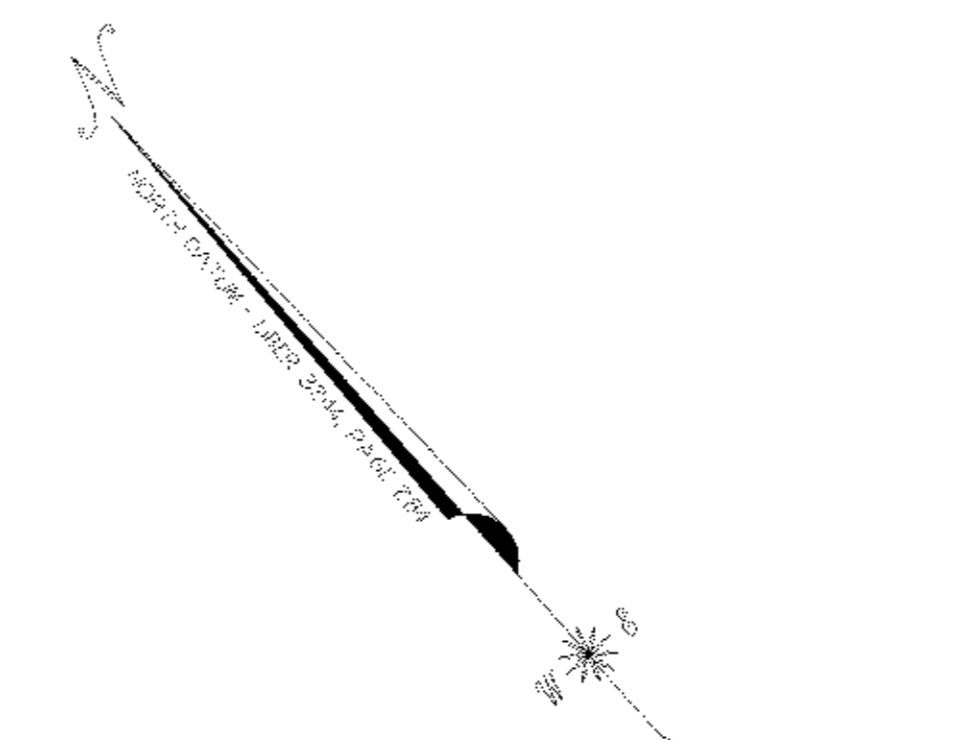
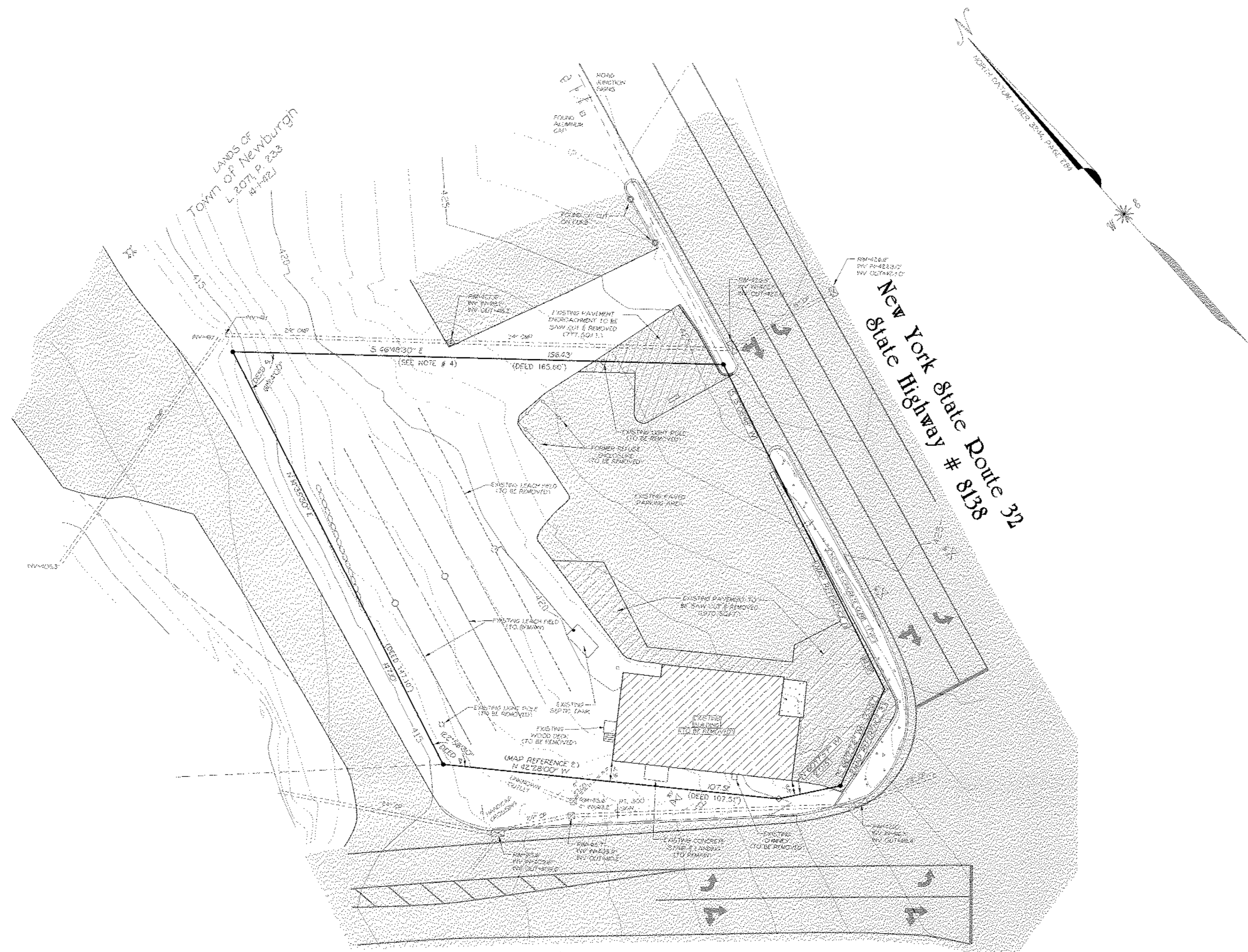
*Lawrence Marshall*

LAWRENCE MARSHALL PE #08780

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PROJECT: 3950 SHEET 1 OF 6





**Legend**

- PROPERTY LINE & CORNER
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**Survey Notes:**

- 1) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
- 2) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF ADJOINING ROADS FOR USE AS A PUBLIC HIGHWAY.
- 3) SUBJECT TO UTILITY GRANTS OF RECORD.
- 4) THE DEED OF RECORD G. 3244, PAGE 2841 DOES NOT CLOSE BY 42.3'. THE ERROR APPEARS TO BE IN THIS PROPERTY LINE.

**Map References:**

- 1) ORANMER VALLEY - PLATTEKEL  
F.A. HIGHWAY PROJECT #69  
MAP NO. 1, DATED FEBRUARY 23, 1922.
- 2) NEWBURGH - SHAWANUNK STATE HIGHWAY NO. 89  
MAP NO. 34, PARCEL NO. 94, LIBER 731, PAGE 295, DATED MAY 24, 1917.
- 3) ORANMER VALLEY - PLATTEKEL  
STATE HIGHWAY NO. 838, MAP NO. 1, PARCEL 1, DATED JANUARY 24, 2003.  
DEED REFERENCE LIBER 8405, PAGE 1270.

**New York State Route 300  
State Highway # 161**

**Total Area = 0.466 Acres**

**Survey, Existing Conditions, &  
Demolition Plan for  
LZL Equities, LLC**

RECORD OWNER: MATTHEW T. O'CONNOR, 4 FIELDSTONE COURT, NEWBURGH, NY 12550  
DEED REFERENCE: LIBER 13403, PAGE 1332  
TAX MAP REFERENCE: SECTION 81, BLOCK 1, LOT 43

**Situate in the Town of Newburgh  
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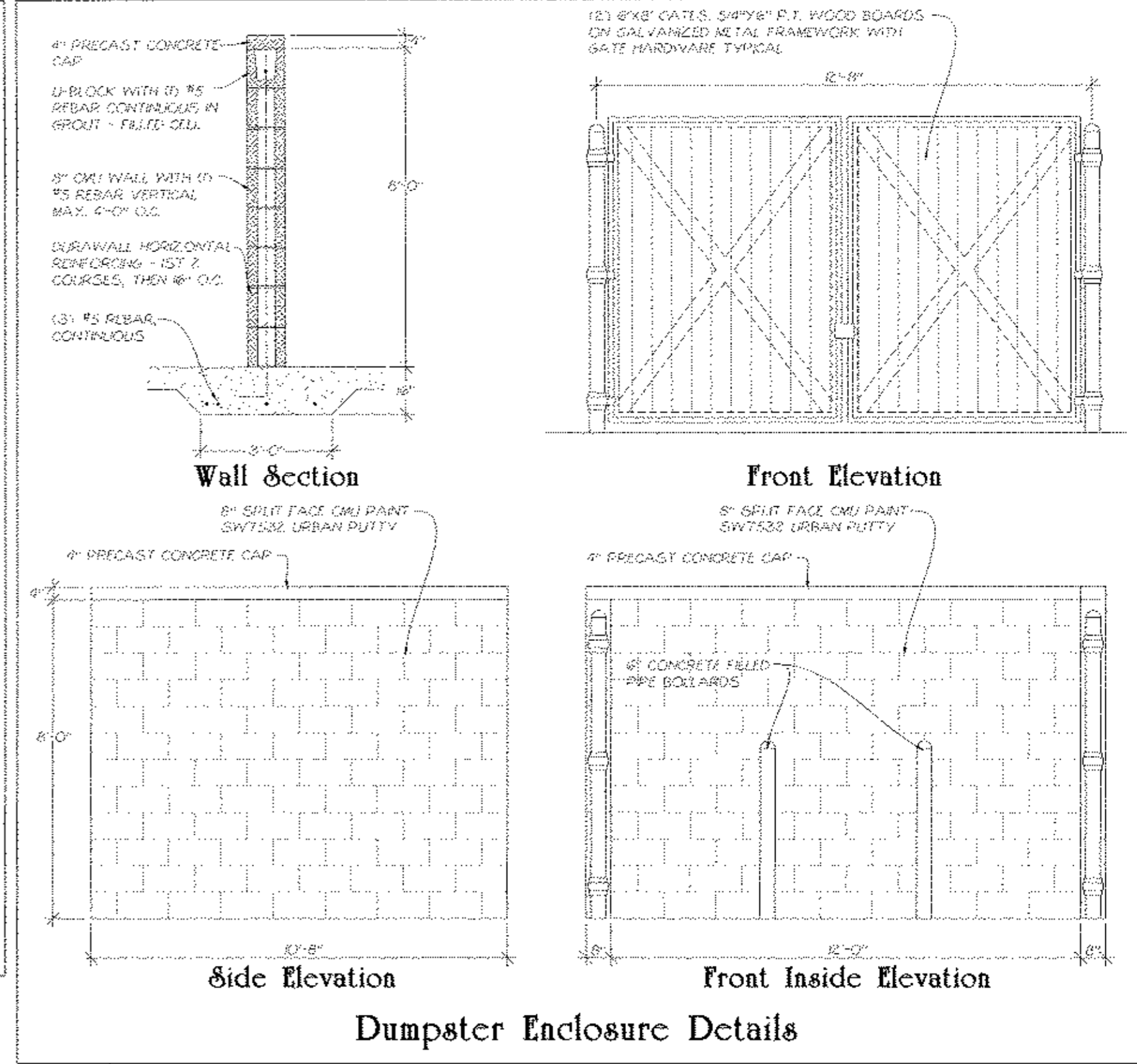
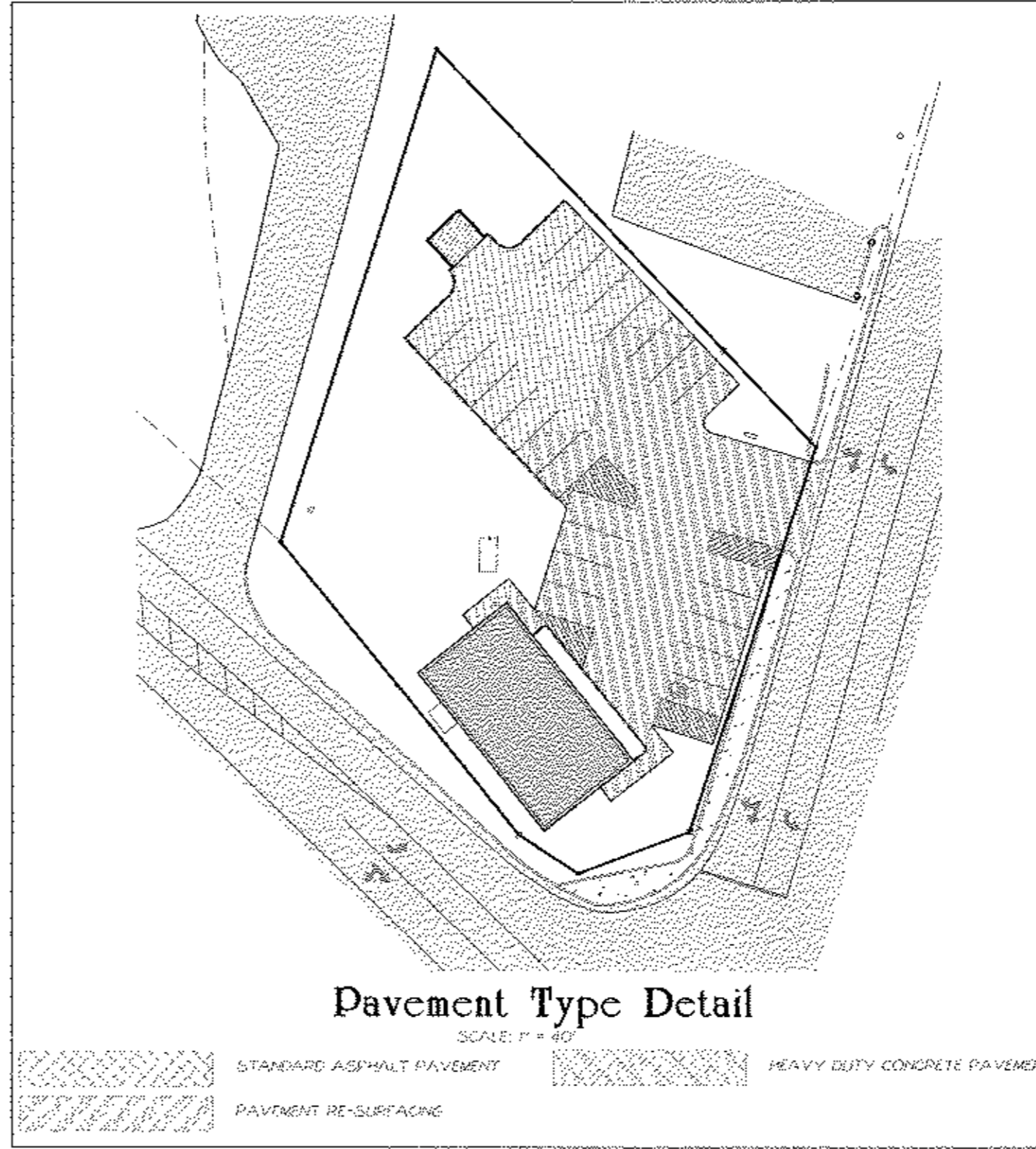
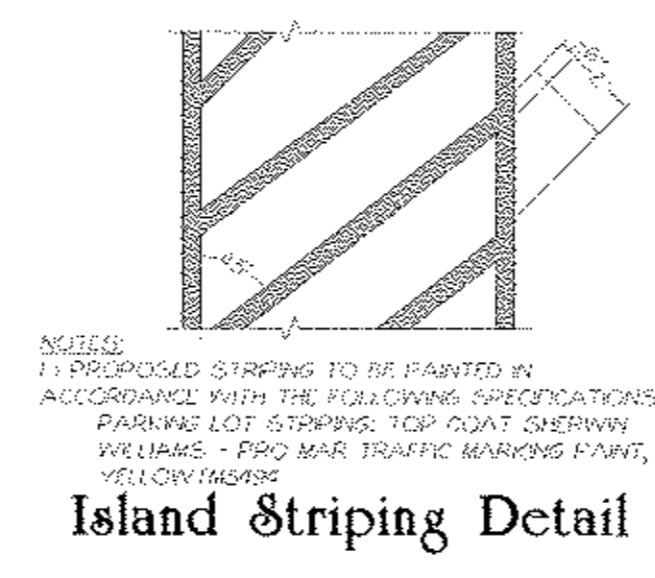
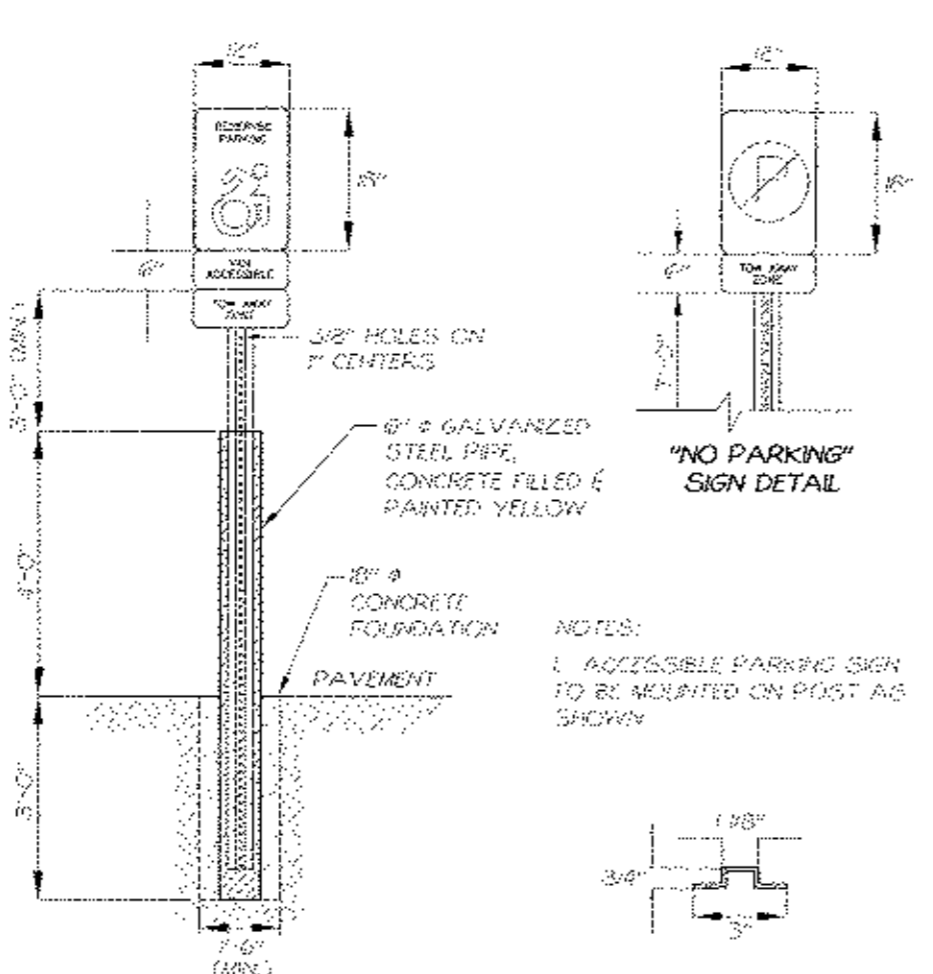
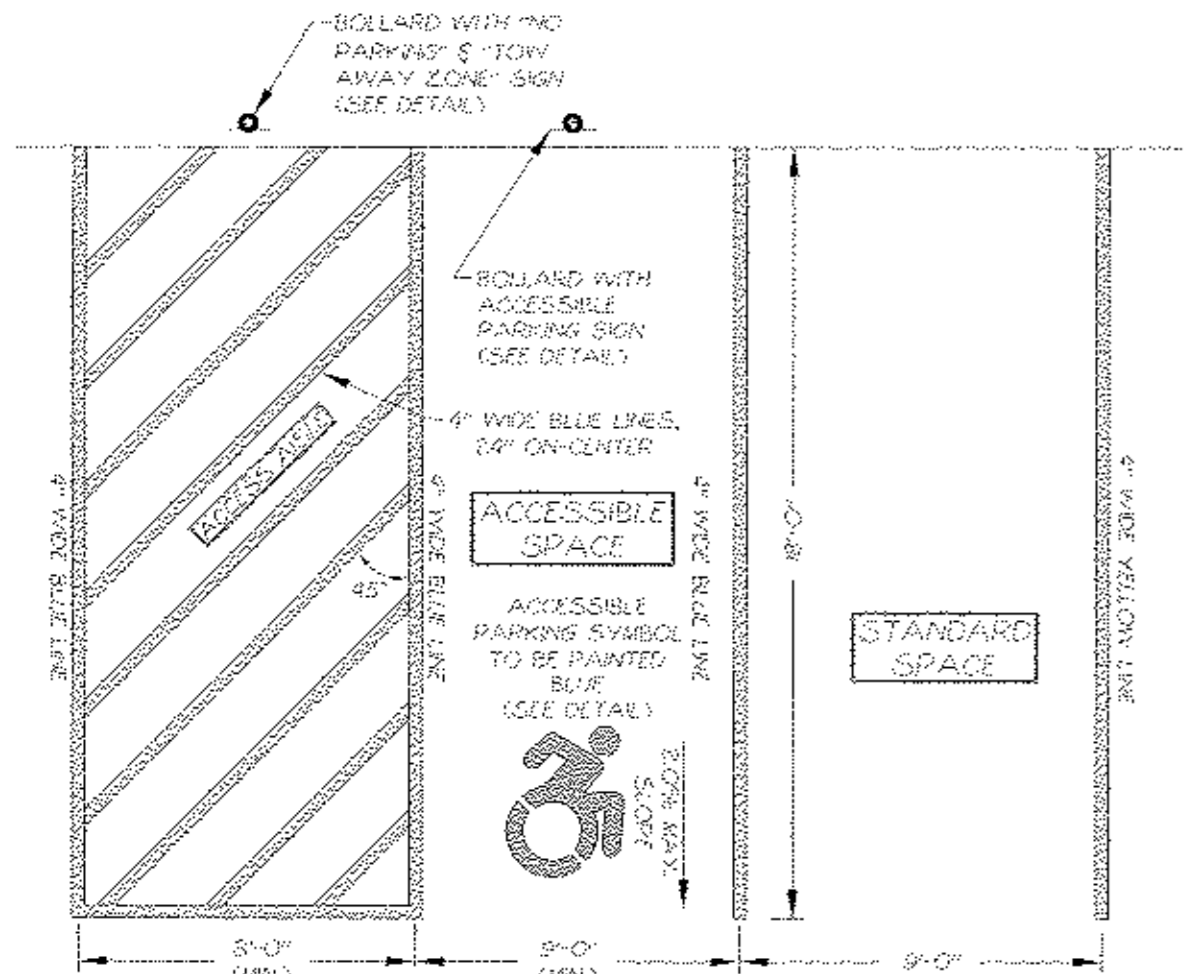
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WILLIAM NORTON LS #029480

LAWRENCE MARSHALL PL #08707

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 2009, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.  
ONLY COPIES FROM THE ORIGINAL TRACINGS OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID TRUE COPIES.  
CERTIFICATIONS HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.





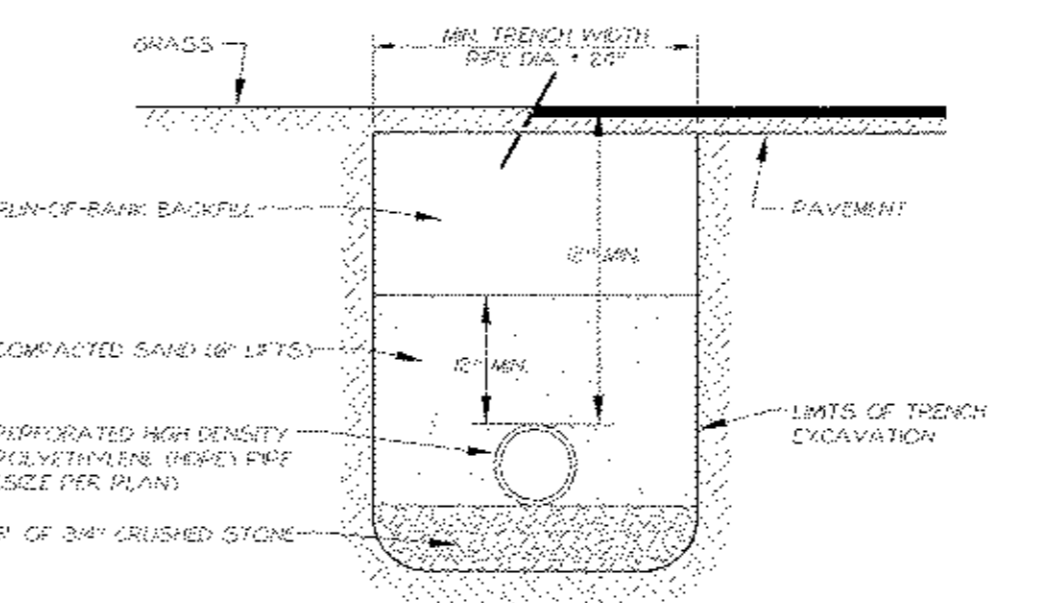
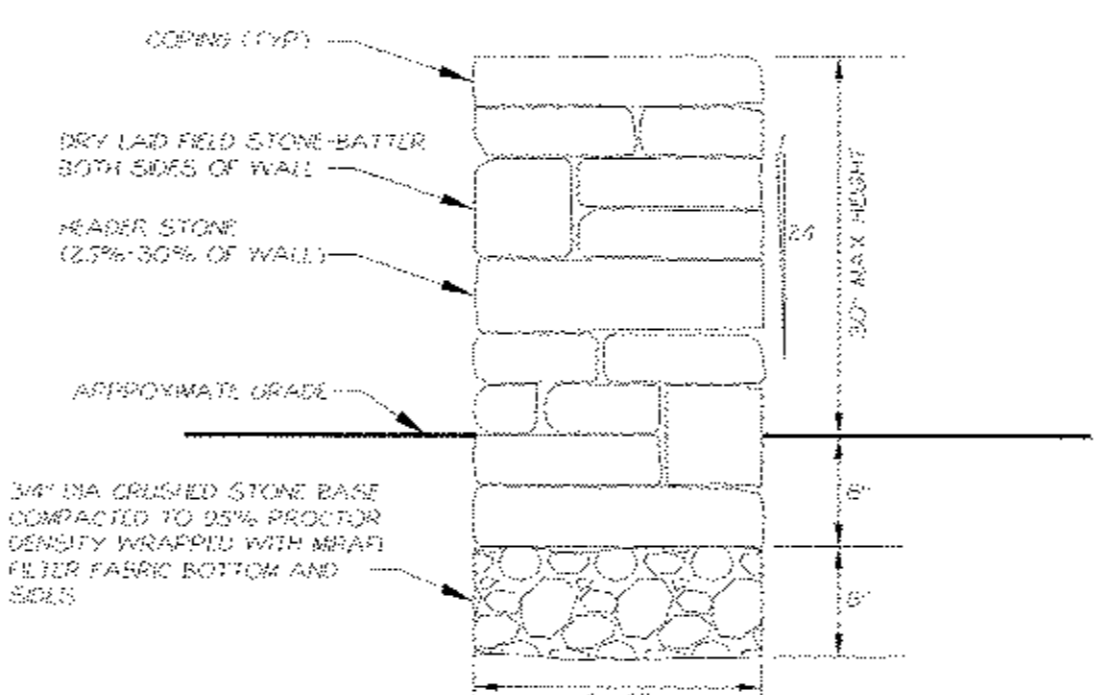
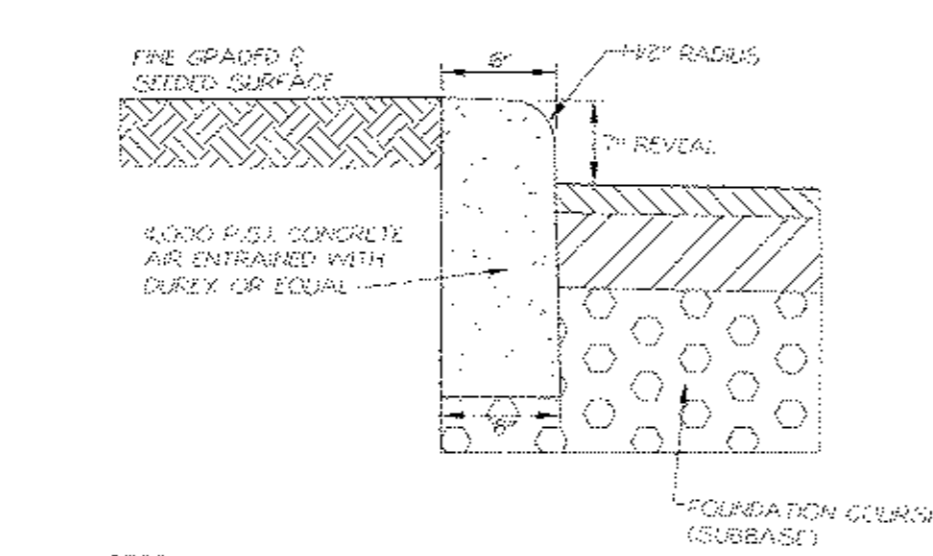
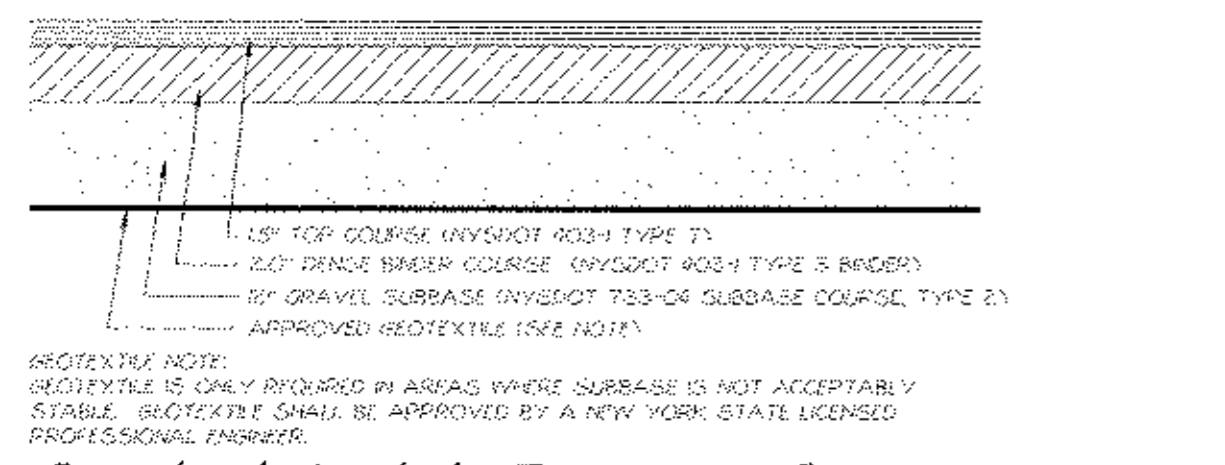
**Accessible & Parking Space Striping Detail**

**Accessible Parking Sign Detail**

**Island Striping Detail**

**Pavement Type Detail**

**Dumpster Enclosure Details**

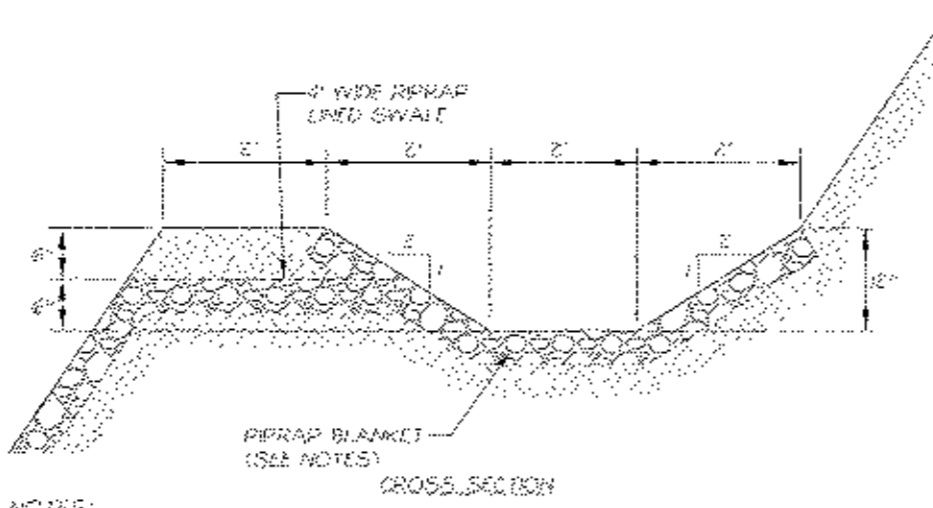
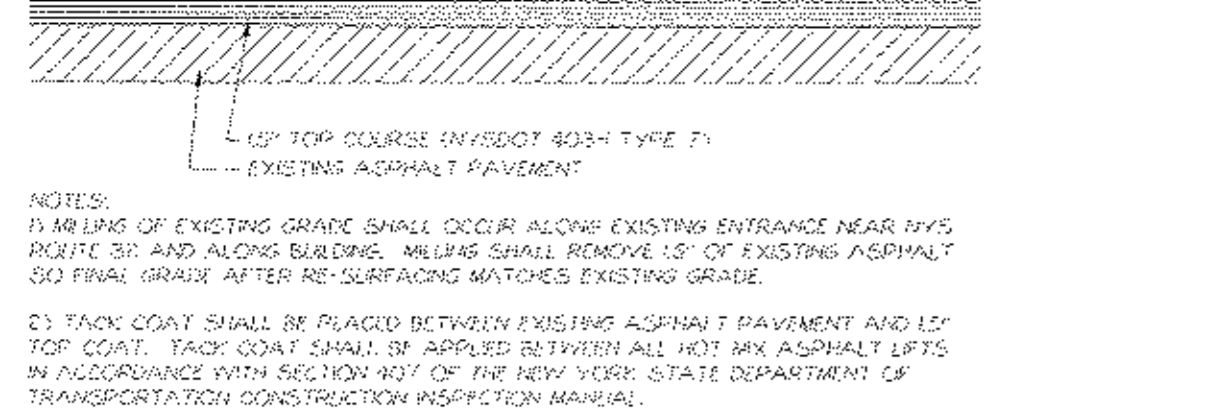


**Standard Asphalt Pavement Section**

**Standard Curb Detail**

**Typical Fieldstone Wall Detail**

**Typical Storm Sewer Trench Detail**

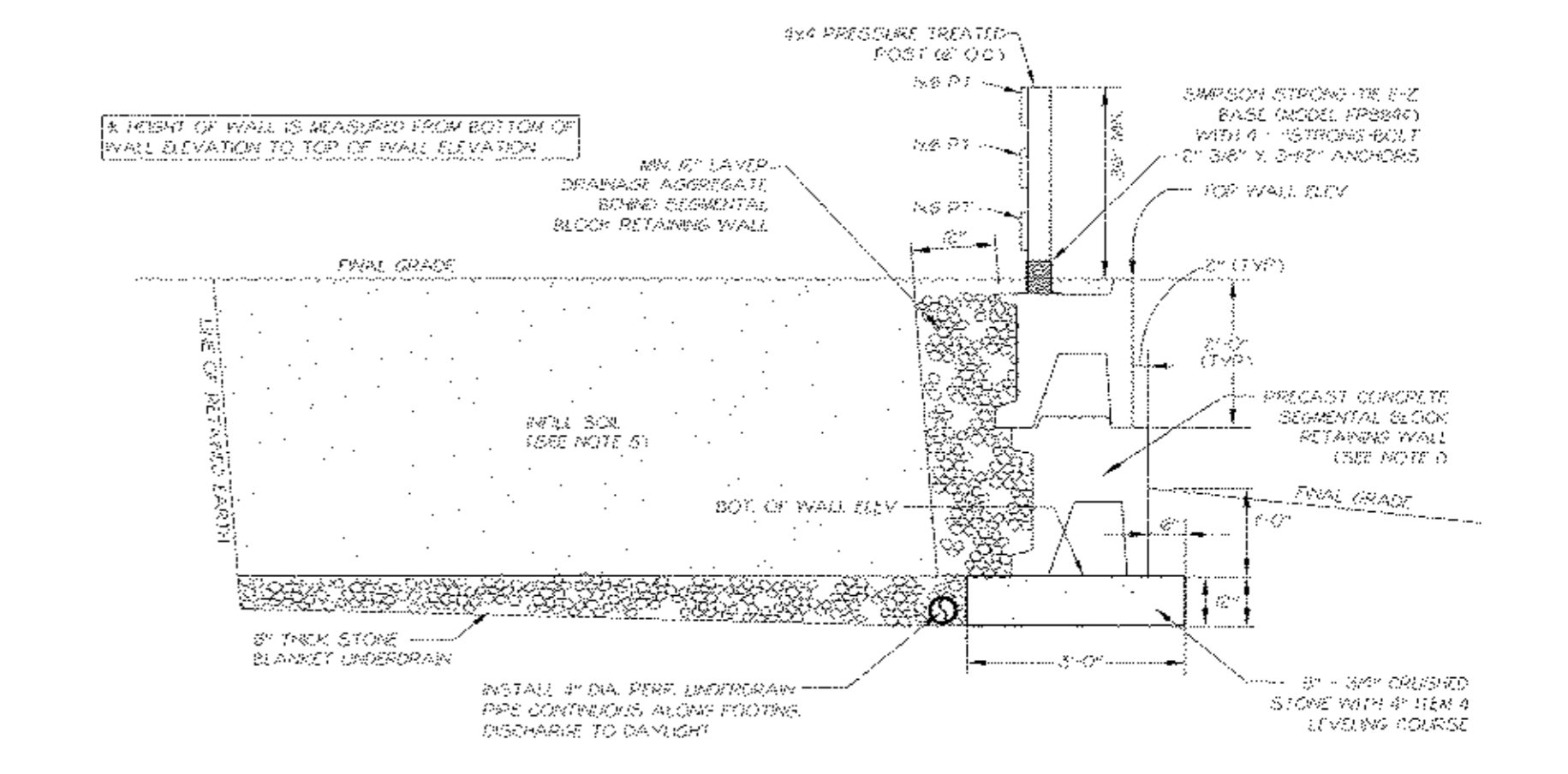


**Typical Fieldstone Wall Detail**

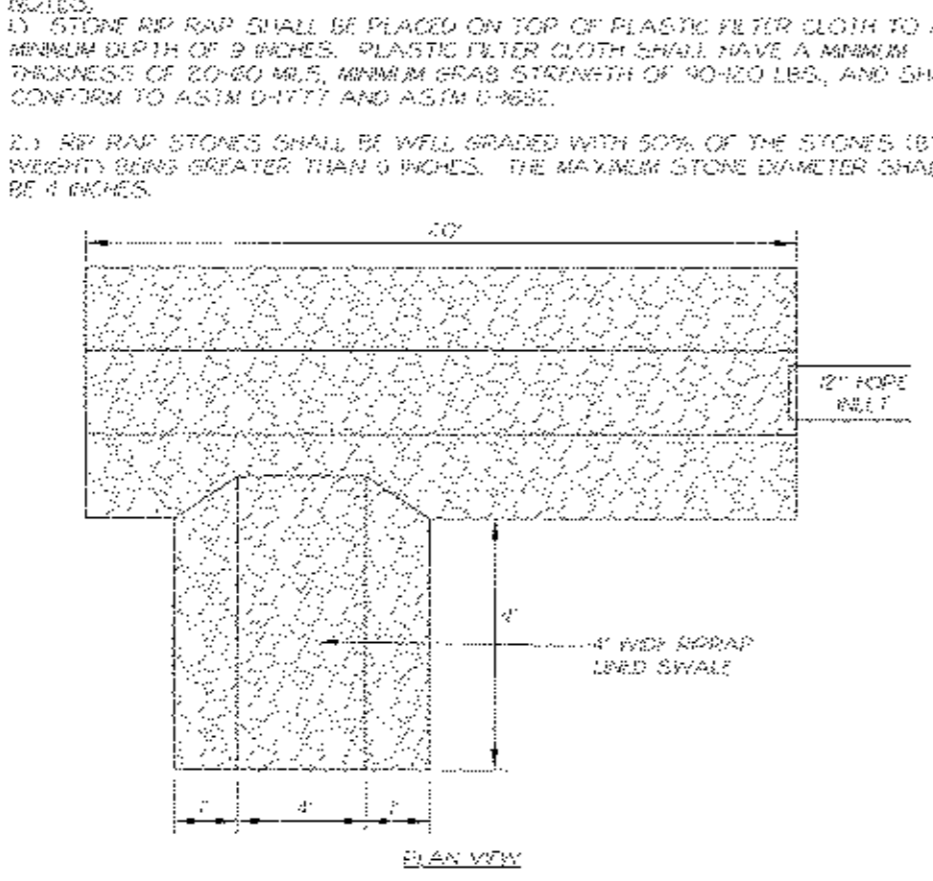
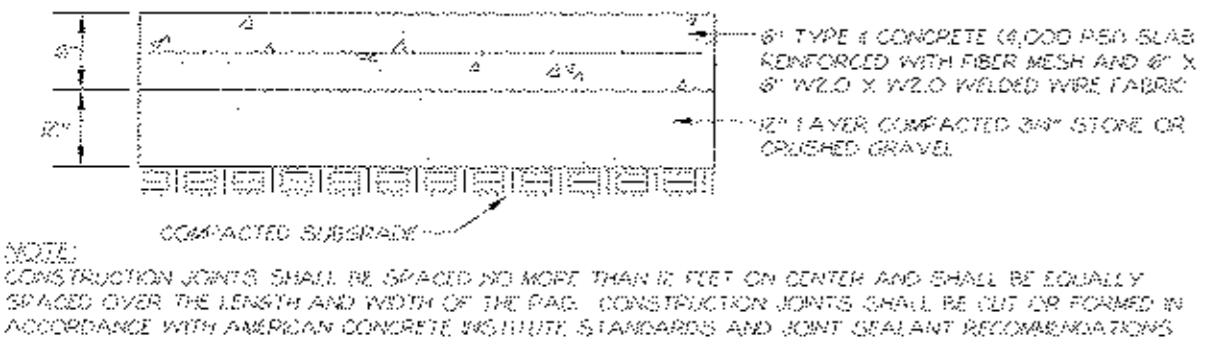
**Typical Storm Sewer Trench Detail**

**Pavement Re-surfacing Section**

**Heavy Duty Concrete Pavement Detail**



**Segmental Retaining Wall Section**



**Typical Fieldstone Wall Detail**

**Typical Storm Sewer Trench Detail**

**Segmental Retaining Wall Section**

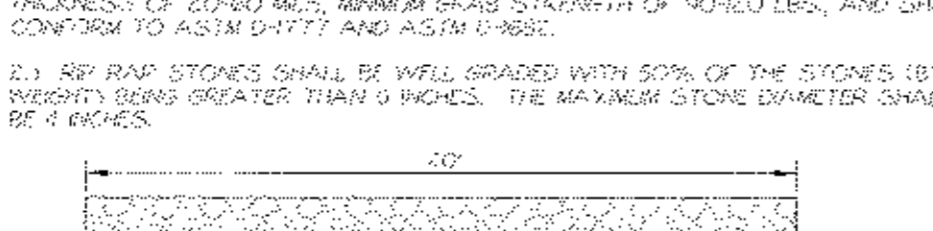
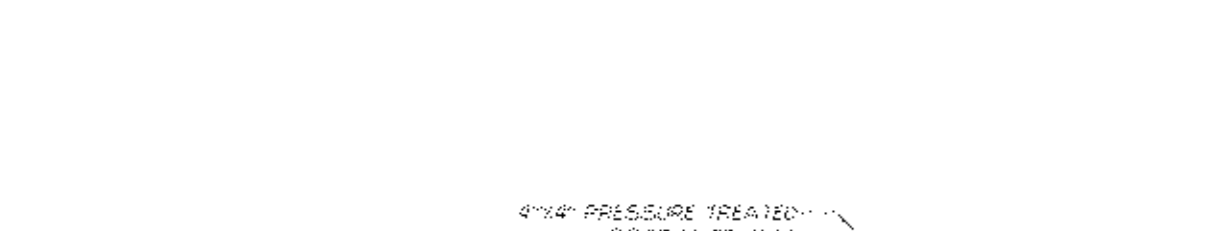
**Heavy Duty Concrete Pavement Detail**

**Riprap Outlet Detail**

**Typical Fieldstone Wall Detail**

**Typical Storm Sewer Trench Detail**

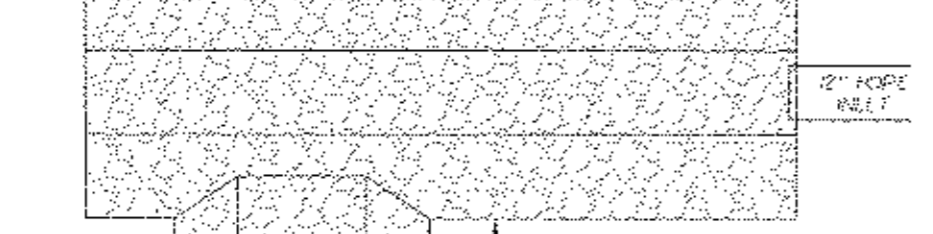
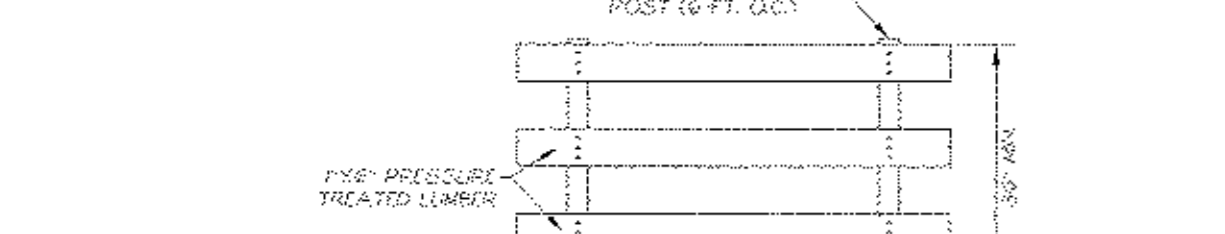
**Segmental Retaining Wall Section**



**Typical Fieldstone Wall Detail**

**Typical Storm Sewer Trench Detail**

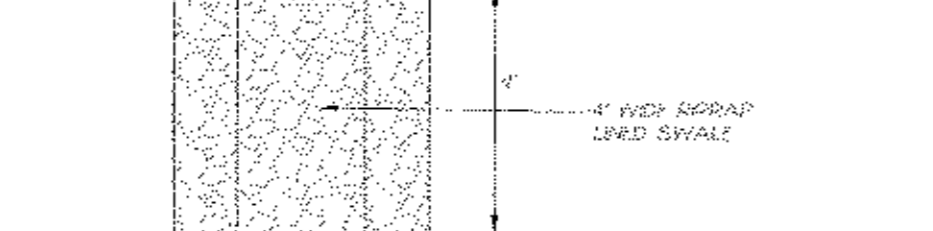
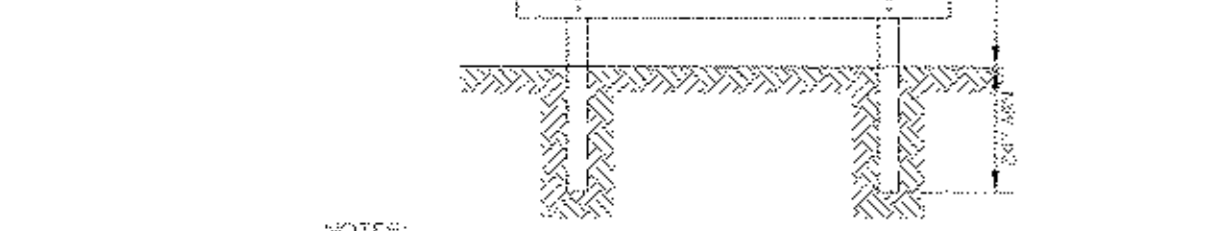
**Segmental Retaining Wall Section**



**Typical Fieldstone Wall Detail**

**Typical Storm Sewer Trench Detail**

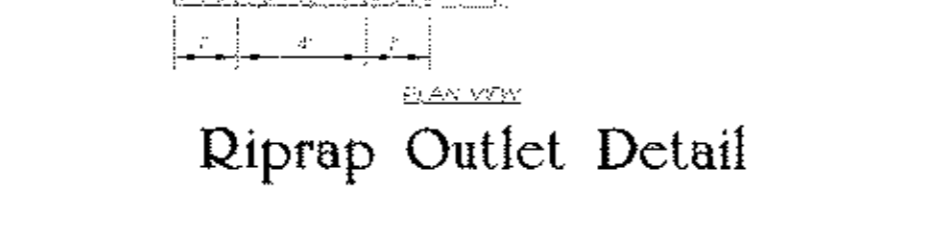
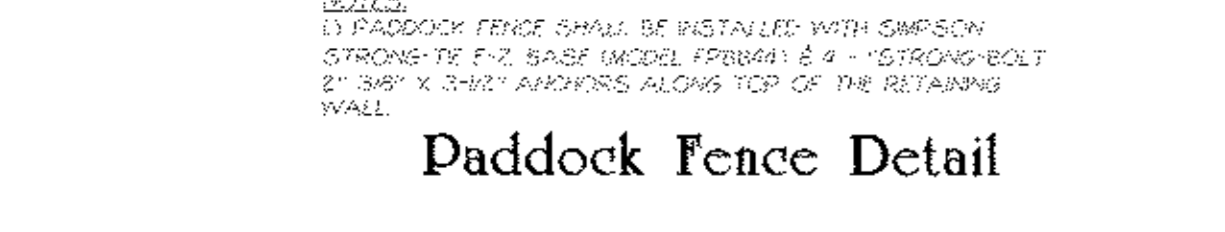
**Segmental Retaining Wall Section**



**Typical Fieldstone Wall Detail**

**Typical Storm Sewer Trench Detail**

**Segmental Retaining Wall Section**



**Typical Fieldstone Wall Detail**

**Typical Storm Sewer Trench Detail**

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**Segmental Retaining Wall Section**



**Typical Fieldstone Wall Detail**

**Typical Storm Sewer Trench Detail**

**Segmental Retaining Wall Section**

**Paddock Fence Detail**

**Riprap Outlet Detail**

**Typical Fieldstone Wall Detail**

**Typical Storm Sewer Trench Detail**

**Segmental Retaining Wall Section**

**Paddock Fence Detail**

**Riprap Outlet Detail**

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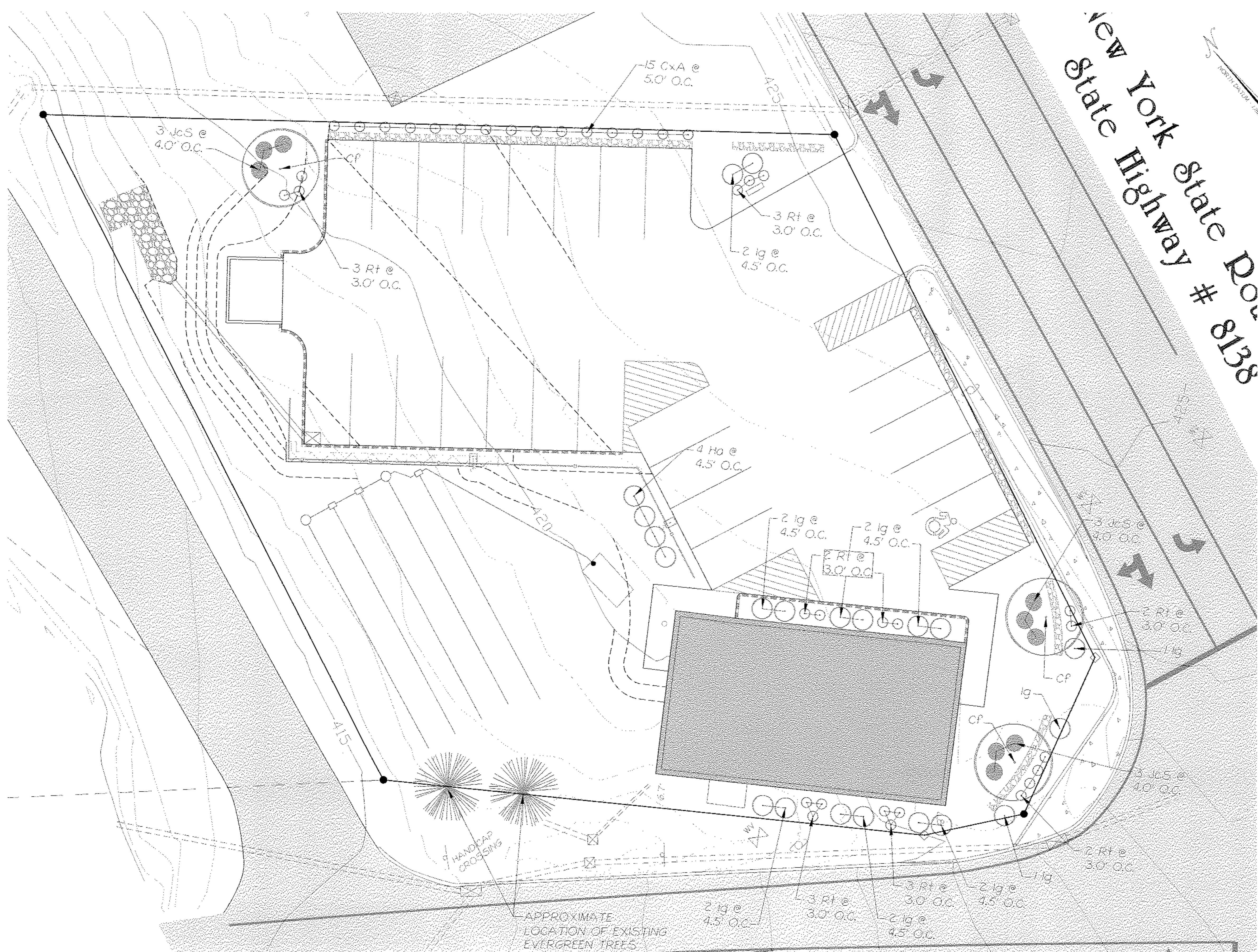
**Segmental Retaining Wall Section**

**Paddock Fence Detail**

**Riprap Outlet Detail**

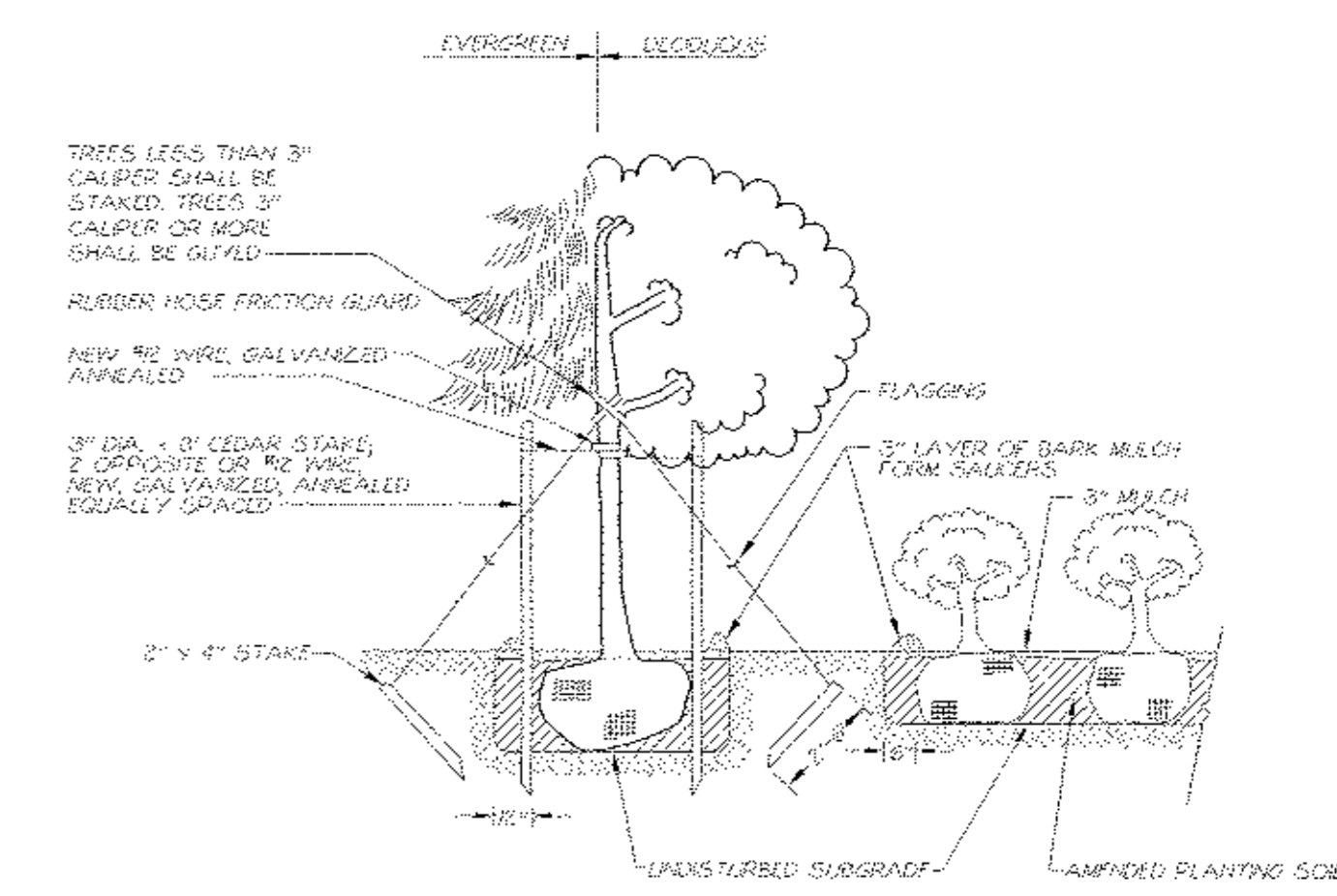


New York State Route # 8138



Planting Table

COMMON NAME	BOTANICAL NAME	KEY	QTY	PLANTING SIZE	MATURE SIZE	TYPE
ARBERRY	ILEX GLABRA	lg	17	24" - 30"	36" - 48"	EVERGREEN SHRUBS
RED TWIG DOGWOOD	CORNUS ALBA	Rt	22	24" OR 3 GAL.	6' - 8'	DECIDUOUS SHRUBS
HILLS-OF-SNOW HYDRANGEA	HYDRANGEA ARBORESCENS	Ho	4	18" - 24"	3' - 4'	DECIDUOUS SHRUBS
FEATHER REED GRASS	CHLAMAEROSTIS X ACUTIFLORA KARL FOERSTER	CxA	15	-	3' - 5'	GRASSES
WHITE FLOWERING DOGWOOD	CORNUS FLORIDA	Cf	3	1" - 1 1/2" C. CLUSTER	20' - 30'	DECIDUOUS TREES
SARGENT'S JERSEY	JUNIPERUS CHINENSIS SARGENTII	JCS	9	18" - 24"	24" - 36"	EVERGREEN SHRUBS



NOTES:  
 1. ALL PLANT MATERIAL SHALL BE HEALTHY AND FULL AT TIME OF PLANTING.  
 2. ALL TREES SHALL BE WARRANTED TO BE HEALTHY FOR 2 YEARS FROM TIME OF PLANTING.  
 3. ALL PRE-PACKAGED LANDSCAPE PLANTS SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF HORTICULTURE SUPPLIERS STOCK #1.  
 4. TREE WARRANTS SHALL BE PROVIDED ABOVE BASE OF TREE TO 6" ABOVE RUBBER HOSE FRICTION GUARD FOR DECIDUOUS TREES ONLY.

Planting Detail  
 NTC

Landscape Plantings

ALL DISTURBED AREAS NOT CONTAINING LANDSCAPE BEDS SHALL BE PLANTED WITH THE FOLLOWING SEED MIXTURE AT A RATE OF 10 POUNDS PER 2,000 SQUARE FEET:  
 BLUE GRASS BLEND:  
 25% FESTUCA RUBRA COMITATA (CHEWING FESCUE)  
 15% LOLIUM PERENNE (PERENNIAL RYEGRASS)  
 60% POA PRATENSIS (KENTUCKY BLUEGRASS)

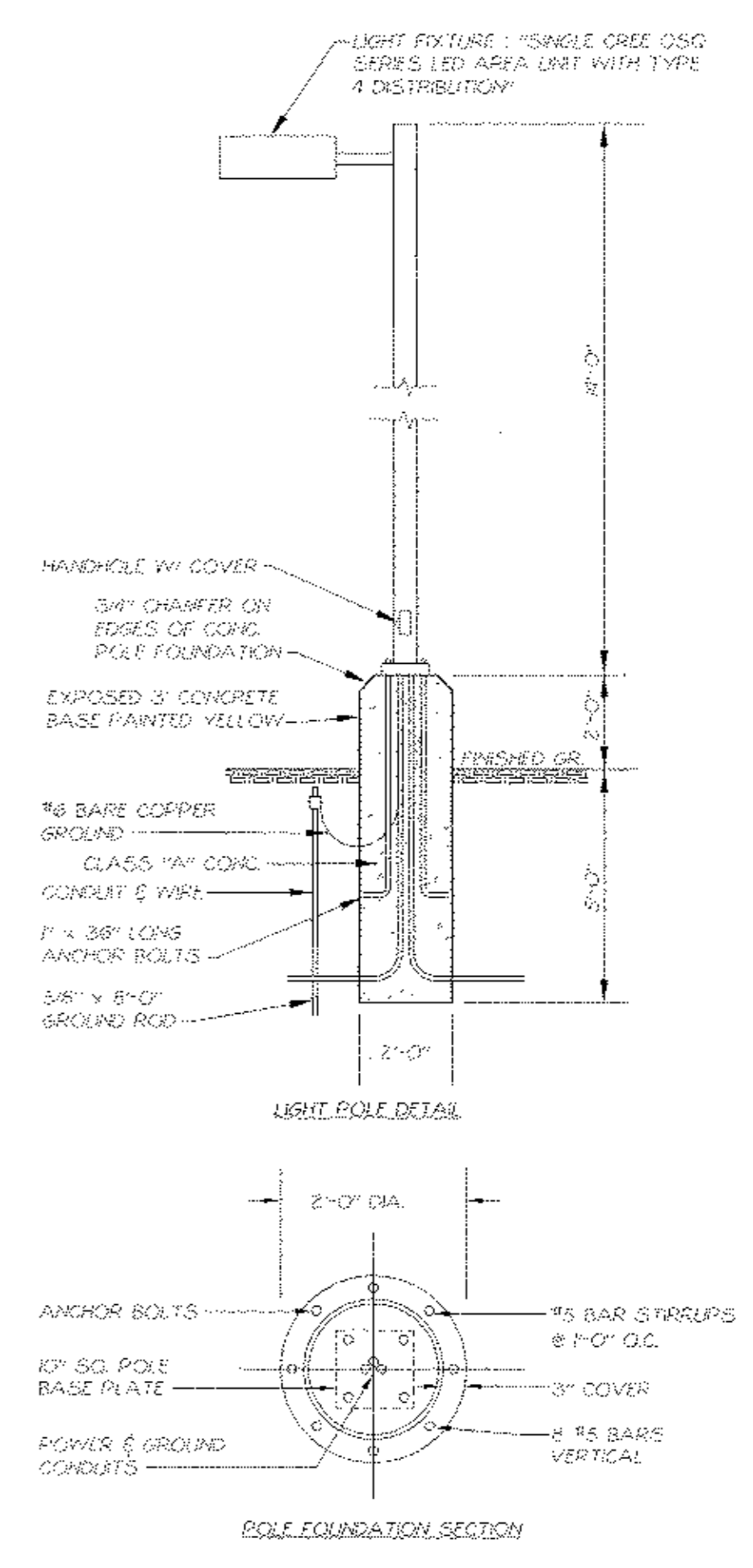
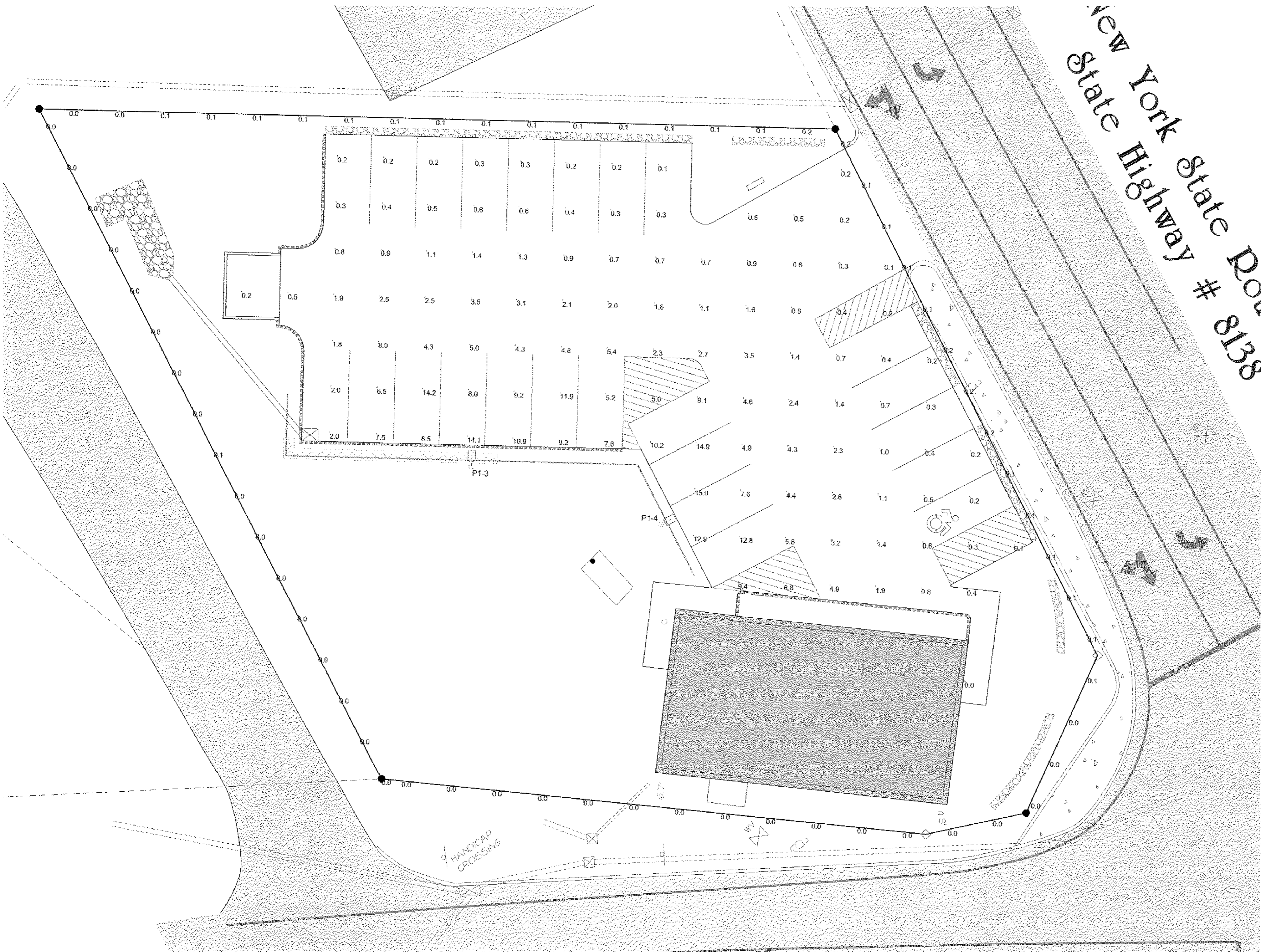
**MNTM**  
 Mercurio-Nortoli-Marshall  
 ENGINEERING - LAND SURVEYING  
 PO Box 166, 45 Main Street, Pine Bush, NY 12566  
 P: (845)744.3620 F:(845)744.3805 Email: mnt-pc@mnt-pc.com

DATE: 02/28/2015  
 DRAFTED BY: KVV  
 PROJECT: 3350 SHEET 4 OF 8

Landscape Plan for  
**LZL Equities, LLC**  
 RECORD OWNER: MATTHEW T. OGDONOR, 4 PELINGTON COURT, NEWBURGH, NY 12550  
 DEED REFERENCE: LIBER 19403, PAGE 1932  
 TAX MAP REFERENCE: SECTION 14, BLOCK 1, LOT 43  
 Situate in the Town of Newburgh  
 Orange County, New York State  
 Scale 1"=10' September 18, 2015



New York State Route  
State Highway # 8138



Light Pole Detail

Lighting Notes:

ALL LIGHT INTENSITIES PROVIDED BY VILLA LIGHTING SUPPLY, 2959 CHATEAU AVENUE, ST. LOUIS, MO 63003, TELEPHONE: (800)325-0964.

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Parking Lot Light Levels	P	3.2 fc	15.0 fc	0.0 fc	N/A	N/A	0.2:1
Property Line Light Levels	L	0.1 fc	0.2 fc	0.0 fc	N/A	N/A	0.5:1

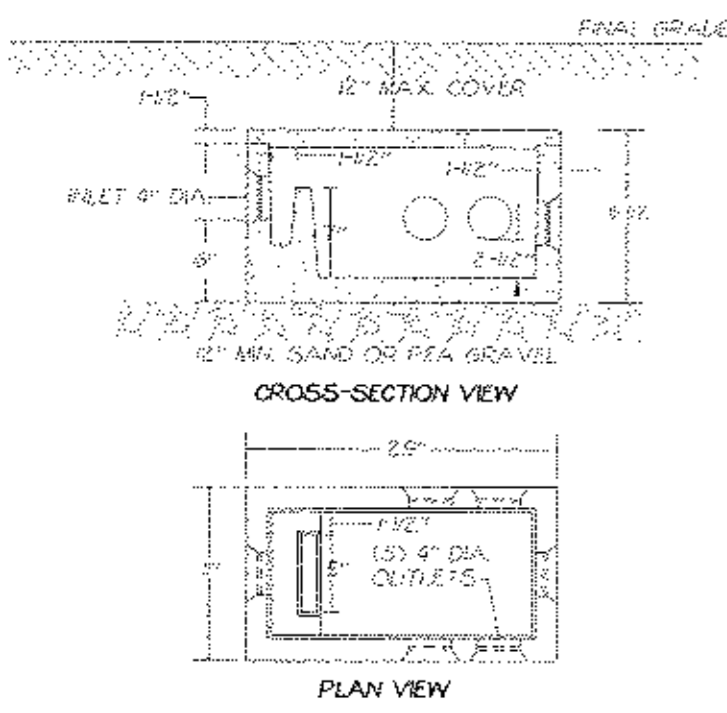
Luminaire Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
P1	P1	2	CREE	OSQ-A-XX-4ME-S-40K-UL w/OSQ-BLSLF	Single Cree OSQ Series LED Area Unit w/Type 4 Distribution (14ft. Pole w/2ft. Estimated Base) Back Light Shield	223w of LED	1	18154.68	1	223

**MNTM**  
**Mercurio-Norton-Tarolli-Marshall**  
 ENGINEERING - LAND SURVEYING  
 PO Box 166, 45 Main Street, Pine Bush, NY 12566  
 P: (845)744-3620 F: (845)744-3805 Email: mnt-pc@mnt-pc.com

NO DATE REVISION BY  
  
 LAWRENCE MARSHALL PE #020707 DRAFTED BY: RWV

Lighting Plan for  
**LZI Equities, LLC**  
 RECORD OWNER: MATTHEW T. O'CONNOR, 4 FIELDSIDE COURT, NEWBURGH, NY 12550  
 DEED REFERENCE: LIBR 13403, PAGE 1332  
 TAX MAP REFERENCE: SECTION 4, BLOCK 1, LOT 4B  
 Situate in the Town of Newburgh  
 Orange County, New York State  
 Scale 1"=10' September 18, 2015  
 PROJECT: 30501 SHEET 5 OF 6

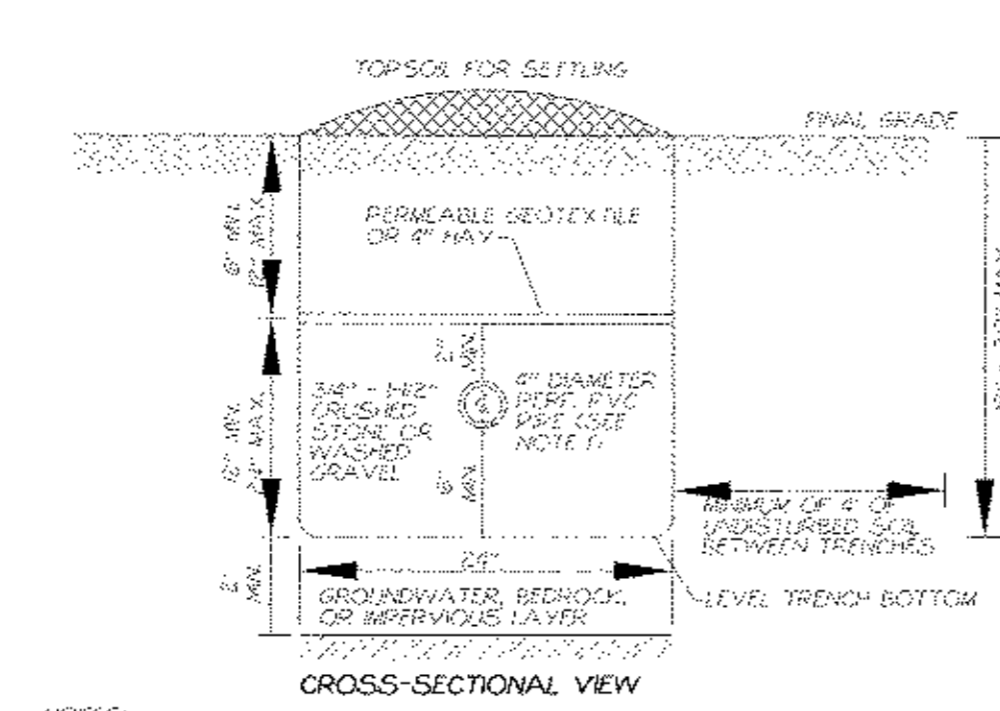
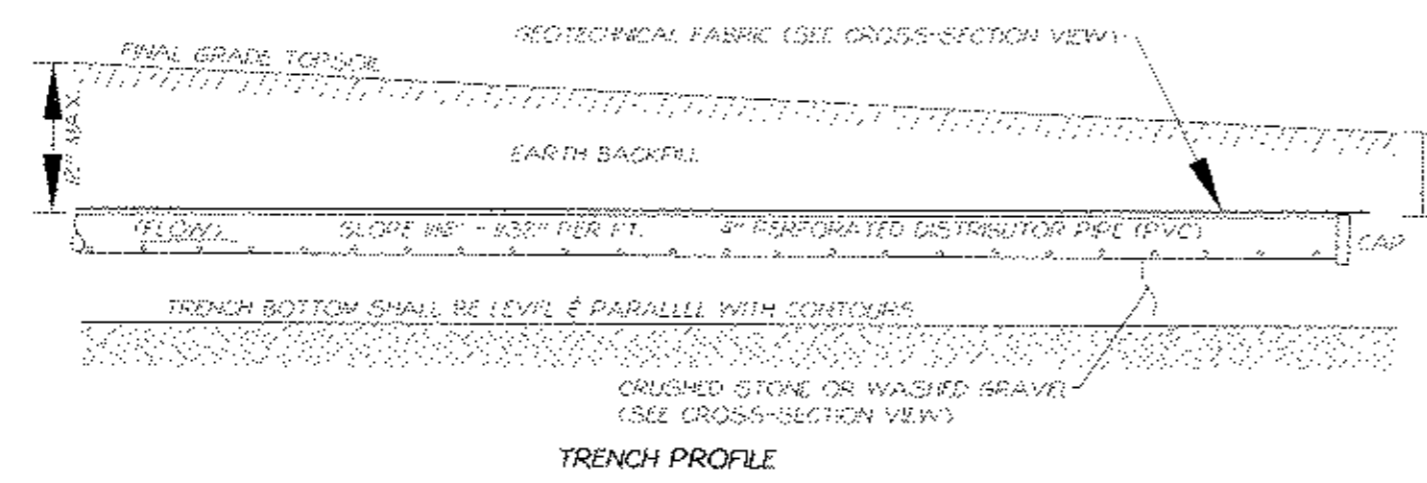




**DISTRIBUTION BOX NOTES:**

- 1) FLOW EQUALIZERS SHALL BE USED TO ENSURE EQUAL FLOW TO EACH OUTLET PIPE. YEARLY CHECKING AND ADJUSTMENT IS RECOMMENDED.
- 2) ALL PIPE JOINTS (INLET & OUTLET) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
- 3) FLOW EQUALIZERS MUST BE USED.
- 4) OUTLET INVERTS SHALL BE SET AT THE SAME ELEVATION.
- 5) OUTLETS MUST BE USED IN A MANNER TO ALLOW ACCESS TO THE NECESSARY NUMBER OF OUTLETS FOR THE EXPANSION AREA WITHOUT DISTURBING THE INITIAL SYSTEM.

**Typical Precast Concrete Distribution Box**  
 AS MANUFACTURED BY WOODHARIS CONCRETE PRODUCTS, INC. - BULLVILLE, N.Y.  
 MODEL DB-6 OR APPROVED EQUAL.  
 NOT TO SCALE



**NOTES:**

- 1) DISTRIBUTION PIPE SHALL BE INSTALLED WITH PIPE PERFORATIONS FACING DOWN.
- 2) DO NOT INSTALL TRENCHES IN WET SOIL. TRENCH SIDES AND BOTTOMS SHALL BE RAISED PRIOR TO INSTALLATION OF GRAVEL.
- 3) THE END OF EACH LATERAL SHALL BE COVERED.

**Absorption Trench Detail**

**SEWAGE DISPOSAL SYSTEM REQUIREMENTS**

DESIGN APPLICATION RATE (GPD)	DESIGN FLOW RATE (GPD)	MIN. LENGTH OF ABSORPTION TRENCH (FT.)	PROPOSED LENGTH OF ABSORPTION TRENCH (FT.)	SEWAGE DISPOSAL SYSTEM REGION
0-50	100	250	250	5 ROWS @ 50 FT.

S.A.T. = SHALL USE ABSORPTION TRENCH SYSTEM  
 NOTE: THE RESERVE SYSTEM IS THE SAME DESIGN AS THE PRIMARY SYSTEM

**General Notes:**

- 1) PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
- 2) ALL 4" OUTLET PIPES (SOLID WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT (P TO A DISTRIBUTOR LATERAL).
- 3) SEWAGE DISPOSAL SYSTEMS LOCATED OF NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED 200' OR MORE AWAY.
- 4) NO DRIVEWAY, ROADWAY, PARKING AREA OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEWER SYSTEM. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE ABSORPTION FIELD AREA.
- 5) ALL DISTRIBUTOR LINES (PERFORATED) SHALL BE OF EQUAL LENGTH.
- 6) ALL TREES TO BE CUT & REMOVED FROM SEWAGE DISPOSAL AREA IN A MANNER THAT WILL NOT DISTURB THE VIRGIN SOIL LAYER.
- 7) MAXIMUM GROUND SLOPE OF THE FIELD AREA SHALL NOT EXCEED 15%.
- 8) NO BASEMENT FIXTURES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL.
- 9) NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY SPRING, RESERVOIR, BROOK, MARSH OR ANY OTHER BODY OF WATER.
- 10) NO ROOF, CELLAR OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWAGE DISPOSAL SYSTEM.
- 11) FLOW EQUALIZERS SHALL BE USED FOR SYSTEMS WHOSE SEE SLOPES ARE BETWEEN 10-15% AND ARE RECOMMENDED FOR ALL SYSTEMS.
- 12) SLOPE BETWEEN SEPTIC TANK OR PUMPING CHAMBER AND THE HOUSE SHALL BE POSITIVE AND UNINTERRUPTED, AS TO ALLOW SEPTIC GASSES TO DISCHARGE THROUGH THE STACK VENT.
- 13) THE SEWER PIPE RUNNING FROM THE HOUSE TO THE SEPTIC TANK MUST BE Laid ON SUITABLY COMPACTED EARTH OR VIRGIN SOIL WITH THE FIRST WATERTIGHT JOINT LOCATED AT LEAST 3' FROM THE HOUSE. THE PIPE SHALL BE SCH 80 PVC OR CAST IRON.
- 14) THE DESIGN AND LOCATION OF SANITARY FACILITIES (WELL, SEPTIC TANK, AND LEACH FIELD) SHALL NOT BE CHANGED. ANY RELOCATION OF THE SEPTIC SYSTEMS OR WELLS SHOWN TO AREAS OTHER THAN AS SHOWN ON THE APPROVED PLANS, MUST BE RESUBMITTED AND APPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- 15) ALL WELLS AND SEPTIC SYSTEMS THAT IMPACT SEPARATION DISTANCES FOR THE PROPOSED WELLS AND SEPTIC SYSTEMS ARE SHOWN ON THE PLANS. WELLS AND SEPTIC SYSTEMS WERE LOCATED WITHIN 300' WHEREVER POSSIBLE. THE OWNERS OF SEVERAL LOTS REFUSED TO ALLOW THEIR WELLS AND SEPTIC SYSTEMS TO BE LOCATED.
- 16) THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
- 17) HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY EXCESSIVE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN LOAD WAS BASED.
- 18) THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS AS SUCH THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOMMODATE THEM AND REAPPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- 19) THE PURCHASER OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES, INCLUDING A COPY OF THE NYSDEC WELL COMPLETION REPORT.
- 20) SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
- 21) PUMP STATIONS SHOULD BE INSPECTED PERIODICALLY BY A PROPERLY TRAINED PERSON FOR PROPER OPERATION, INCLUDING HIGH WATER ALARMS, VENTING, AND ANY PHYSICAL DAMAGE.
- 22) DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
- 23) A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION PRIOR TO OCCUPANCY OF THE DWELLING. THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS. A COPY OF THE NYSDEC WELL COMPLETION REPORT MUST ALSO BE PROVIDED.

- (A) IF THE ABSORPTION FIELD IS LOCATED IN GRAVEL SOILS, THEN 200' SEPARATION.
- (B) WHEN WASTEWATER TREATMENT SYSTEMS ARE LOCATED UP-SLOPE AND IN THE DIRECT PATH OF SURFACE RUNOFF TO A WELL, THE CLOSEST PART OF THE SYSTEM SHOULD BE AT LEAST 200' AWAY FROM THE WELL.
- (C) WATER (PRESSURE) AND SEWER LINES MAY BE IN THE SAME TRENCH IF WATER LINE IS PLACED ON AN UNDISTURBED BENCH OR SHELVE SO THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18" HIGHER THAN THE TOP OF THE SEWER MAIN, AND THE SEWER MAIN IS NOT SUBJECT TO SETTLING, VIBRATION, SUPERIMPOSED LOADS, OR FROST ACTION.
- (D) IF BOTTOM OF DRAIN IS ABOVE FINISHED GRADE AT LEACHING FACILITY, OTHERWISE 50'.
- (E) REFER TO LOCAL WATERBODIES RULES AND REGULATIONS FOR POSSIBLE SUPERSEDED SPECIFICATIONS.
- (F) FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF PU MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF THE SLOPE OF THE HILL.

**Minimum Separation Distances From Existing Or Proposed Features**

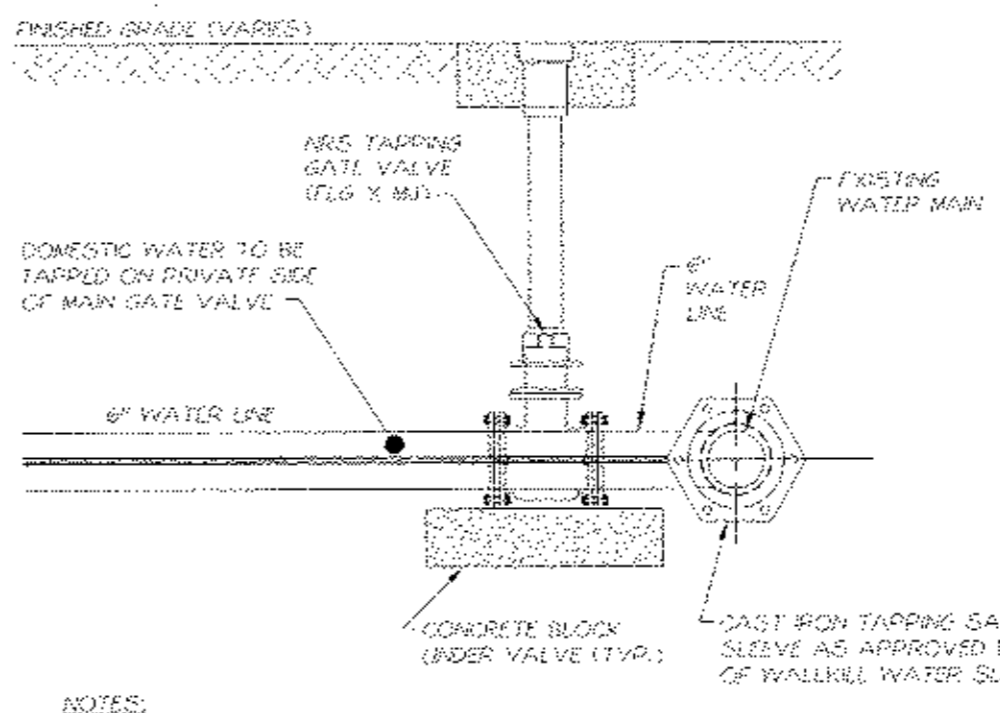
AS PER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION DESIGN STANDARDS FOR INTERMEDIATE SCALE WASTEWATER TREATMENT SYSTEMS, PUBLISHED MARCH 31, 2014

**Water System Notes:**

- 1) CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- 2) ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 20 DUCTILE IRON PIPE CONFORMING TO ANSII/AWWA C900/200. LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- 3) THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE DUCTILE IRON MEGALUS SERIES 800 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINT JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- 4) ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSII/AWWA C900/250 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSII/AWWA C900/250 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- 5) ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSII/AWWA C900 SUCH AS MUELLER MODEL A-2360-53 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- 6) TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-305 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSII/AWWA C900 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- 7) ALL HYDRANTS SHALL BE CLOU-BEDDY J-5840 CONFORMING TO AWWA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5/8" HOSE MAIN VALVE OPENING, TWO 2" INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2 INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTERCLOCKWISE). HYDRANTS OR MARKS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- 8) ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-3000 FOR 3/4 AND 1 INCH, MUELLER H-3000 FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-3002-2N FOR 3/4 AND 1 INCH AND MUELLER B-2520-2N FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-3034N FOR 3/4 AND 1 INCH AND MUELLER H-3030N FOR 1 1/2 AND 2 INCH SIZES.
- 9) ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- 10) THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- 11) THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

**Town of Newburgh Sewer System Notes:**

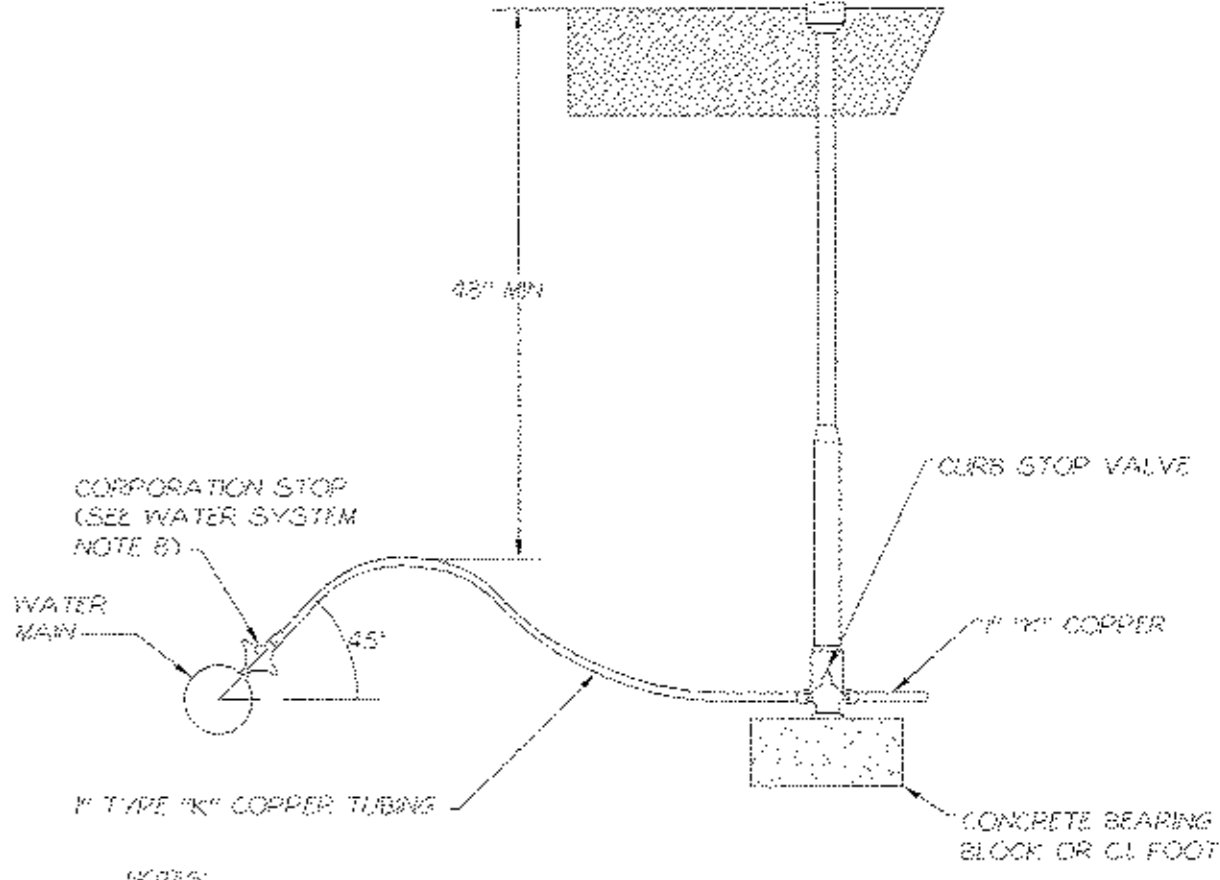
- 1) CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- 2) ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- 3) ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SURFACE PVC PIPE CONFORMING TO ASTM D-3034-08. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3034. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- 4) THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- 5) THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.



**NOTES:**

- 1) WET TAP TO BE PERFORMED BY CONTRACTOR WITH TOWN ENGINEER ON SITE.
- 2) CONTRACTOR TO CONTACT TOWN OF NEWBURGH WATER DEPARTMENT FOR INSTALLATION REQUIREMENTS.
- 3) TAPPING SLEEVE SHALL BE SELECTED TO FIT EXISTING PIPE MATERIAL (CAST IRON, DUCTILE IRON, A.C.) AND OUTSIDE DIAMETERS.
- 4) MEGA LUGS TO BE USED ON ALL MECHANICAL JOINT FITTINGS.

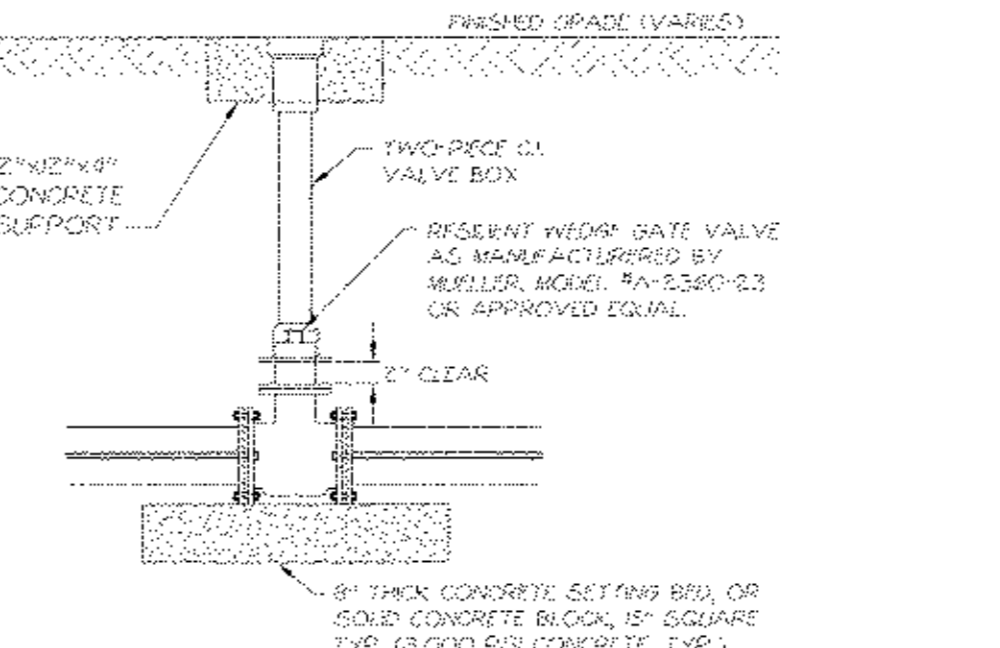
**Wet Tap Detail**



**NOTES:**

- 1) ALL CORPORATION STOPS, CURB STOP, CURB BOX, AND SERVICE LINES SHALL MEET TOWN OF NEWBURGH WATER DEPARTMENT REGULATIONS. SEE WATER SYSTEM NOTES.
- 2) POTABLE WATER SERVICE TAP SHALL BE MADE ON PRIVATE SIDE OF MAIN SHUT-OFF.

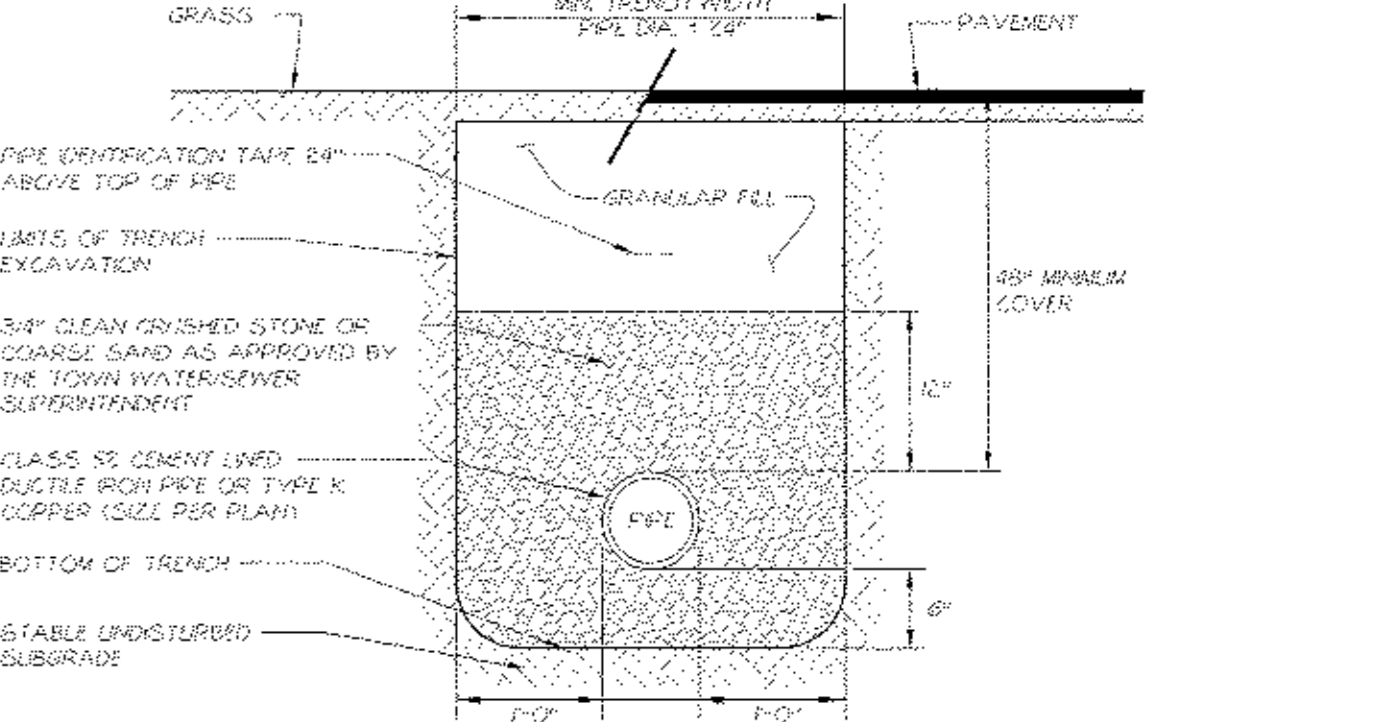
**Water Service Detail**



**NOTES:**

- 1) ALL VALVES TO INCLUDE MEGA-LUG RESTRAINT GLANDS AND BE RECORDED BACK TO THE ADJACENT TIE IN THE WATER MAIN PERMITS. PERMITS MUST BE ISSUED BY THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL VALVES SHALL BE MANUFACTURED BY MUELLER, MODEL A-2360-53 OR APPROVED EQUAL.
- 2) WATER MAIN VALVES FOR FOUR-INCH THROUGH FORTY-EIGHT-INCH SHALL BE RESILIENT WEDGE GATE VALVES AS MANUFACTURED BY MUELLER, MODEL A-2360. VALVES SHALL BE PROVIDED WITH AN EXTENSION SERVICE BOX TO GRADE.

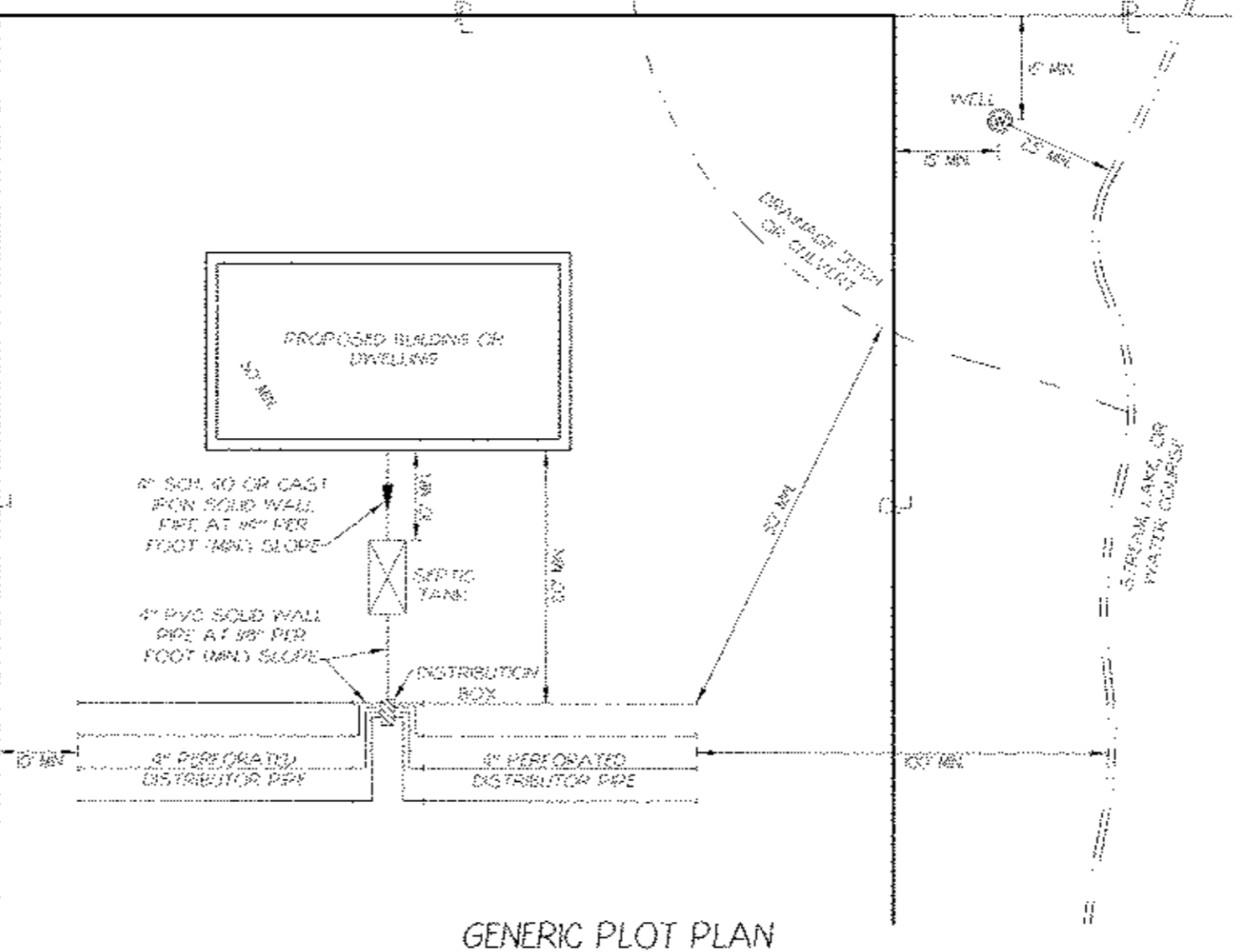
**Typical Water Valve Detail**



**NOTES:**

- 1) GRANULAR FILL SHALL CONSIST OF SELECT GRANULAR FILL OR SUITABLE ON-SITE EXCAVATED SOIL. LARGEST STONE SHALL BE LESS THAN 3". GRANULAR FILL SHALL BE INSTALLED IN 8" LIFTS & COMPACTED TO 95% PROCTOR DENSITY.
- 2) IN LAWN AREAS, A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED ON TOP OF THE FINISH-BANK GRAVEL AND SHALL BE SEEDED AND MULCHED WITH SEED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS.
- 3) IN PAVED AREAS, THE EXISTING PAVEMENT SHALL BE SAW CUT PRIOR TO REMOVAL. REPLACEMENT OF THE PAVEMENT SHALL BE COMPLETED WITH A MINIMUM OF 1" ITEM 4 LEVELING COURSE, 3" ASPHALT BINDER COURSE, AND 1 1/2" ASPHALT TOP COURSE.

**Typical Water Pipe Bedding Detail**



**GENERIC PLOT PLAN**  
 \* THE GENERIC PLOT PLAN IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. FOR SPECIFIC DESIGN INFORMATION ON THE PROPOSED SEWAGE DISPOSAL SYSTEM, SEE THE SEWAGE DISPOSAL SYSTEM REQUIREMENTS TABLE, DETAILS, AND NOTES ON THIS SHEET.

DATE		DESCRIPTION	BY

**Water & Sewer Connection Details for Site Plan for IZL Equities, LLC**

RECORD OWNER: MATTHEW T. O'CONNOR, 4 FIELDSTONE COURT, NEWBURGH, NY 12550  
 DESIGN REFERENCE: 198R 1510'S, PAGE 1532  
 TAX MAP REFERENCE: SECTION 16, BLOCK 4, LOT 43

**Situate in the Town of Newburgh Orange County, New York State September 18, 2015**

LAWRENCE MARSHALL PE #087477 DRAFTED BY: KWV PROJECT: 39503 SHEET 6 OF 6

**MNTM**  
**Mercurio-Norton-Tarolli-Marshall**  
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